

**Menslike Nedersettings, Beplanning en Ontwikkeling
Human Settlements, Planning and Development**

Collaborator No.: 3406783
Reference / Verwysing: Remainder of Portion 52 of the Farm 195 Kaaibosch
Date / Datum: 11 April 2025
Enquiries / Navrae: Primrose Nako

Email: janvrolijk@jvtownplanner.co.za

JAN VROLIJK TOWN PLANNER
P O BOX 710
GEORGE
6530

**APPLICATION FOR AMENDMENT OF A CONDITION OF APPROVAL, ARCHITECTURAL GUIDELINES
AND SITE DEVELOPMENT PLAN FOR THE REMAINDER OF PORTION 52 OF THE FARM KRAAI BOSCH
NO 195, DIVISION GEORGE (PHASE 3 OF THE GLEN VILLAGE COUNTRY ESTATE)**

Your application in the above regard refers.

The Acting Senior Manager: Planning (Authorised Official) has, under delegated authority, 4.17.13.13 of 30 June 2023 decided that the following applications applicable to the Remainder of Portion 52 of the Farm Kraai Bosch No 195, Division George (Glen Village Country Estate Phase 3):

- (i). Amendment, in terms of Section 15(2)(h) of the Land Use Planning By-law for George Municipality, 2023, of condition 5 of the approval dated 16 August 2024 for the Remainder of Portion 52 of the Farm Kraai Bosch No 195, Division George which read as follows:

The subdivision of Portions C & D (Phase 3) shall be as indicated on the zoning and subdivision diagram drawn by Jan Vrolijk Town Planner, Plan No Re 52/195/2/2024 dated February 2024 attached as "Annexure B", which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.

To read as follows:

The subdivision of Portions C & D (Phase 3) shall be as indicated on the zoning and subdivision diagram drawn by Jan Vrolijk Town Planner, Plan No Re 52/195/1/2025 dated 20 February 2025 attached as "Annexure A", which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.

- (ii). Permission, in terms of Section 15(2)(l) of the Land Use Planning By-law for George Municipality, 2023, for the approval of a Site Development Plan (SDP) Plan No's SDP3 1 to SDP3 5 (dated 31 July 2024), 001 to 018 (dated 1 May 2024), 110-102 (dated 28 August 2024) drawn by LAPALAKA Property Projects (x24 plans); G435P3-1 to G435P3-4 (dated July 2024) drawn by Cobus Louw Professional Engineer (x4 plans);

and GRG015/RT/LV/07 Rev 0.1 (dated 22 August 2024) drawn by BDE Consulting Electrical Engineers (x1 plan) (attached as **Annexure B**) for Phase 3 of the Glen Village Country Estate, in terms of conditions 9 and 10 of the approval dated 16 August 2024.

- (iii). Permission, in terms of Section 15(2)(l) of the Land Use Planning By-law for George Municipality, 2023, for the approval of the Glen Village Country Estate Architectural Guidelines Revision 3.1 dated August 2024 (attached as **Annexure C**) in terms of condition 13 of the approval dated 16 August 2024.

BE APPROVED in terms of Section 60 of the said By-law for the following reasons:

REASONS:

- 1) The proposed amendments to the approved subdivision and land use plan are of a minor nature and have no impact on the general layout, development pattern or desirability of Phase 3 as a residential estate and can be regarded as minor technical adjustments to the approved subdivision plan.
- 2) The Site Development Plan and Architectural Guidelines are internal to the development and will have no negative impact.
- 3) The proposal meets the requirements of Section 65 of the Land Use Planning Bylaw for George Municipality, 2023.
- 4) The application complies with the rezoning and subdivision approval and its conditions.

Notes:

- (a) *Comments from CES: The developer must note that the existing Glen Village access and slip lane must be closed, and the area, along with any affected services, must be fully reinstated before approval for the transfer of Phase 3 will be granted.*
- (b) *The developer should be aware that future phases, specifically referring to road 5.1, must comply with the conditions agreed upon in the Service Level Agreement.*
- (c) *Building Control Comment: A building plan to be submitted in terms of Section 4 of the National Building Regulations and Building Standards Act, 103 of 1977, for the development. Building plans to comply with SANS 10400, Part XA and any other applicable legislation. No construction may be commenced with until such time as a building plan has been approved. The property may only be used for the intended purpose once a Certificate of Occupation has been issued. Further comments will be provided on submission of building plans. Additional building plan application fees, calculated in terms of the approved tariffs, will be applicable should structures already be commenced with or completed without the approval of the Local Authority.*
- (d) *Please be reminded of your general duty of care toward the environment, as required in terms of Section 28 of NEMA, namely: "Every person who causes, has caused or may cause significant pollution or degradation of the occurring, continuing or recurring, or, in so far as such harm to the environment is authorised by law or cannot reasonably be avoided or stopped, to minimise and rectify such pollution or degradation of the environment".*

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Human Settlements, Planning and Development, P O Box 19, George, 6530 or Directorate: Human Settlements, Planning and Development, 5th floor, Civic Centre, York Street, George **on or before 02 MAY 2025** and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully



I HUYSER

ACTING SENIOR MANAGER: TOWN PLANNING

C:\fran\Portion 52 of farm 195 Kraaibosch(Amendment of condition of approval)Jan Vrolijk.docx

**APPLICATION FOR SUBDIVISION OF A PORTION OF THE
REMAINDER OF PORTION 52 OF THE FARM KRAAIBOSCH 195**

-
- Kraaibosch Country Estate**
- | Portion Nr | Colour notation | Zoning | Extent (m ²) | % of total |
|---|-----------------|---|--------------------------|------------|
| 1-15, 17-19, 21-23, 25-30, 32-40, 42-45, 47-50, 52-55, 57-61, 63-73 and 75-79 | | Single Residential Zone II (Group housing) | 15 934 | 68 |
| 20, 24, 31, 41, 46, 51, 56 and 62 | | Single Residential Zone II (Private open space) | 1 107 | 5 |
| 74 | | Single Residential Zone II (HOA facilities) | 234 | 1 |
| 16, 79 and 80 | | Single Residential Zone II (Private road) | 6 151 | 26 |
| TOTAL | | | 23 426 | 100 |

Portion Nr	Colour notation	Zoning	Extent (m²)	% of total
1-18, 17-19, 21-23 25-30, 32-40, 42-45, 47-50, 52-55, 57-61, 63-65 and 66-79		Single Residential Zone II (Group housing)	15 934	68
20, 24, 31, 41, 44, 51, 56 and 62		Single Residential Zone II (Private open space)	1 107	5
74		Single Residential Zone II (HOA facilities)	234	1
16, 79 and 80		Single Residential Zone II (Private road)	6 151	26
TOTAL			23 426	100

SENIOR MANAGER: TOWN PLANNING
SENIOR BEST BURDER: STATSBEPLANNING

Subdivision

[illegible]

1 : 400

PHASE 3: SCHEDULE OF AREAS

REF.	AREA	REF.	AREA	REF.	AREA
118	131.00	11	178.00	14	200.00
119	131.00	12	178.00	15	200.00
120	201.00	13	178.00	16	200.00
121	201.00	14	178.00	17	200.00
122	201.00	15	178.00	18	200.00
123	201.00	16	178.00	19	200.00
124	201.00	17	178.00	20	200.00
125	201.00	18	178.00	21	200.00
126	201.00	19	178.00	22	200.00
127	201.00	20	178.00	23	200.00
128	201.00	21	178.00	24	200.00
129	201.00	22	178.00	25	200.00
130	201.00	23	178.00	26	200.00
131	201.00	24	178.00	27	200.00
132	201.00	25	178.00	28	200.00
133	201.00	26	178.00	29	200.00
134	201.00	27	178.00	30	200.00
135	201.00	28	178.00	31	200.00
136	201.00	29	178.00	32	200.00
137	201.00	30	178.00	33	200.00
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314	201.00	207	178.00	210	200.00
315	201.00				

Approved in terms of Section 60 of the George
Municipality: Land Use Planning By-Law (2023) subject
to the conditions contained in the covering letter.






SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STADSBEPANNING

DATUM

[illegible]

Approved in terms of Section 60 of the George
Municipality: Land Use Planning By-Law (2023) subject
to the conditions contained in the covering letter.

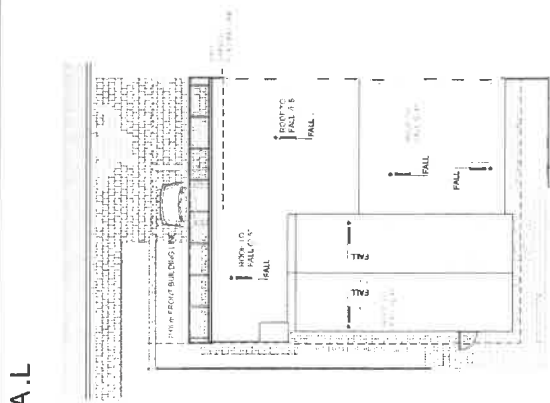
DATE	SENIOR MANAGER: TOWN PLANNING
DATUM	SENIOR BESTUURDER: STADTSPLEANNING

SOFT LANDSCAPING				
SYMBOL	PROPOSED PLANTS	SIZE	QTY	7/24
	<i>Erythrina affinis</i> (Coralbel Cava)	11' x 1000'	25	
	<i>Baccharis latifolia</i> (Taste of Mud) <i>Desfontainia speciosa</i> (Taste of Mud) <i>Desfontainia speciosa</i> (Taste of Mud) <i>Desfontainia speciosa</i> (Taste of Mud) <i>Desfontainia speciosa</i> (Taste of Mud)	51' x 1000'	25	
	<i>Cyclopogon puberulus</i> (Winter-paw)	125' x 400'	132	
	<i>Carex rostrata</i> (Wild Olive)	49' x 400'	23	
	<i>Carex flaccida</i> (Lemon Tree)	54' x 400'	31	

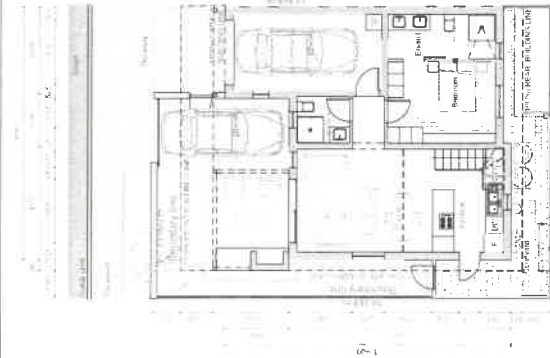
[illegible][illegible]

7 3D View 4

EEN A.L



2 Roof Plan
1:100



1 Ground Floor Plan
1:100



8 Loft Plan
1:100

MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2019) subject to the conditions contained in the evergreen letter.

11/04/2025

DATE
DATUM

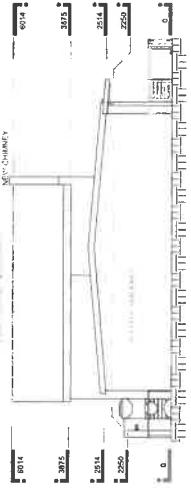
Senior Manager: Town Planning

Senior Assistant: Town Planning

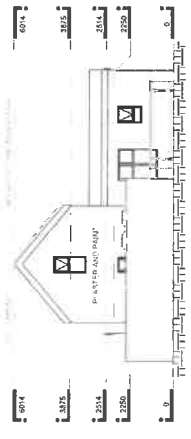
ARCHITECT	PROJECT SOCIAL RESIDENCE	PERSONAL RESPONSIBILITY
DATE	DATE	DATE
DESCRIPTION	DESCRIPTION	DESCRIPTION
COPYRIGHT NOTE This drawing is the property of the architect and may not be reproduced without written permission from the architect.		
DISCLAIMER NOTE This drawing is for information only and does not constitute a contract. The client is responsible for ensuring that the drawing is used in accordance with the relevant legislation and regulations.		
SCALING Drawing is to be used as a guide only and is not to be used for construction purposes without the architect's approval.		
CLIENT BLUE RAIN PROPERTY DEV.		
PROJECT GLEN VILLAGE - SITE PLAN PROPOSAL Phase 2 - Unit Types - SPD Submission		
Drawing number: 1014 Drawing title: Unit Types - SPD Submission Drawing date: 11/04/2025 Drawing scale: 1:100		
Architect: GERRIT PIETERSE Registration: PRACH46183344 Signature: [Signature]		
Drawing description: EEN A LOFT		
Job number: 002	Drawing number: 002	Scale: 1:100
Revision number: 001	Revision number: 001	Revision number: 001
INFORMATION		



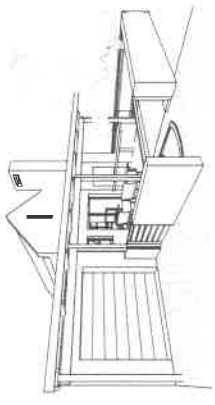
3 North Elevation
1:100



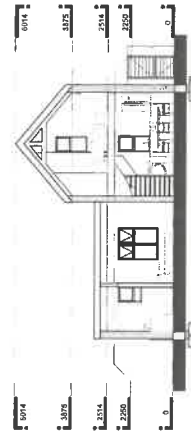
4 East Elev
1:100



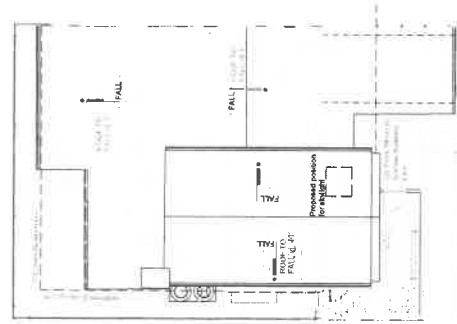
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1:100



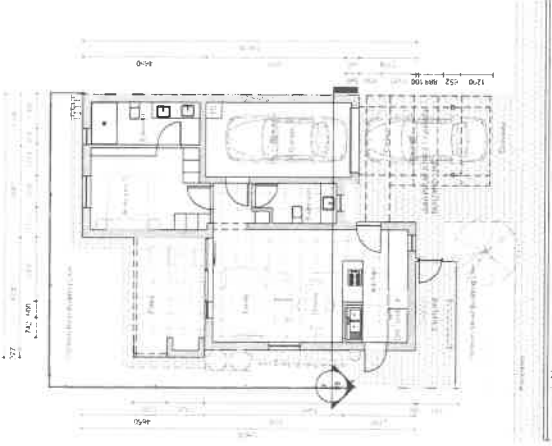
7 3D View 4



10 Section
1:100



6 Roof Plan
1 : 100



1 Ground Floor Plan
1 : 100

MUNICIPALITEIT GEORGE MUNICIPALITY
Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

11/04/2025
DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPANNING

Area Schedule (Gross...)

Area	Area	Area
...

Area Schedule

Area	Area	Area
...

ARCHITECT				
PROFESSIONAL UNDERTAKING				
PERSON RESPONSIBLE FOR ISSUE				
Source	Date	Drawn	Description	



City of George
111 101 101
111 101 101
111 101 101

DISCLAIMER NOTE
This drawing is subject to change and may not be used for construction without the written consent of the architect.
The drawing is issued for the purpose of obtaining a building permit and is not to be used for any other purpose without the written consent of the architect.

SCALING
Drawing will be in the metric system and dimensions to be in millimeters unless otherwise stated.

CLIENT
BLUE HAN PROPERTY DEV.

PROJECT
GLEN VILLAGE - SITE PLAN PROPOSAL
Phase 2 - Unit Types - SDP Submission

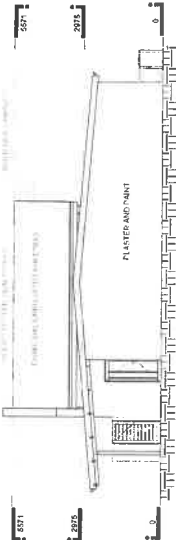
Drawn by
Gerrit Pieterse
11/04/2025

Checked by
Gerrit Pieterse
11/04/2025

Information



2 North Elevation
1 : 100



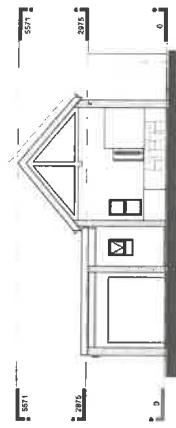
4 East Elevation
1 : 100



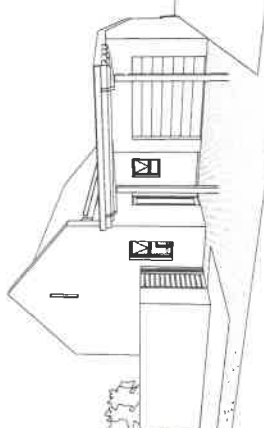
3 South Elevation
1 : 100



5 West Elevation
1 : 100



7 Section 9
1 : 100



8 3D View

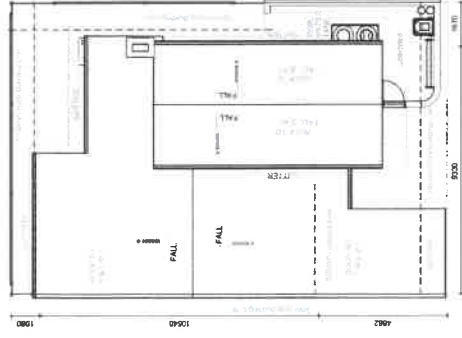
Year	1996	2000	2004	2008	2012	2016	2020
Population (millions)	10.40	10.90	11.70	12.90	12.40	500	5,803.50
Population (millions)	17.98		23.15		8,330		360

MUNICIPALITEIT GEORGE MUNICIPALITY

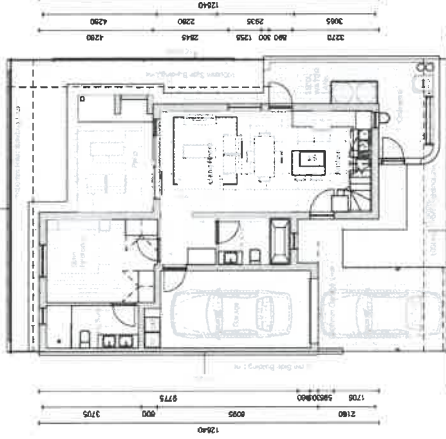
Approved in terms of Section 50 of the George
Municipality: Land Use Planning By-Law (2023) subject
to the conditions contained in the governing letter.

11/04/2025

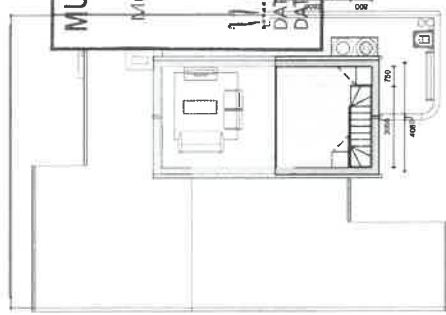
SENIOR MANAGER: TRAVEL PLANNING
SENIOR PURCHASER: STATE PLANNING



ROOF & SITE PLAN



GROUND FLOOR PLAN



LOFT PLAN

[illegible]


 Fall 011 P08.5307
 Call Phone 062 760.5553
 Write To: Dept. A, Room
 810/ASME, Ch. 4-105
 P.O. Box 830
 Connecticut 06260

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client
Blanche Bonetto Reun

Signature _____

project
GLEN VILLAGE - SITE PLAN PROPOSAL

Phase 3 - Unit Types - SDP Submission	stand number	Remainder of portion 52 of the farm

Kraalbosch 195/52

Reg No:
signature

Architect	GERRIT PIETERSE
Reg No:	PrArch46163384

signature	drawing description	SEM DI

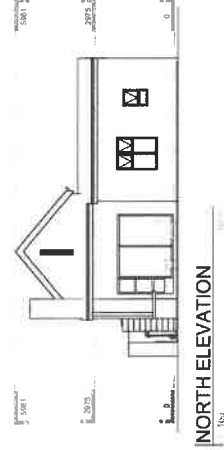
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job number	drawing number
001	004

drawn	
scale	1 : 100

transit number	issued for
date	10/10/2011

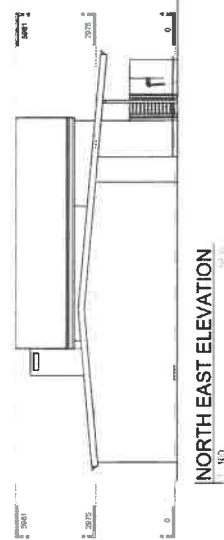
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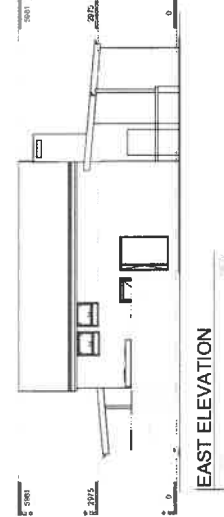
NORTH ELEVATION



| SOUTH ELEVATION



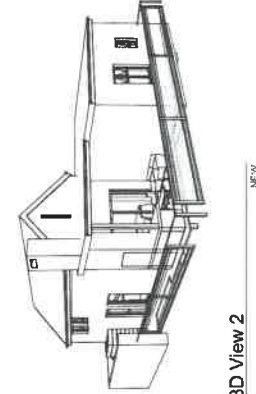
NORTH EAST ELEVATION



EAST ELEVATION



3D View 1



3D View 2

EEND

MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George
Municipality Land Use Planning By-Law (2023) subject
to the conditions contained in the covering letter.

11/04/2025

DATE	SENIOR MANAGER: TOWN PLANNING
DATUM	SENIOR BESTUURLER: STADTBEPLANNING

AREA SCHEDULE

NAME _____
 PHONE NO. _____
 E-MAIL ADDRESS _____
 ADDRESS _____
 CITY _____
 STATE _____
 ZIP _____

[illegible]

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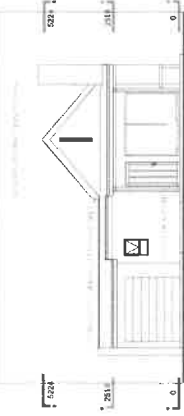
client	Bluerain Property Group
signature	
project	GILGEN VILLAGE - SITE PLAN PROPOSAL Phase 3 - Unit Types - SDP Submission
stand number	Remainder of portion 52 of the farm Kraalbosch 195/52

Signature _____
Architect **GERRIT PIETERSEN**
Reg. No. **PrArch46183384**

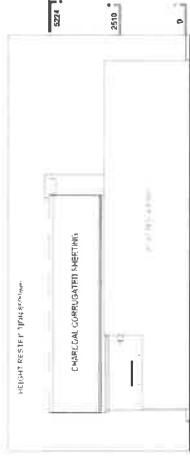
drawing description

job number	001	drawing number	005
drawn		scale	1:100
date		date	2024/10/5/01

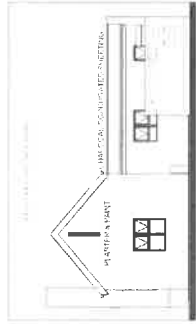
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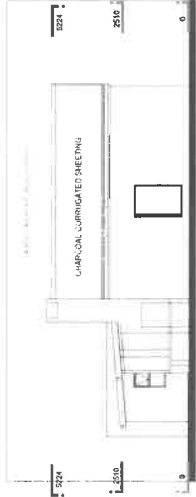
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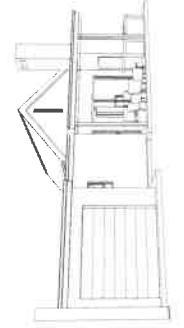
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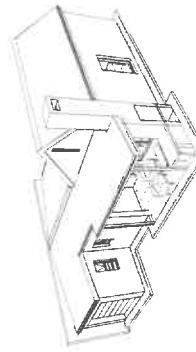
SOUTH ELEVATION



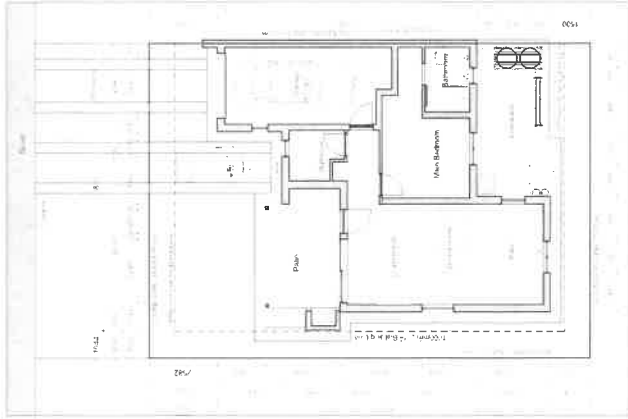
|WEST ELEVATION|



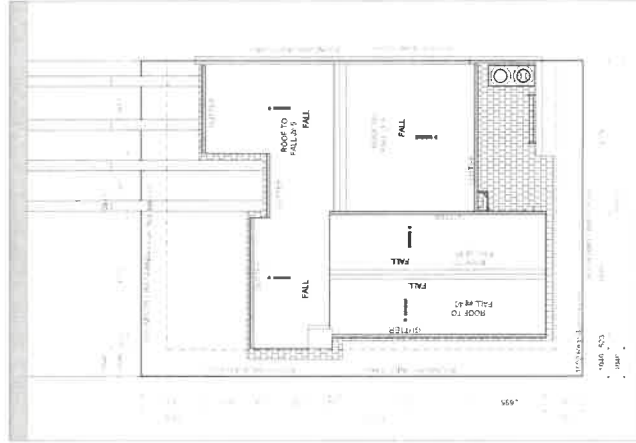
|3D View



3D View

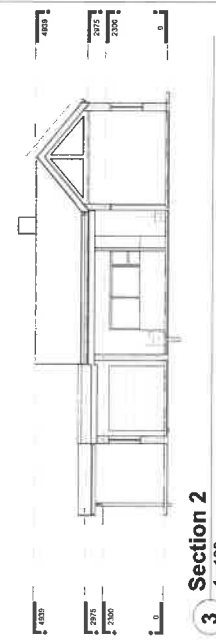
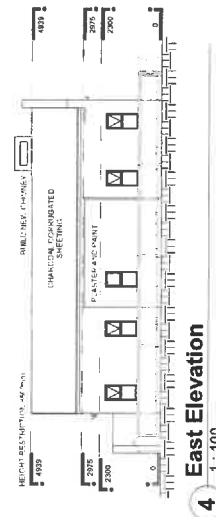
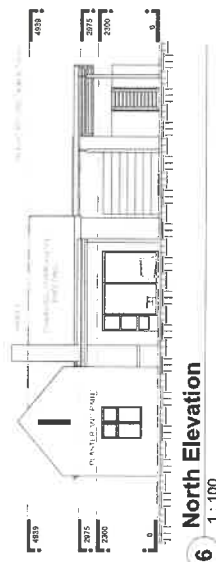


GROUND FLOOR PLAN

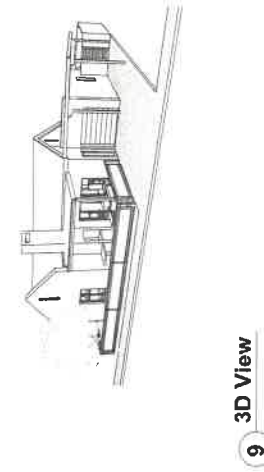
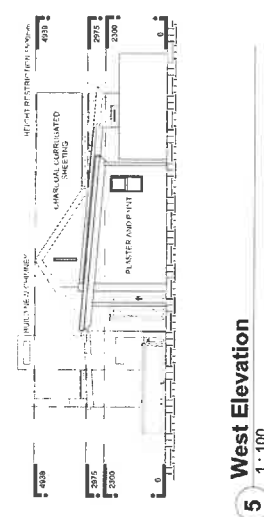
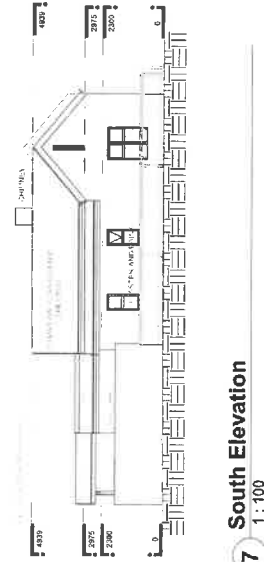


ROOF PLAN

1 Ground Floor Plan 1:100



4 East Elevation



5 **West Elevation**
1 : 100

9 3D View

Approved in terms of Section 60 of the George
Municipality: Land Use Planning By-Law (2023) sub
to the conditions contained in the covering letter

11/04/2025
DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BELT UÅRDER: STATSBEPLANNING

Area Schedule (Gross Building)

Area Schedule

ARCHITECT	
PROFESSIONAL INSURANCE	
PERSON RESPONSIBLE FOR ISSUE	



Tel: 011 795 5291
Cell phone: 082 360 5205
www.sagittas.com
BIR/AMSTON . JMS
P.O. Box 438
Flemington, New Jersey 08520

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client
DE L'IMPRESA DI CANTIERI S.p.A.

signature	project	GLEN VILLAGE - SITE PLAN PROPOSAL Phase 3 - Unit Types - SJP Submission	stand number	Remainder of portion 52 of the farm Kraalbosch 195/52
-----------	---------	--	--------------	--

engineer	
Reg No	
signature	
Architect	GERRIT PIETERS
Reg No:	PrArch4618338

signature	drawing description
	TWEE B

job number	drawing number
02	007

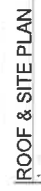
drawn	
scale	1:100
date	2024/06/01

INFORMATION

MUNICIPALITEIT GEORGE MUNICIPALITY

DATE 11/04/2025

SENIOR MANAGER: TOWN PLANNING
SENIOR ESTUDER: STAT SHE PLANNING



AREA SCHEDULE - TWEE B.L.

ARCHITECT _____			
PROFESSIONAL INSURANCE _____			
CLIENT SIGNATURE _____			
Examiner	Date	Drawn	Description



Tel: 011 709 5381
Cell Phone 081 500 5253
www.issatlas.com
BRYAN@ISSATLAS.COM
P.O. Box 8398
Charmelle Bryanston 2960

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client
Bluerain Property Group

project	GLEN VILLAGE - SITE PLAN PROPOSAL Phase 3 - Unit Types - SDP Submission
stand number	Remainder of portion 52 of the farm

engineer
Reg No
KR11008CN 190792

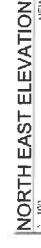
Architect	GERRIT PIETERSE
Reg No.	PrArchM6183384

drawing description
SOP Drawings - Twee B.L.

job number	drawing number
	800

drawn	
scale	1:100
date	2024/05/01

revision number	is used for	INFORMATION
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INFORMATION	
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MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George
Municipality: Land Use Planning By-Law (2023) sub
to the conditions contained in the covering letter

DATE 11/04/2025
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STADSBEPLANNING

Area Schedule (Gross Building)		Unit
Area	Description	
1	1st Floor	1,000
2	2nd Floor	1,000
3	3rd Floor	1,000
4	4th Floor	1,000
5	5th Floor	1,000
6	6th Floor	1,000
7	7th Floor	1,000
8	8th Floor	1,000
9	9th Floor	1,000
10	10th Floor	1,000
11	11th Floor	1,000
12	12th Floor	1,000
13	13th Floor	1,000
14	14th Floor	1,000
15	15th Floor	1,000
16	16th Floor	1,000
17	17th Floor	1,000
18	18th Floor	1,000
19	19th Floor	1,000
20	20th Floor	1,000
21	21st Floor	1,000
22	22nd Floor	1,000
23	23rd Floor	1,000
24	24th Floor	1,000
25	25th Floor	1,000
26	26th Floor	1,000
27	27th Floor	1,000
28	28th Floor	1,000
29	29th Floor	1,000
30	30th Floor	1,000
31	31st Floor	1,000
32	32nd Floor	1,000
33	33rd Floor	1,000
34	34th Floor	1,000
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37	37th Floor	1,000
38	38th Floor	1,000
39	39th Floor	1,000
40	40th Floor	1,000
41	41st Floor	1,000
42	42nd Floor	1,000
43	43rd Floor	1,000
44	44th Floor	1,000
45	45th Floor	1,000
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93	93rd Floor	1,000
94	94th Floor	1,000
95	95th Floor	1,000
96	96th Floor	1,000
97	97th Floor	1,000
98	98th Floor	1,000
99	99th Floor	1,000
100	100th Floor	1,000

Area Schedule

Person	Date	Drawn	Revised
ARCHITECT			
PROFESSIONAL INSURANCE			
PERSON RESPONSIBLE FOR ISSUE			



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client
BLUE RAIN PROPERTY DEV.

Project
GLEN VILLAGE - SITE PLAN PROPOSAL
Phase 2 - Unit Types - SDP Submission
1st and 2nd number
Remainder of portion 52 of the farm
Kraalbosch 195/52

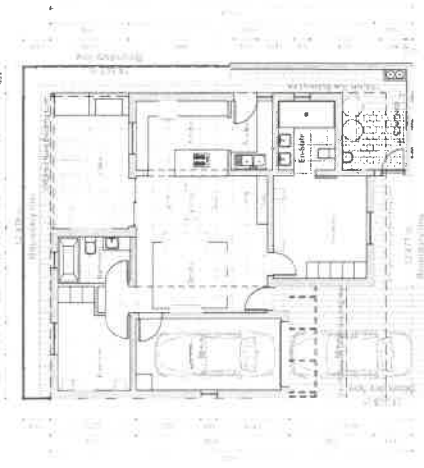
Signature	GERRY PIETERSE
Architect	PRACH46163384
Reg No:	

drawing description
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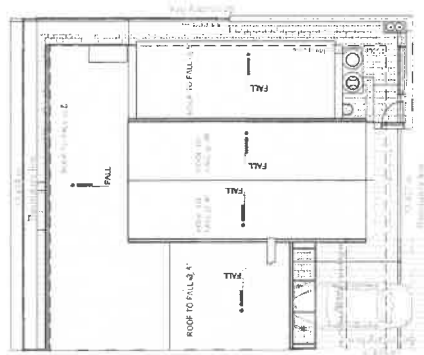
job number	drawing number
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Drawn	
Scale	1:100
Date	2024/05/01

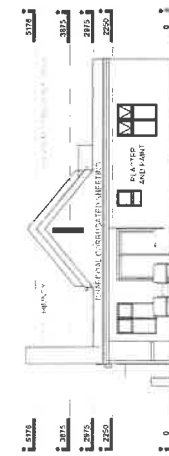
FOR CARS
INFORMATION



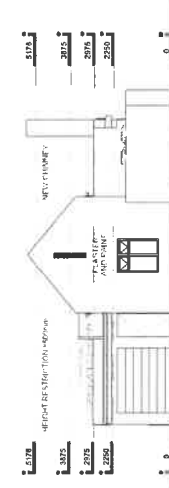
1 **Ground Floor Plan**
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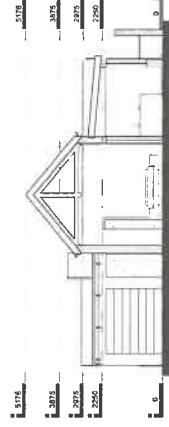
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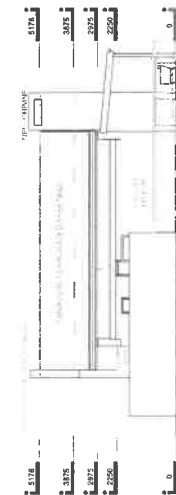
3 North
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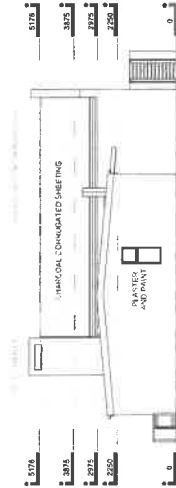
4 South
1:100



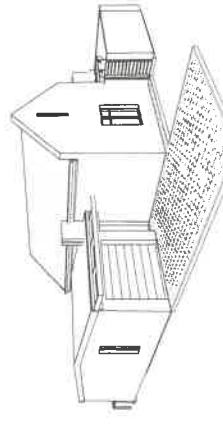
8 **Section**
1:100



East
1:100



7 West 1:100



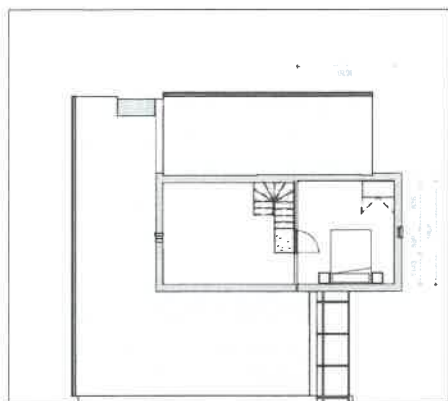
3D View

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

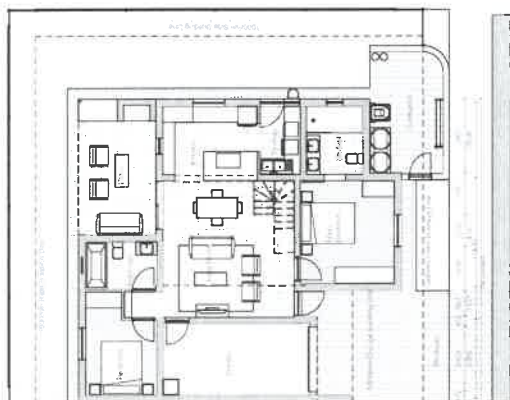
DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPLANNING

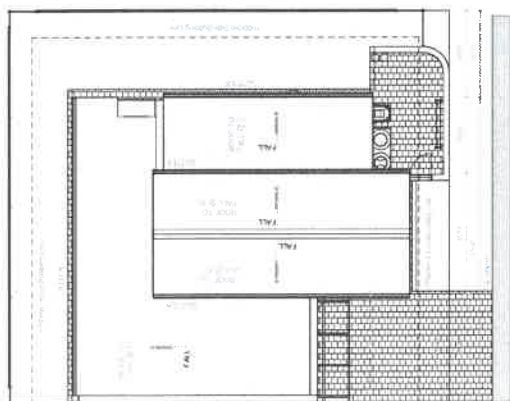
11/04/2025



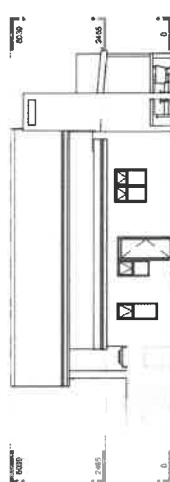
LOFT PLAN



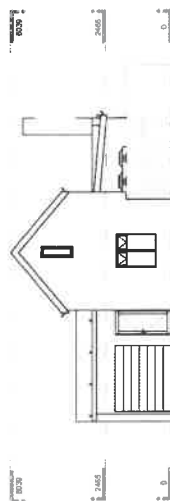
GROUND FLOOR PLAN



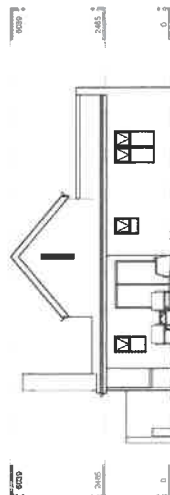
SITE AND ROOF PLAN



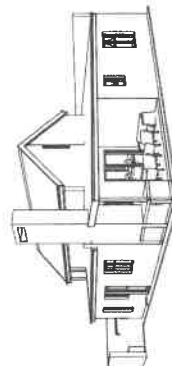
EAST ELEVATION



SOUTH ELEVATION



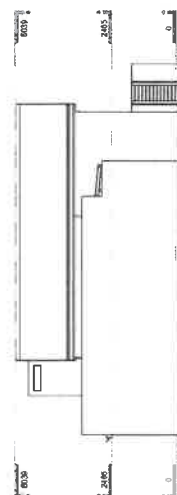
NORTH ELEVATION



3D View 2



3D View 1



WEST ELEVATION

[illegible]

Approved in terms of Section 60 of the George
Municipality Land Use Planning By-Law (2023) subject
to the conditions contained in the covering letter.

DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPLANNING

~~AREA SCHEDULE - TWEE H~~

ARCHITECT	DATE	DESCRIPTION
PROFESSIONAL INSURANCE		
CLIENT SIGNATURE		



Tel: 011 704 6201
Cell Phone: 082 350 2043
www.zigzagta.com
BRYANSTON, INC.
P.O. Box 428
Carmichael, California 95608

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client
Bluerain Property Group
 signature

GLEN VILLAGE - SITE PLAN PROPOSAL
Phase 3 - Unit Types - SDP Submission

engineer	
Reg No	
signature	
Authorised	QERRY PERSE

Reg. No. **PrArch46163384**

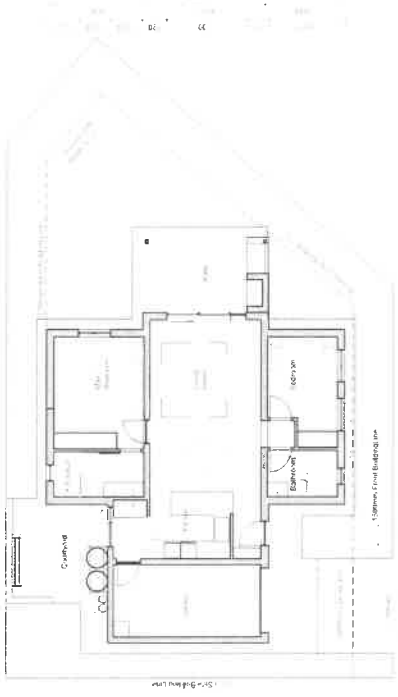
signature

drawing description
SDP Drawing - Two H

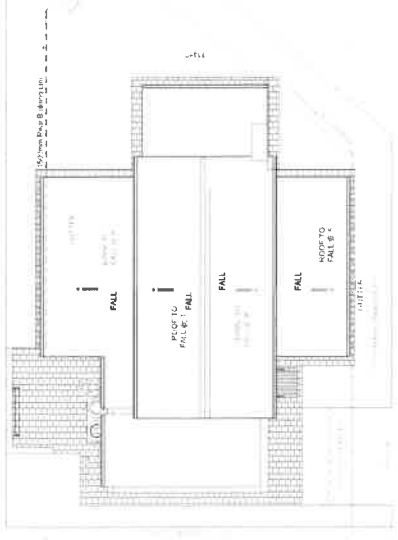
job number	001	drawing number	011
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drawn	1:100	
scale	2024/05/01	
date		
revision number		Issued for

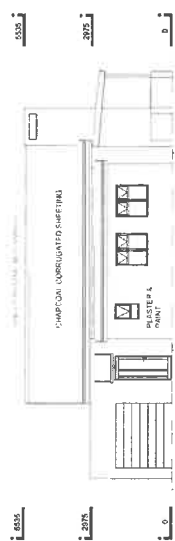
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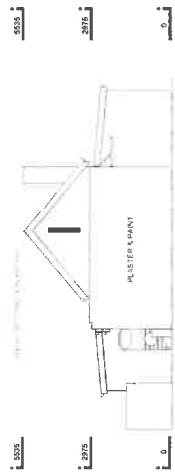
GROUND FLOOR PLAN
1 100' NEW



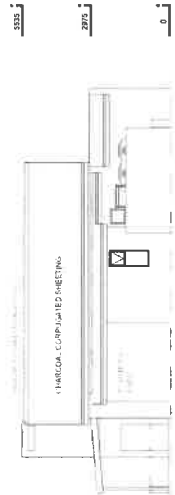
SITE PLAN



SOUTH ELEVATION



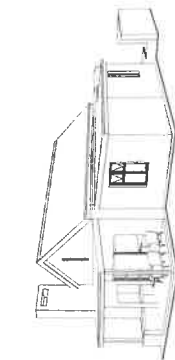
WEST ELEVATION



NORTH ELEVATION



3D View 1



3D View 2

MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

11/01/2025

DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STADSBEPLANNING

AREA SCHEDULE

APPROVED	
PROFESSIONAL INSURANCE	
CLIENT SIGNATURE	
Scale	Dim
Drawn	Checked



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Client
Buralda Property Group

Project
GLEN VILLAGE - SITE PLAN PROPOSAL

Phase 3 - Unit Types - SDP Submission

Sheet number
1 of 1

Revision number
012

Author
GERRIT PIETSE

Checker
FRANCOIS PIETSE

Drawing description
SDP Drawing - Type H.D.L.

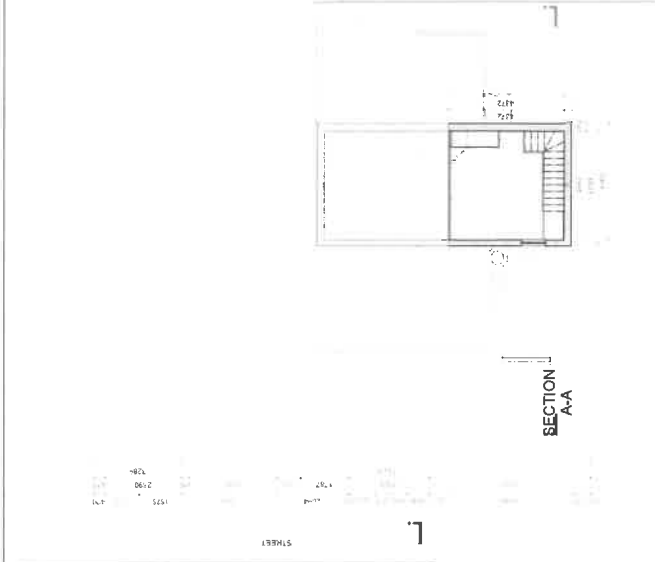
Job number
001

Scale
1:100

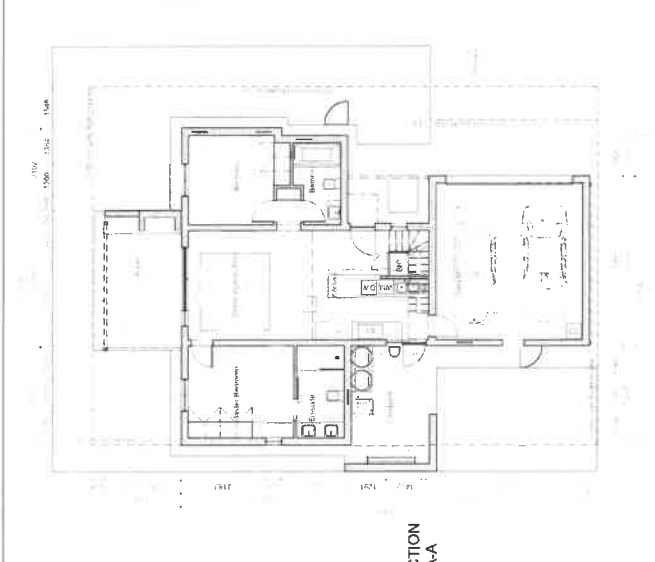
Date
2024/05/01

Revision number
012

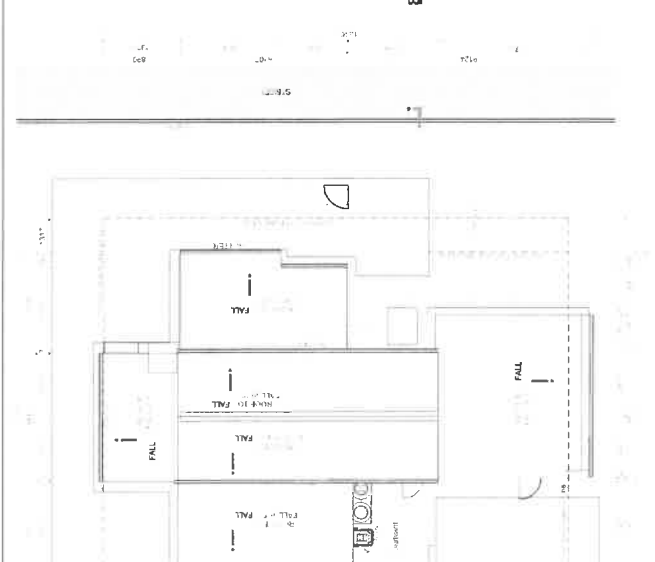
Information



Loft 1
1:100



GROUND FLOOR PLAN
1:100



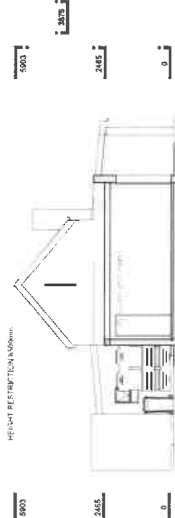
ROOF & SITE PLAN
NEW
1:100



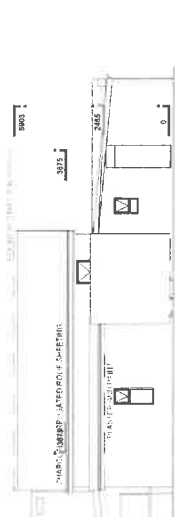
TWEE
H.D.L.



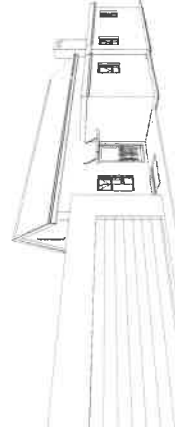
SECTION A-A
1:100



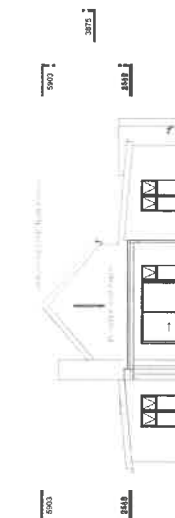
NORTH EAST ELEVATION
NEW
1:100



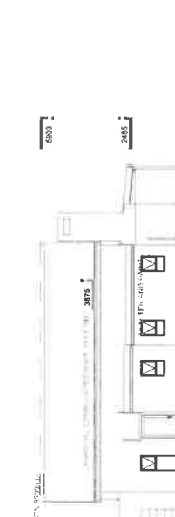
NORTH WEST ELEVATION
NEW
1:100



3D View
N/A



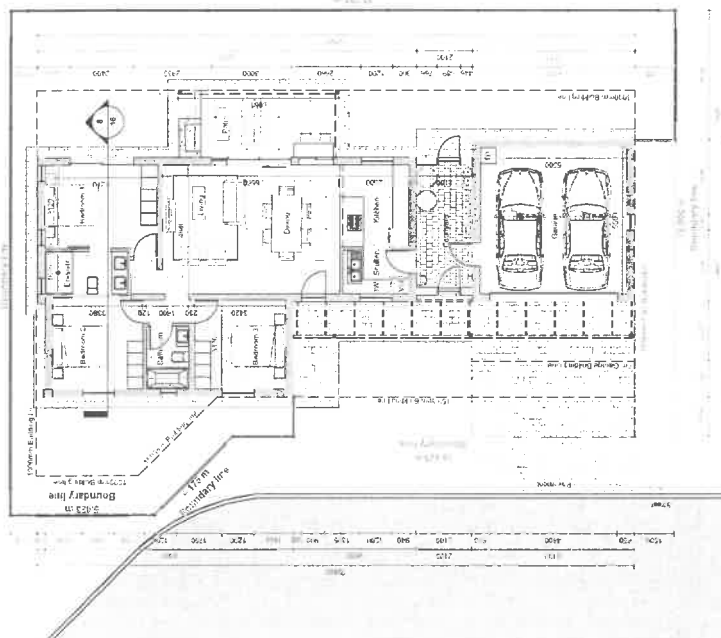
SOUTH WEST ELEVATION
NEW
1:100



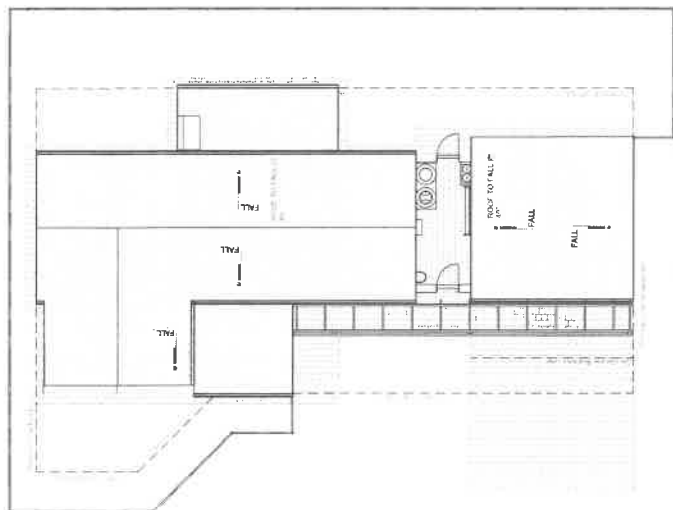
SOUTH EAST ELEVATION
NEW
1:100

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPLANNING



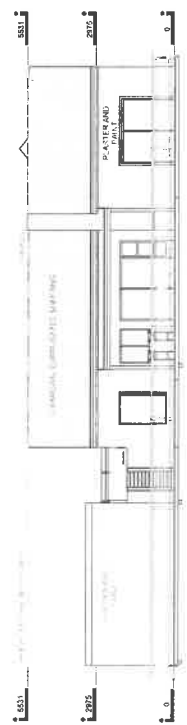
1 Ground Floor Plan
1 : 100



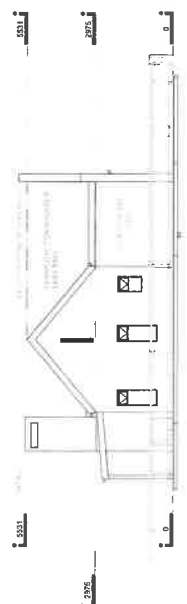
7 **Roof Plan**
1 : 100



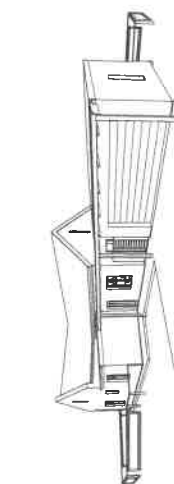
Section 1
1:100



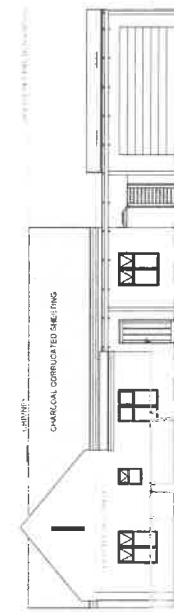
3 East elevation
1 : 100



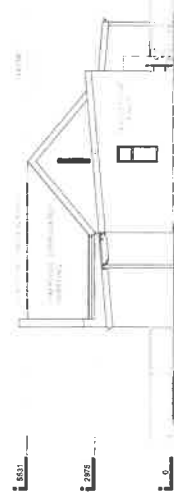
4 North elevation
1 : 100



2 3D View 1



6 West elevation
1:100



5 South elevation 1:100

Area Schedule

Lesson	Date	Drawn	Description
ARCHITECT			
PROFESSIONAL INSURANCE			
PERSON RESPONSIBLE FOR ISSUE			



Tel: 011 766 5394
 Call Phone: 012 360 5393
 www.apexa.com
 REGISTRATION : JHB
 P.O. Box 228
 Crimminsburg, Bryansk 2060

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This drawing is produced in accordance with local building codes and should be read in conjunction with local codes and all state codes.

SCALING
Drawings not to be scaled. A report may be requested to architect before construction of manufacturing.

client
BLUE RAIN PROPERTY DEV.

signature _____
project _____
GLEN VILLAGE - SITE PLAN PROPOSAL
Phase 3 - Unit Types - SDP Submission
stand number _____
Remainder of portion 52 of
the farm Krasibosch 195/52

engineer	
Reg No.	
signature	
Architect	
Reg No.	

GERRIT PIETERSE
PrArch46163384

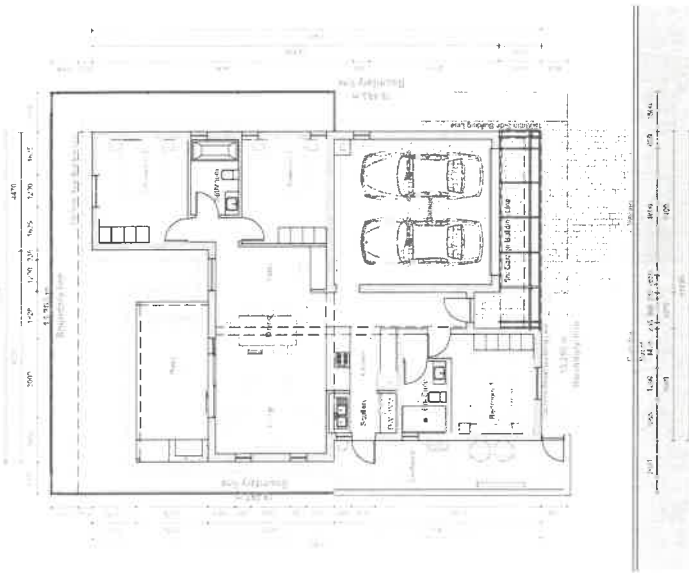
signature	job number	02	drawing number	013
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	date			20/06/01
number number				issued by
				INFORMATION

MUNISIPALITEIT GEORGE MUNICIPALITY

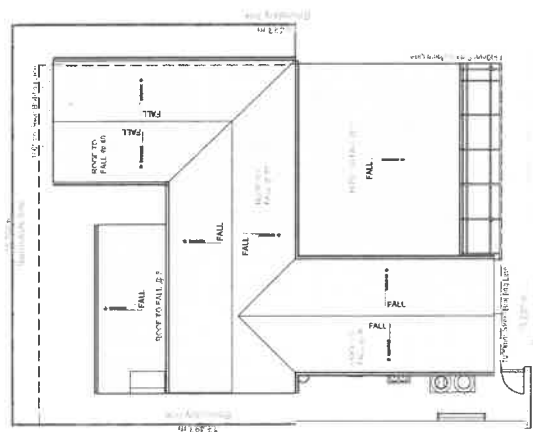
Approved in terms of Section 60 of the George
Municipality: Land Use Planning By-Law (2023) subject
to the conditions contained in the covering letter.

11/04/2025
DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPLANNING



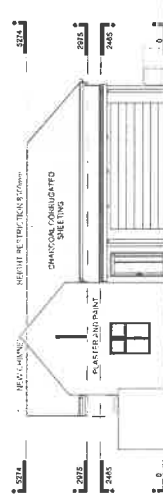
1 Ground Floor Plan
1:100



6 **Roof Plan**
1 : 100



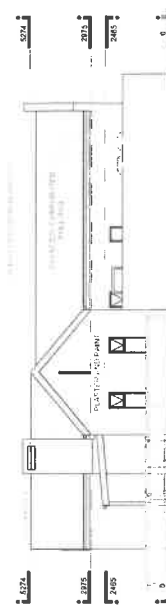
2 North
1 : 100



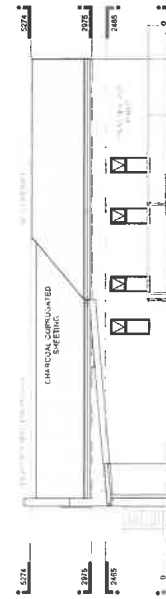
3 South
1 : 100



Section
7 1:100



4 **West**
1 : 100



5 East
1 : 100



8 3D View

Area Schedule (Gross Building)			
No.	Figure	Unit	Area
	Figure 1000	sq ft	1,100

Area	Area Schedule (Rentable)
Area 1	Area 1
Area 2	Area 2
Area 3	Area 3
Area 4	Area 4
Area 5	Area 5
Area 6	Area 6
Area 7	Area 7
Area 8	Area 8
Area 9	Area 9
Area 10	Area 10
Area 11	Area 11
Area 12	Area 12
Area 13	Area 13
Area 14	Area 14
Area 15	Area 15
Area 16	Area 16
Area 17	Area 17
Area 18	Area 18
Area 19	Area 19
Area 20	Area 20
Area 21	Area 21
Area 22	Area 22
Area 23	Area 23
Area 24	Area 24
Area 25	Area 25
Area 26	Area 26
Area 27	Area 27
Area 28	Area 28
Area 29	Area 29
Area 30	Area 30
Area 31	Area 31
Area 32	Area 32
Area 33	Area 33
Area 34	Area 34
Area 35	Area 35
Area 36	Area 36
Area 37	Area 37
Area 38	Area 38
Area 39	Area 39
Area 40	Area 40
Area 41	Area 41
Area 42	Area 42
Area 43	Area 43
Area 44	Area 44
Area 45	Area 45
Area 46	Area 46
Area 47	Area 47
Area 48	Area 48
Area 49	Area 49
Area 50	Area 50
Area 51	Area 51
Area 52	Area 52
Area 53	Area 53
Area 54	Area 54
Area 55	Area 55
Area 56	Area 56
Area 57	Area 57
Area 58	Area 58
Area 59	Area 59
Area 60	Area 60
Area 61	Area 61
Area 62	Area 62
Area 63	Area 63
Area 64	Area 64
Area 65	Area 65
Area 66	Area 66
Area 67	Area 67
Area 68	Area 68
Area 69	Area 69
Area 70	Area 70
Area 71	Area 71
Area 72	Area 72
Area 73	Area 73
Area 74	Area 74
Area 75	Area 75
Area 76	Area 76
Area 77	Area 77
Area 78	Area 78
Area 79	Area 79
Area 80	Area 80
Area 81	Area 81
Area 82	Area 82
Area 83	Area 83
Area 84	Area 84
Area 85	Area 85
Area 86	Area 86
Area 87	Area 87
Area 88	Area 88
Area 89	Area 89
Area 90	Area 90
Area 91	Area 91
Area 92	Area 92
Area 93	Area 93
Area 94	Area 94
Area 95	Area 95
Area 96	Area 96
Area 97	Area 97
Area 98	Area 98
Area 99	Area 99
Area 100	Area 100

NAME IN FULL			
PROFESSIONAL REGISTRATION			
PERSON RESPONSIBLE FOR ISSUE			
Signature	Date	Drawn	Issue Date



Tel: 011 708 5294
Cell Phone: 082 250 0253
www.ignitia.com
REGISTRATION : JRG
P.O Box 629
Fremontville, New Jersey 07641

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SCALING

client
BLUE RAIN PROPERTY DEV.

signature _____
project _____
GLEN VILLAGE - SITE PLAN PROPOSAL
Phase 3 - Unit Types - SDP Submission

stand number
Remainder of portion 52 of
the farm Kraelbosch 195/52

Engineer
Reg No

Architect	GERRIT PIETERSE
Reg No:	PrArch46163384

drawing description
DREF

Actual	Desired
--------	---------

02	014
----	-----

scale	1:100
date	2024/05/01

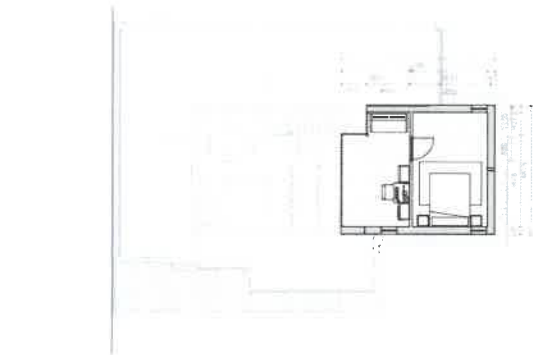
INFORMATION

MUNISIPALITEIT GEORGE MUNICIPALITY

DATE
DATUM

11/04/2025

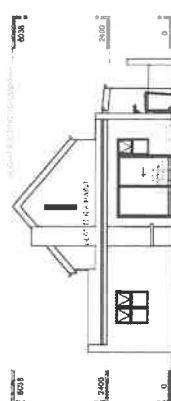
AREA SCHEDULE



ROOF & SITE PLAN

GROUND FLOOR PLAN

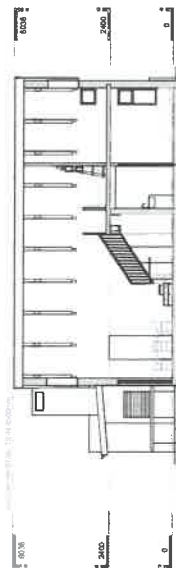
LOFT PLAN



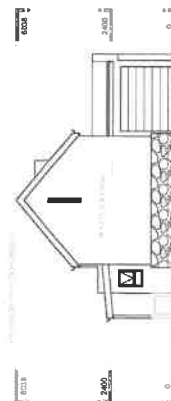
NORTH ELEVATION



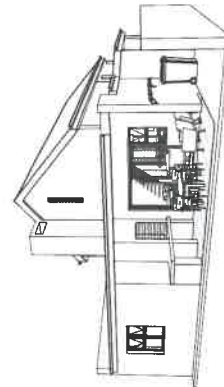
EAST ELEVATION



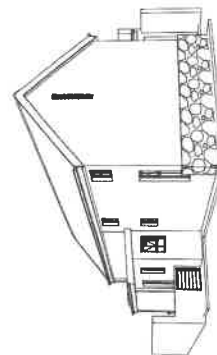
Section B-B



SOUTHELEVATION



3D View 1



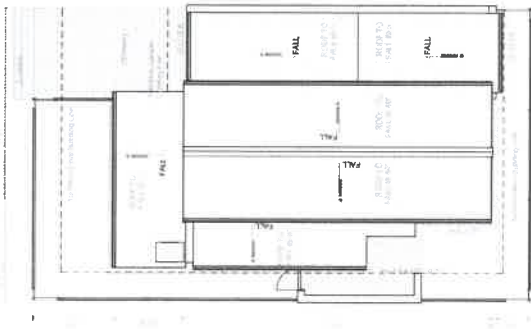
3D View 2

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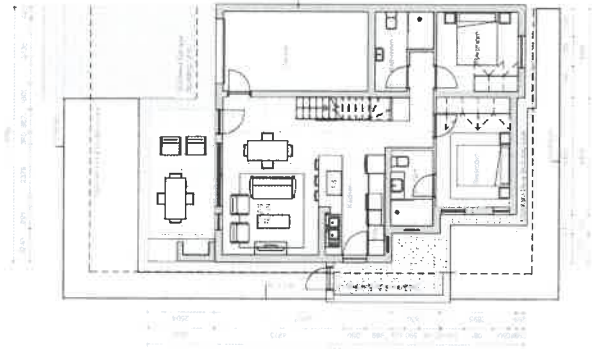
REACH SCHEDULE

[illegible]DATE
DATUM

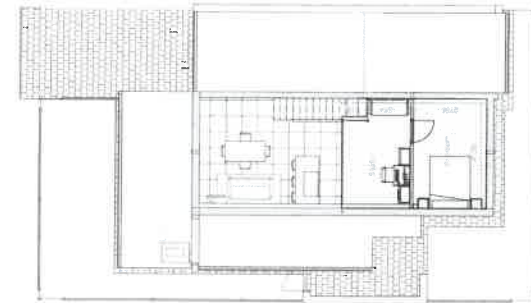
SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STADSBEPLANNING



ROOF & SITE PLAN



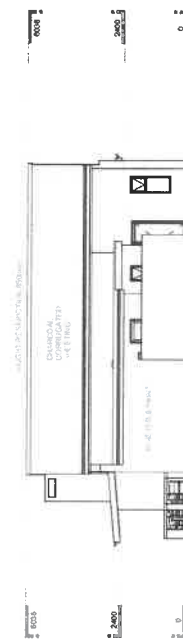
GROUND FLOOR PLAN



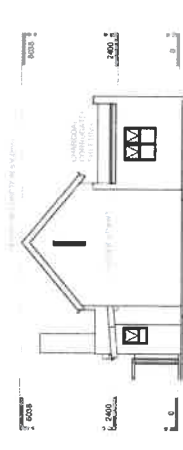
LOFT SDP



NORTH



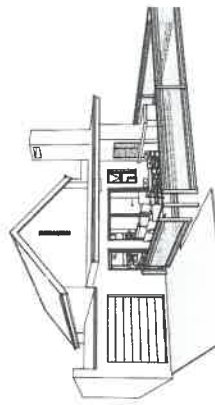
WEST



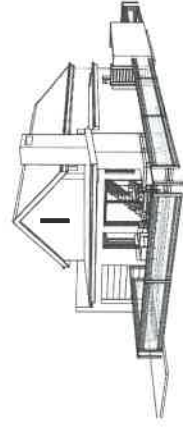
SOUTH



EAST

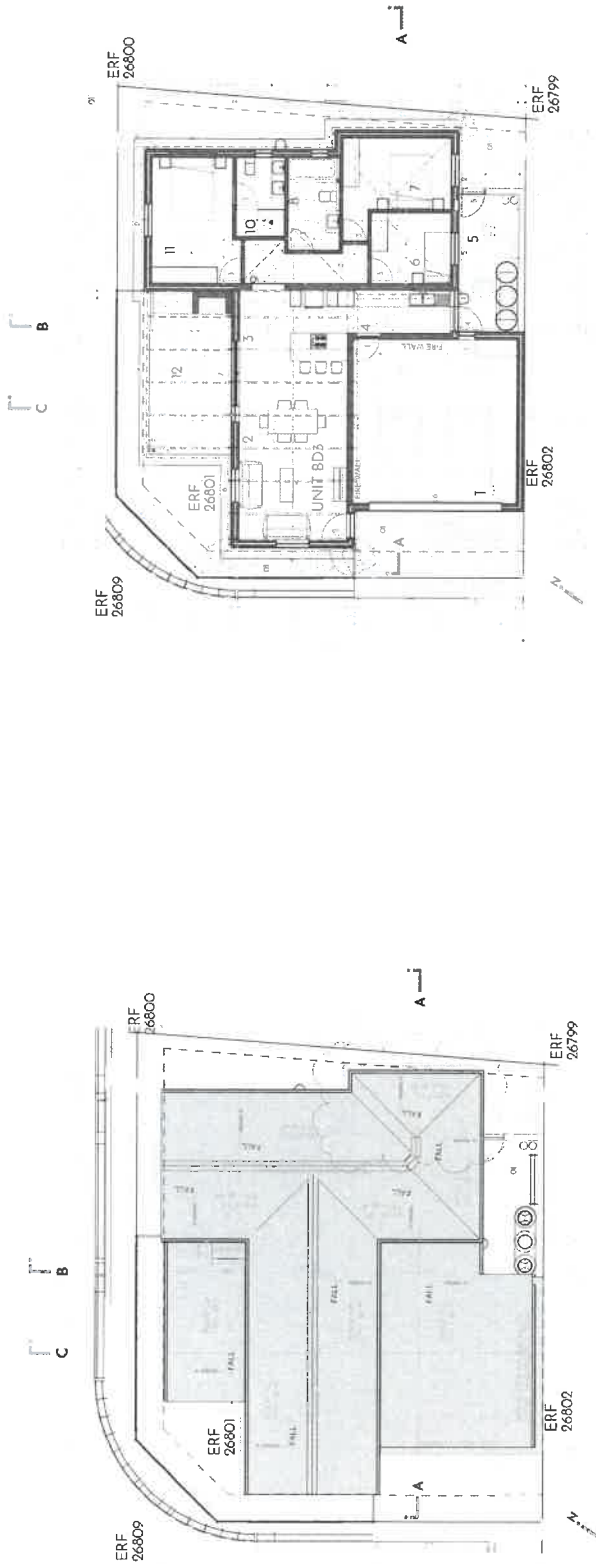


3D View 4

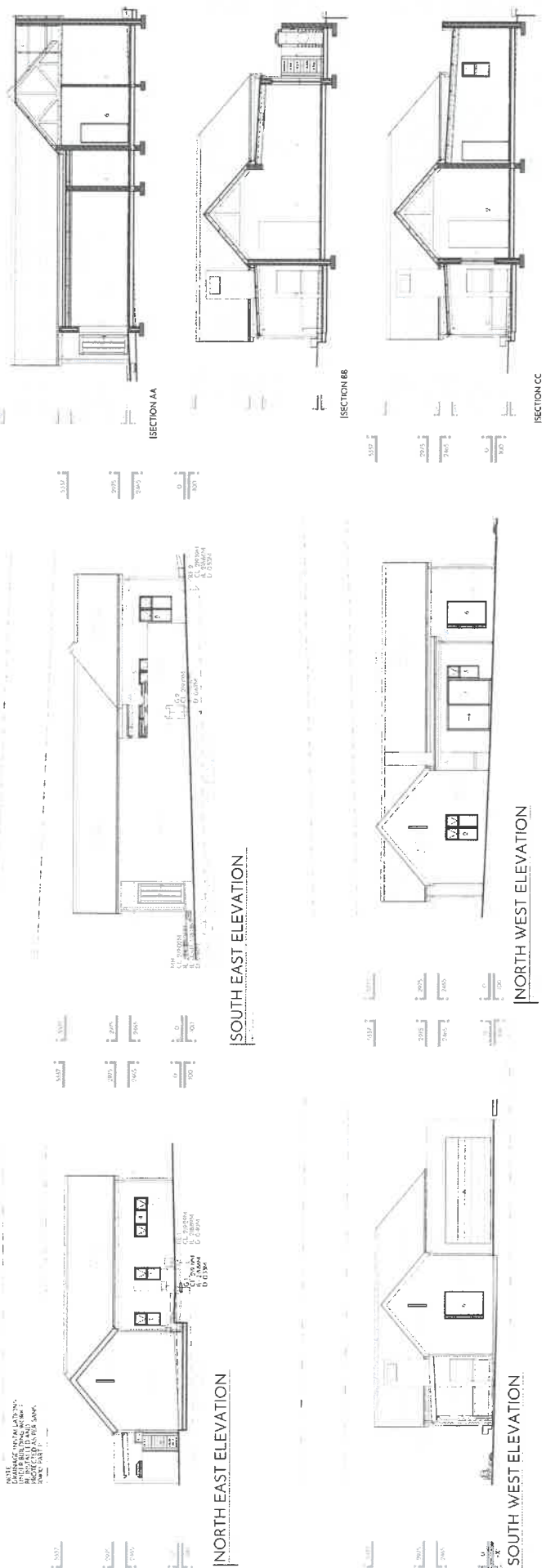


3D View 8


[illegible]




GROUND FLOOR PLAN



ARCHITECT			
PROFESSIONAL RESIDENCE			
CLIENT NAME(S)			
DATE	DATE	DATE	DESCRIPTION



16 01-78-0000
3363 01-78-0000
3363 01-78-0000
3363 01-78-0000
3363 01-78-0000
3363 01-78-0000



A.P.S. I.A.C.

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SCALING
 The drawings are to be scaled as indicated on the drawings.

Client
Blueridge Property Group

Signature

Project Name
GLENN VILLAGE - SITE PLAN PROPOSAL

Phase 2 - Unit Type - SDP Submittal

Plot Number

Engineer

Signature

Architect
GERRIT PETERSE

Registration
FL-0546181334

Signature

Stamp
SDP Drawings Unit B03

Job Number
001

Drawn

Check

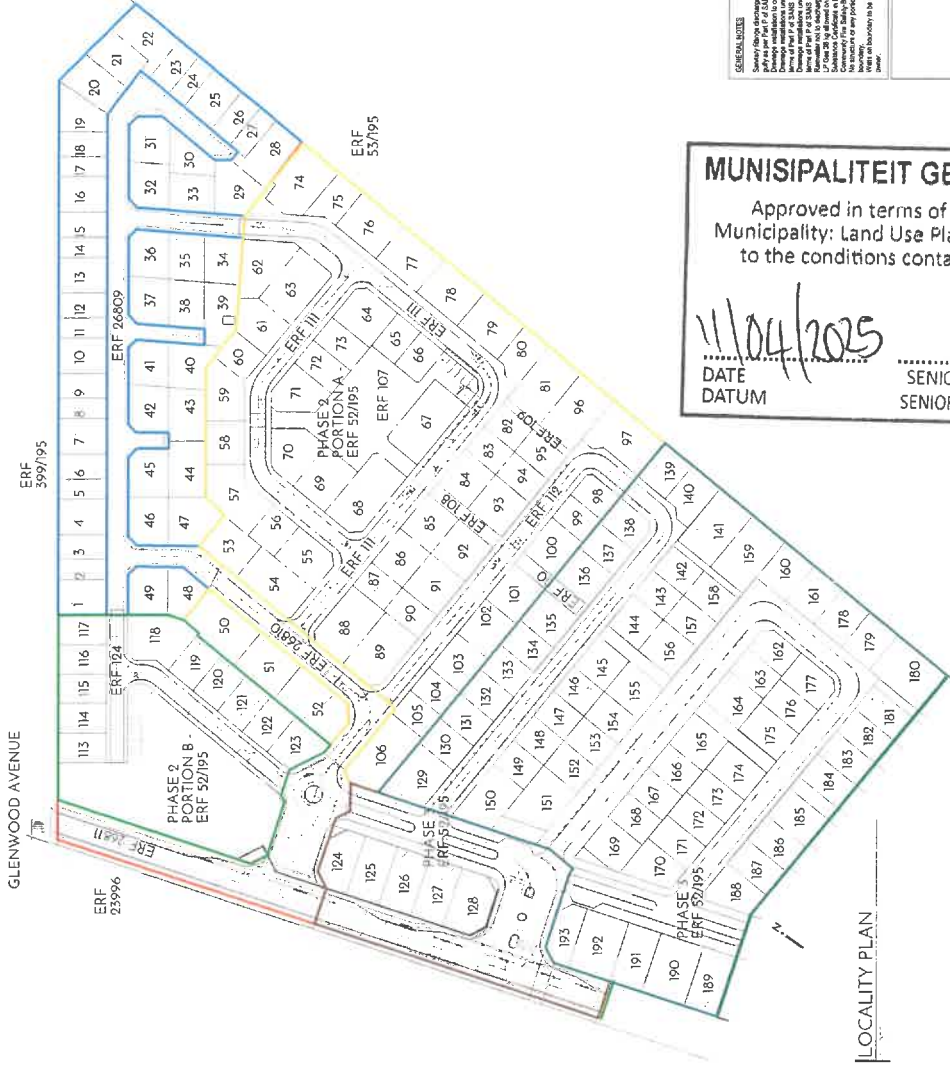
Scale
1" = 10'

Revision
2/24/06/01

Variable Number

Issued For

INFORMATION



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Approved in terms of Section 60 of the George Municipality: Land Use Planning By-law (2023) subject to the conditions contained in the covering letter.

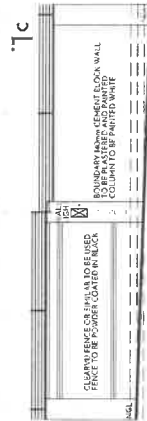
DATE
11/04/2025
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPLANNING

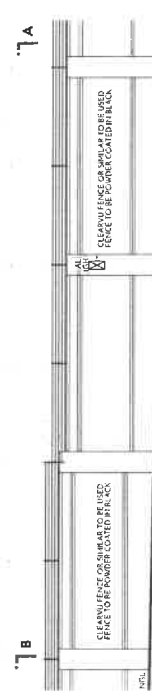
SITE AREA SCHEDULE



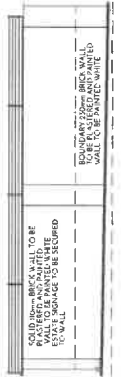
DESIGN NOTE
FOR THE WALL SCHEDULE, THE DESIGN
FOR THE WALL SCHEDULE IS TO BE
OPTIONAL: 1. FENCE WALL TYPE 1 WALL
FOR THE 1. FENCE WALL TYPE 1 WALL
FOR THE 1. FENCE WALL TYPE 1 WALL



ELEVATION 1 - TYPICAL



ELEVATION 2 - TYPICAL



ELEVATION 3 - SINGULAR



SECTION BB - TYPICAL



SECTION AA - TYPICAL



SECTION CC - TYPICAL

GENERAL NOTES
1. The design is based on the information provided by the client.
2. The design is based on the information provided by the client.
3. The design is based on the information provided by the client.
4. The design is based on the information provided by the client.
5. The design is based on the information provided by the client.
6. The design is based on the information provided by the client.
7. The design is based on the information provided by the client.
8. The design is based on the information provided by the client.
9. The design is based on the information provided by the client.
10. The design is based on the information provided by the client.

1. The design is based on the information provided by the client.
2. The design is based on the information provided by the client.
3. The design is based on the information provided by the client.
4. The design is based on the information provided by the client.
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6. The design is based on the information provided by the client.
7. The design is based on the information provided by the client.
8. The design is based on the information provided by the client.
9. The design is based on the information provided by the client.
10. The design is based on the information provided by the client.

LAPALAKA
PROPERTY GROUP

client
Bharat Property Group

project
New Boundary Wall on ERF 52/195, G1
Villages Country Estate

stand number
110-102

drawn
A1

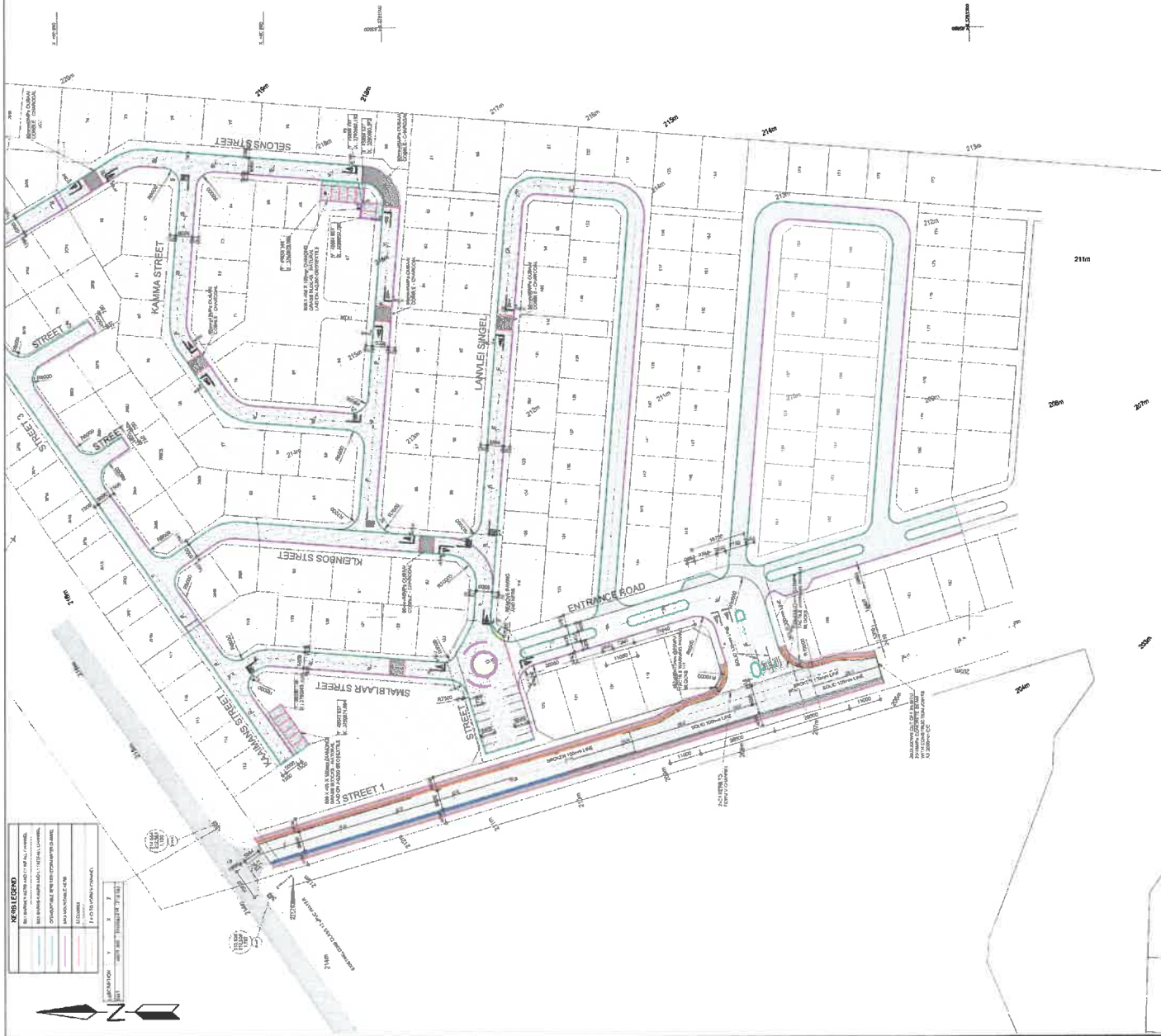
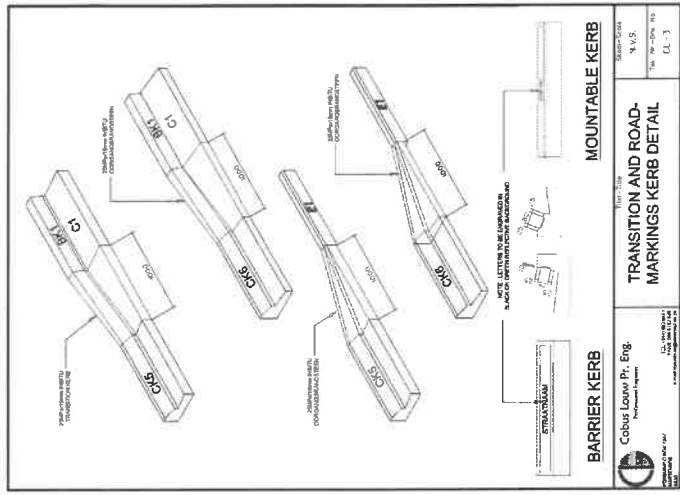
checked
A1

date
2024/04/25

revision number
1

Approved in terms of Section 60 of the George
Municipality: Land Use Planning By-Law (2023) subject
to the conditions contained in the covering letter.

SENIOR MANAGER TOWN PLANNING
SENIOR BESTUURDER, STADSBEPLANNING



Skool:Scot	1:750	JULY 2024	Edum:Estie
Training No:Growth			
G435P3-1			
WVS:GRO			

STREET LAYOUT & KERB DETAILS

PHASE 3 - GLEN VILLAGE COUNTRY ESTATE

Klient-Client

**GLENHAVEN COUNTRY ESTATE
PTY LTD**

Signature: _____
Pr. Eng.

Roundwende Ingenieur-Consulting Engineer

Contract-Date: 2024-07-12

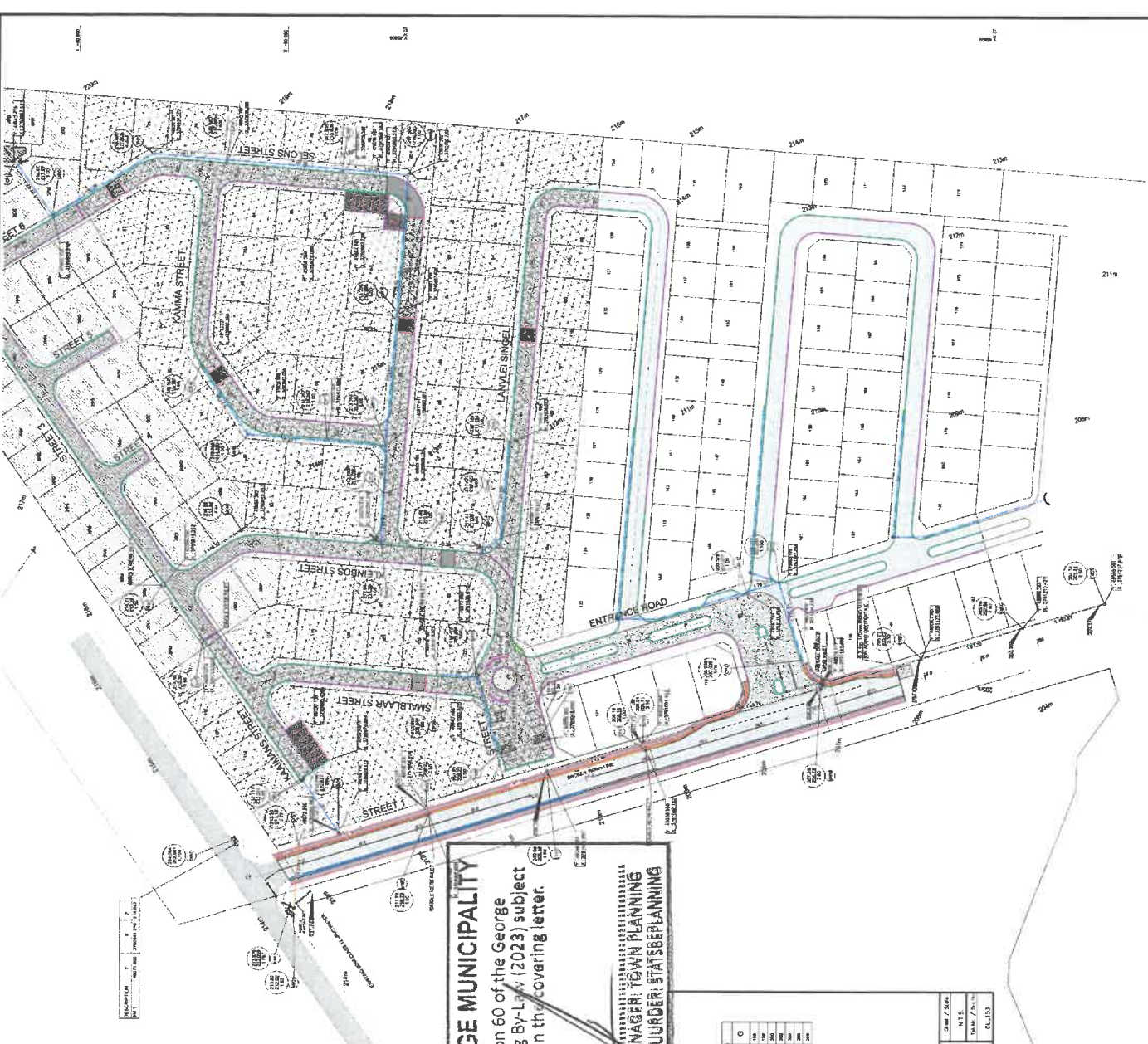
Klient: (Client)

JLL
Gehlen-Gravn
CAD
Kagesien-Hecke

Cobus Louw Pr. Eng.
Professional Engineer



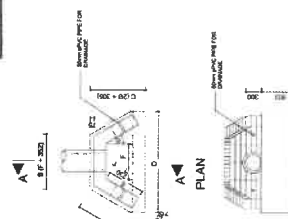
Figure 1 shows a schematic diagram of a four-bar linkage mechanism. The mechanism consists of four links: a fixed frame (link 1), a crank (link 2), a coupler (link 3), and a follower (link 4). The crank is labeled 'Crank' and the follower is labeled 'Follower'. The coupler is labeled 'Coupler'. The joints are labeled 'Revolute Joint' and 'Prismatic Joint'. The dimensions are given in mm: 10, 25, 50, and 100. The scale is 1 mm = 1 mm.



Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

11/04/2025
DATE
DATUM

Screw type	HEAD AND WINGWALL DIMENSIONS (mm)						
	A	B	C	D	E	F	G
302	375	307.7	102.6	108.0	71.6	38.5	156
304	375	308	103	107	71.3	38.5	156
4-48	438	338	133	137	104	53	200
6-48	438	338	133	137	104	53	200
6-52	494	395	151	156	106	59	250
8-52	544	432	175	205.6	119	102	300
10-52	644	532	202	250.6	149	120	300
7-70	701	569	232	249	148.6	148	326
10-70	701	569	232	249	148.6	148	326
12-70	761	637	259	276	159	169	376

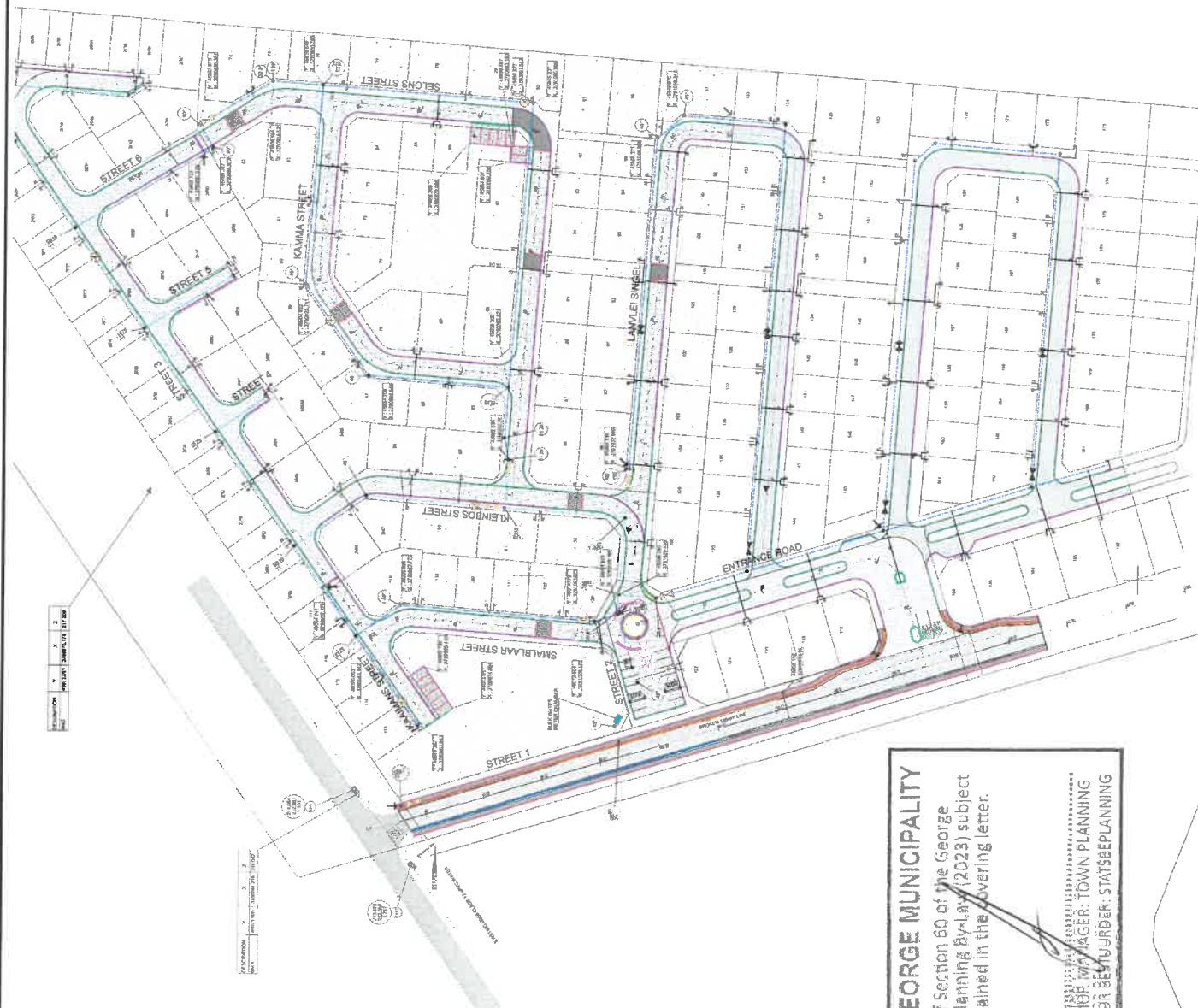


PIPE CULVERT IN- AND OUTLET STRUCTURE (BRICK)

SECTION A-A
250

2nd / 3rd
NTS.
Yak. Mr. / Dr. (1)
PA. 153

STORM WATER LEGEND	
100mm Ø100	SPRINKLER SOCKET STORMWATER PIPE
150mm Ø150	SPRINKLER SOCKET STORMWATER PIPE
200mm Ø200	SPRINKLER SOCKET STORMWATER PIPE
400mm Ø400	SPRINKLER SOCKET STORMWATER PIPE
	EXISTING STORMWATER PIPE
	COVER LEVEL
	INVERT LEVEL
	DEPTH
	NUMBER
	LOOKING INVERT LEVEL
	STORM WATER MANHOLE
	KCRB INLET
	KCRB INLET
	STORMWATER OUTLET

[illegible]

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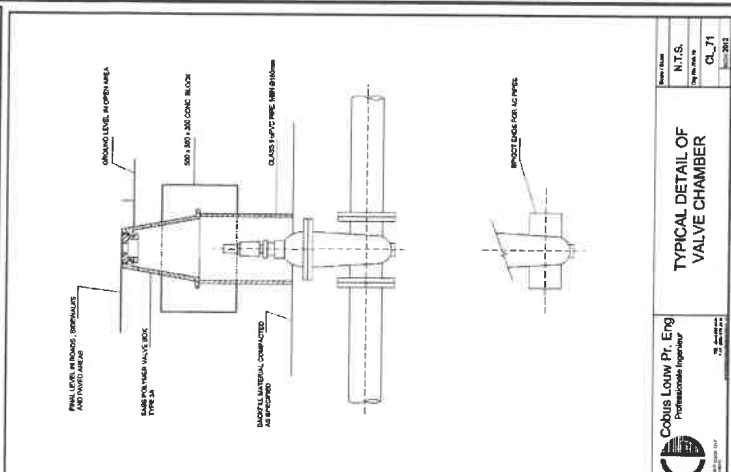
11/04/2025

DATE

DATUM

SENIOR MANAGER: TOWN PLANNING

SENIOR BEAUFINDER: STATISBEPLANNING



	EXISTING LOT STAKE N. 1/4 SEC. 26 T. 9N. R. 10E		Cobus Louw Pr. Eng. Professional Engineer	PROJECT NUMBER: JLL PROJECT DATE: 2024-07-12 CAD DRAWING CHECKED BY: TEL: (844) 862 0441 FAX: (866) 8197 828	CLIENT: GLEN GLENHAVEN COUNTRY ESTATE PTY LTD	PROJECT OBJECTIVE: PHASE 3 - GLEN VILLAGE COUNTRY ESTATE	TITLE:	WATER LAYOUT & FIRE HYDRANT AND VALVE CHAMBER DETAIL	SHEET SCALE: 1:750	DRAWN DATE: JULY 2024	TAKING NO.: G 43SP3-4
--	--	--	---	---	--	---	--------	--	------------------------------	---------------------------------	---------------------------------



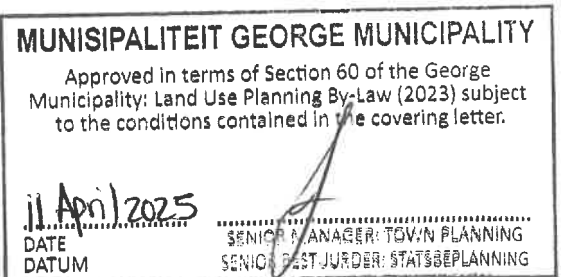
GLEN VILLAGE COUNTRY ESTATE ARCHITECTURAL GUIDELINES



Revision 3.1 - August 2024

Lapalaka Architects

GEORGE - Western Cape



CONTENTS

1. INTRODUCTION TO GLEN VILLAGE COUNTRY ESTATE
2. PURPOSE OF THE ARCHITECTURAL GUIDELINES
3. ARCHITECTURAL DESIGN GUIDELINES
4. PLANNING GUIDES

Revisions to Edition: -3.1

Notable change made to the building lines Due to advice from town planner, Jan Vrolijk (pg-13.)

- A. STREETSCAPES
- B. BUILDING LINES
- C. PLAN FORMS & HEIGHTS
- D. EXTERNAL WALLS
- E. MATERIALS, METHODS & COLOURS
- F. YARDS, DIVISIONS AND BOUNDARIES
- G. ROOFS
- H. CHIMNEYS
- I. WINDOWS AND DOORS
- J. CARPORTS / PERGOLAS AND TRELLISES
- K. PAVING
- L. PARKING
- M. WATER AND SUSTAINABILITY
- N. LANDSCAPING
- O. PATIOS

5. GENERAL
6. PRECEDENT
7. ARCHITECTURAL TEAM
8. ARCHITECTURAL DESIGN REVISIONS

9. CHANGES TO ARCHITECTURAL GUIDELINES: REVISION 002

BUILDING LINES (SETBACKS):	
Street Building line	Less than or equal to 250 M² 1 Metre
Side building line	Greater than 250 M², but not exceeding 500 M², 0 Metre on one side 1 Metre on all other sides
Rear building line	0 Metre on one side 1 Metre on all other sides 1.0 Metre

PHASE 3 - BUILDING LINES – Group Housing

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11 April 2025

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SENIOR BESTUURDER: STADSBEPLANNING



1. INTRODUCTION TO GLEN VILLAGE COUNTRY ESTATE

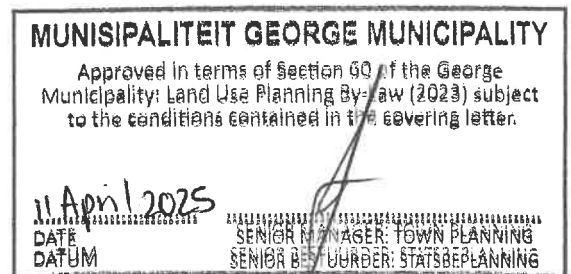
Glen Village Country Estate is a residential development, extending over five phases of development, with 220 free title homes and cluster units located in a village setting.

The philosophy is to form a friendly, secure, and welcoming residential environment that enhances the quality of family and community life within a safe living environment in a secure location.

This is comprised out of 24/7 controlled access security with a Homeowner's Association (HOA) maintaining and regulating the estate.

This can appeal to all generations of homeowners, either as an investment, family dwelling or retirement home. The objective in designing Glen Village Country Estate is in search of a Cape Vernacular Archetype.

- **Free Title House / Unit Types:**
 - Freestanding House / Group Housing
 - Town Housing / Cluster Units – (29 units in phase 1 only)
- **Urban Design Characteristics:**
 - A Village Typology
 - A Human Centred Approach
 - Pedestrian Friendly Environment
 - A Visually Open and Connected Urban Space
 - Amongst Nature and Access to Communal Spaces
- **Village / Erven Characteristics:**
 - Visually Open and Connected Erven
 - A Communal Outlook
 - A Welcoming Atmosphere
 - A Variety of Unit Types
 - A Safe Environment
- **A Site-Specific Design Response:**
 - Sun Conscious
 - Creating Layered Threshold from Street to Doorstep
 - Indoor / Outdoor Design Approach
 - Blended Thresholds
 - A Nature Centred Design
- **The House / Unit Layout Design Response:**
 - Sufficient Design
 - Efficient Design
 - Utilitarian Design
 - Functional Design
 - Ensuring a Private House / Unit Feel
 - A Social / Interaction Outlook Towards the Larger Urban Context
- **A Premier Garden Route Lifestyle:**
 - The Availability of 1-, 2-, 3- & 4-bedroom Houses with Garages
 - Cape Vernacular Archetype designed Outlook with a Modern Farmhouse Typology and Style
 - Fibre Connection Point at Each House / Unit
 - Multiple House / Unit Style and Layout Options



- Bespoke Finishes
- A Pristine Green Space within the Estate
- Solar Ready
- A Pet Friendly Environment

Each home should be considered, with the focus directed towards the natural movement of sun light rising in the East and setting in the West. The units are designed to blend indoor and outdoor living areas, creating positive indoor/outdoor social patio spaces, looking over the beautiful natural environment. The design intends to promote safety, privacy, and a secure environment.

Note:

The design of each House / Unit and any additions to shall favour the visual parameters towards the communal space and neighbours.

Glen Village is well located and near major arterial routes along the Garden Route Mall. It has the advantage of being located on the urban edge, allowing the homeowners to enjoy the natural connection boasting spectacular views of the Northern Outeniqua mountains.



GARDEN ROUTE: FIG: 1

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DATUM

SENIOR PLANNER: TOWN PLANNING
SENIOR PERMITS: STADSBEPLANNING

2. PURPOSE OF THE ARCHITECTURAL GUIDELINES

“Architecture is not about the object but the objective, not about the product but the process.”

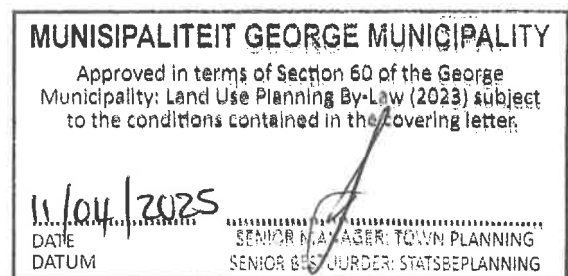
Francis Kere – Pritzker prize winner 2022

The main purpose of this architectural guideline is to establish and define the architectural aesthetic and character of the overall development. To set the standard for the development and all the constituencies in the built environment constructed therein. To define and summarise the Town Planning & Development Controls as laid down in the Council Development Regulations, (George integrated Zoning scheme by-law 2017). This Architectural Guideline provides the parameters in which to create this overall aesthetic.

- **Define Architectural Aesthetic & Character**
- **To Set an Overall Standard**
 - Physical Development
 - Constituencies in the Built Environment
- **To Define and Summarize (Council Development Regulations)**
 - Town Planning
 - Development Controls
 - Aesthetic Parameters

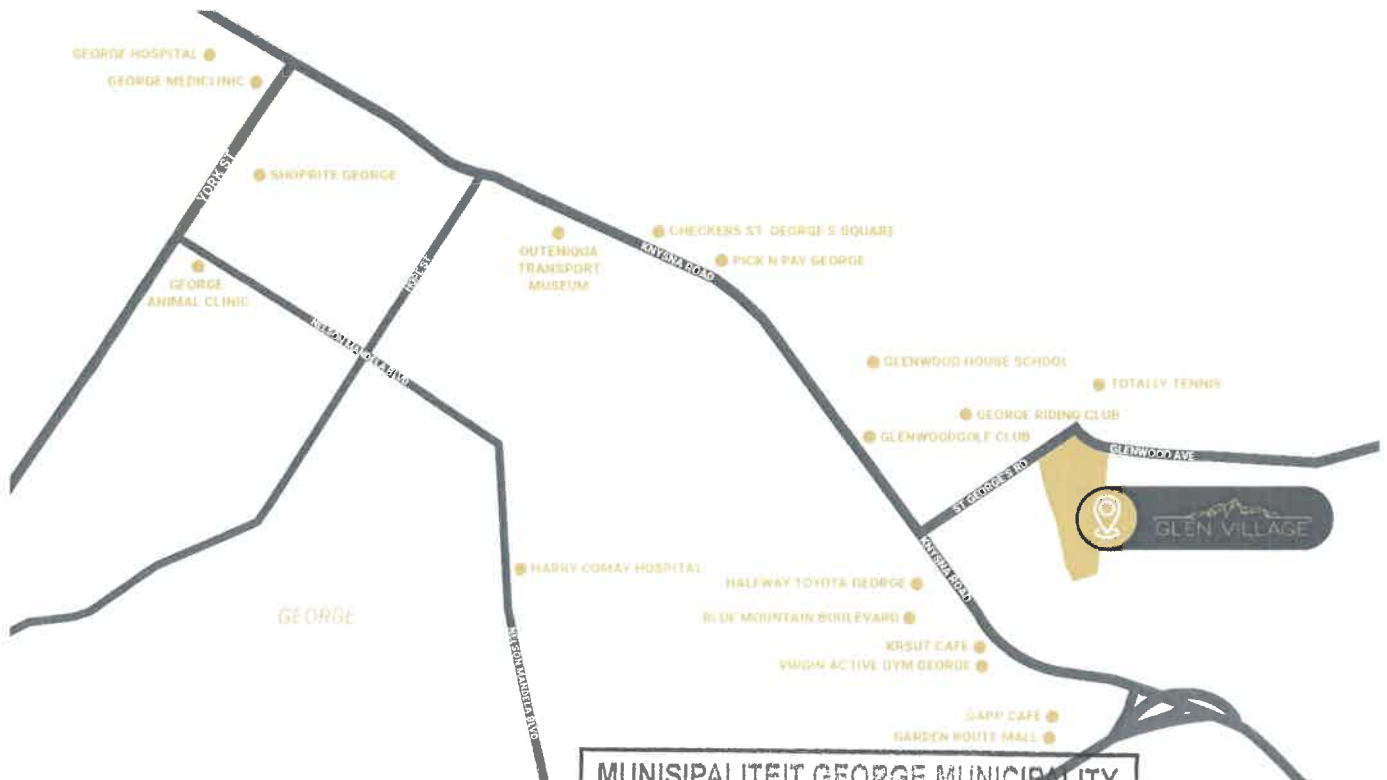
Where a designer wishes to promote a design concept that may conflict with certain conditions in the guidelines or where site conditions are such that a logical design approach may be inhibited by one or more restrictions in the guidelines, designers may approach the HOA with a formal request to discuss their proposal and to apply for exemption from those specific conditions in the guidelines.

- **HOA Communication Process**
 - HOA (Homeowners Association)
 - Formal Application to the HOA with regards to
 - A Promotion
 - A Suggestion
 - A Request
 - Receive Feedback from HOA
 - Approval
 - Exempt
 - Denied





LOCALITY MAP 1: FIG: 2



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LOCALITY MAP 2: FIG: 3



3. ARCHITECTURAL DESIGN GUIDELINES

The design language intends to bring together the quintessential elements of Cape Vernacular Architecture:

Cape Vernacular Architecture is a traditional style of architecture that originated in the Western Cape region of South Africa during the 18th century. It is characterized by a fusion of Dutch, French, and British building styles, adapted to the local climate and materials.

Typical features of Cape Vernacular Architecture include pitch roofs, white-washed walls, gabled ends, and verandas supported by slender columns. The use of natural materials such as stone, brick, charcoal-coloured roofs and timber is also a hallmark of this style. The architecture is known for its simple yet elegant design, with a focus on functionality and practicality.

Over time, Cape Vernacular Architecture has evolved to incorporate modern elements while still maintaining its traditional charm. It remains a popular choice for residential and commercial buildings in South Africa and has gained popularity internationally for its unique aesthetic appeal.

Aesthetic Language and Objectives:

- **Cape Vernacular Architype Elements**
 - Pitch Roofs
 - White-washed Walls
 - Gable Ends
 - Verandas
- **Residential House / Unit Objectives**
 - To Achieve a Residential Community Homogenous Design
 - Variety of Design Option
 - To Create a Harmonized Living Experience
- **Construction Constraints Objectives**
 - To guide the use of
 - Materials,
 - Colours,
 - Styles Of Roofs
 - Other Elements to Retain a Balanced Environment.
- **Restrictions**
 - This document is not intended to restrict the homeowner from having creative liberties on their property, but to ensure that those liberties do not impede on the neighbourhood aesthetic.
 - Additions / Alterations should positively add to the overall vision and aesthetics.

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SENIOR BEPLANNING



Estate Development Phases:

Glen Village Country Estate is also subdivided into smaller internal villages (4 Phases), flowing into one another. All the villages have the same Cape Vernacular architecture that remains true to the classic George style with varying degrees of contemporary influences. Every village has slightly different features, with the overall focus on creating an internal identity for every homeowner and phase.

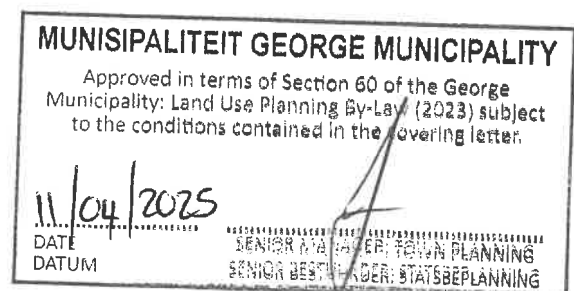
- **Glen Village**
 - 4 Phase Development
 - Interconnected / Dynamically Linked
 - Every village has slightly different features, with the overall focus on creating an internal identity for every homeowner.

Deviations to the general design guidelines (for structures) can be done so with a written application. These deviations will be subject to HOA approval and will be based on merit for the individual property. Such approved deviations, if any, will not set any precedents for future planning.

- **Deviations**
 - Will be considered.



GATE HOUSE: FIG 4

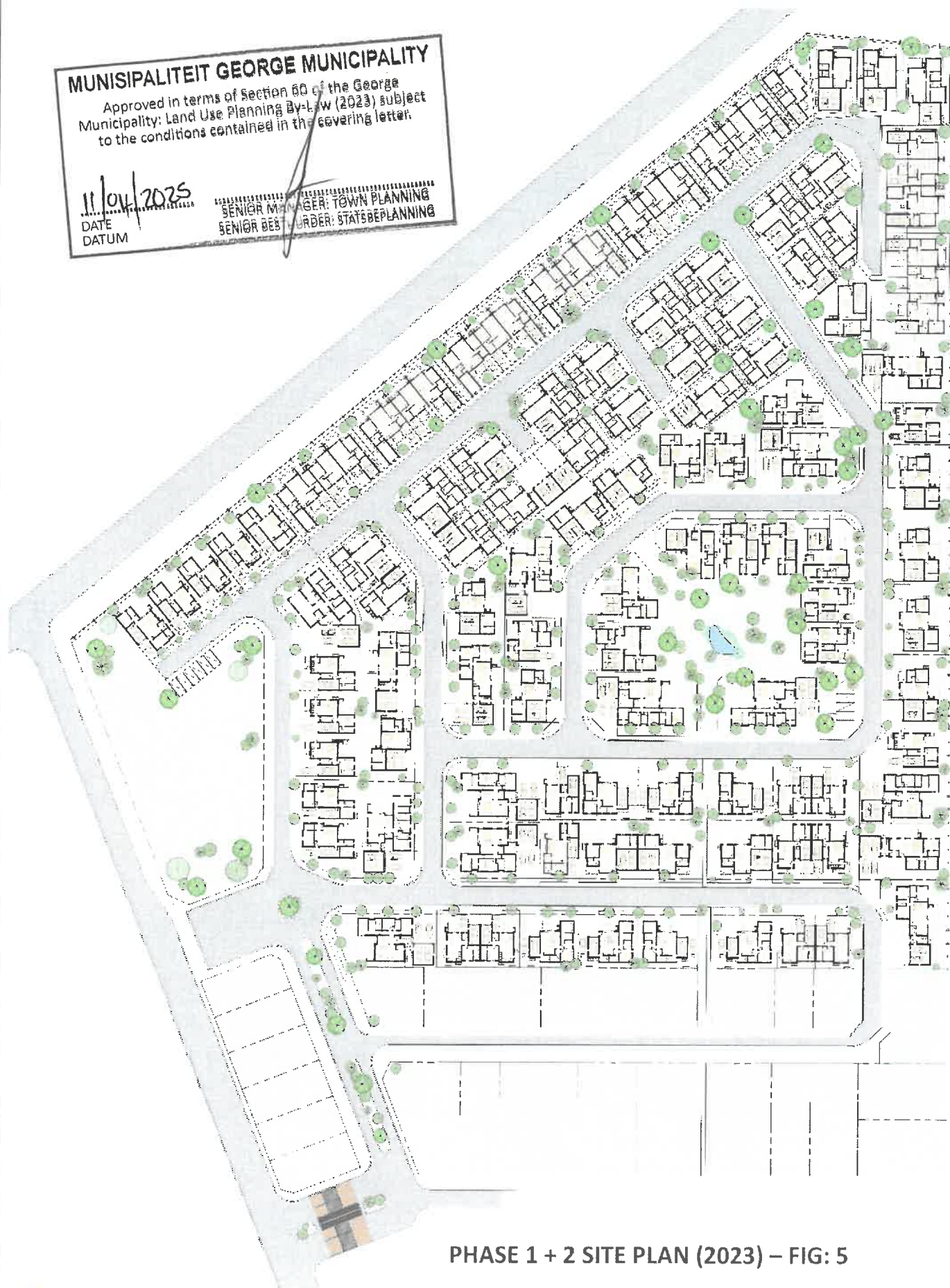


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SENIOR DESIGNER: STATSBEPANNING



PHASE 1 + 2 SITE PLAN (2023) – FIG: 5



4. PLANNING GUIDES

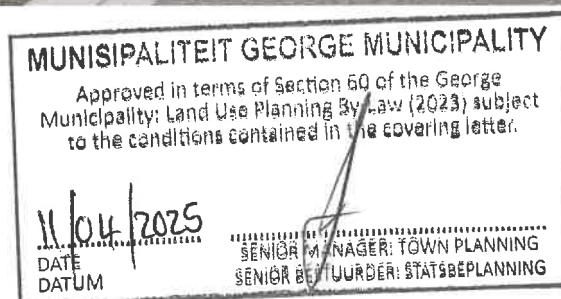
A. STREETSCAPES

- **Streetscapes**
 - All buildings to be placed parallel to the street building line in the interest of a homogenous streetscape.
 - The road reserves of all internal roads and proclaimed public open spaces will be landscaped.
 - The pavements and green walkways on the curb edge will either be paved or planted with indigenous vegetation.
 - The building of high street Boundary Walls / Yard Walls is discouraged in an effort to prevent the development of a typical suburban streetscape that has a ‘tunnelling effect’.
 - Privacy from the street is intended to be improved through the growth of foliage.
 - Large glass panes should be softened by architectural devices such as awnings or pergolas over these areas, this is typically required for enclosed patios.

This development is intended to have a Village aesthetic, and therefore each unit has a responsibility towards to greater overall street edge, in respecting a similar architectural language.



STREETSCAPE – FIG: 6



B. BUILDING LINES**Definitions:**

- The Building Area includes as part of coverage:
 - The House / Unit consists out of:
 - Internal Living Spaces, and the Covered Patio are to be set back from the cadastral boundary.
 - This Excludes: (Within set municipal limits)
 - Pergolas
 - Open Courtyards / Yards
 - Boundary Walls and fences.
 - Garages and Carports
- Building Line Council / HOA Regulations in Relation to:
 - Erf Area
 - The Boundary Line
 - This is the Distance Measure from Centre of Boundary Wall, cadastral boundary line.
 - As set out by Land Surveyors General Plan.
- Structures in relation to Erf / Building Line
 - Boundaries
 - As set out by Land Surveyor
 - Guest Parking
 - As demarcated on the Building Plan and site development plan
 - Carports
 - The Carport must be located within the Property Boundary Lines.
 - Pergolas
 - The design shall favour the Visual Parameters towards the Communal Space and Neighbours.
 - Awnings
 - Shall not cross Buildings Lines
 - Patios
 - Enclosed Patios shall be fitted with an Awning to adhere to HOA Aesthetics and the Council XA Calculation Submission, to control direct solar heat gain.
 - Patios shall not cross Buildings Lines.
 - Yards
 - Yard walls (Height 1.8m Max.) may be built onto the Boundary Line.
 - Garages
 - Garages must be set back 5m from the front street curb edge. (Phase 2-4 design parameter)
 - Fire Walls – National Fire Regulation
 - Openings (windows and doors) may not be closer that 1m from the boundary, if the opening is closer, the boundary division wall must be a fire wall, matching the height of the opening.
 - If Garages are adjoined, there must be a fire wall that protrudes 1 meter beyond the opening and as high as the Garage door opening.
 - Building Apron
 - The Building Apron shall have a width of 400mm or more. Always favouring greenspace.
 - Building Lines
 - Street Building Lines – please refer to the Building Line Table below.
 - Side Building Lines – please refer to the Building Line Table below.
 - Rear Buildings Lines – please refer to the Building Line Table below.
- Deviations
 - Consolidation of Erven
 - No consolidation of erven will be permitted without written approval of the HOA. The decision of the HOA in this regard shall be final and binding on the owner.

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SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURDER: STADSBEPLANNING

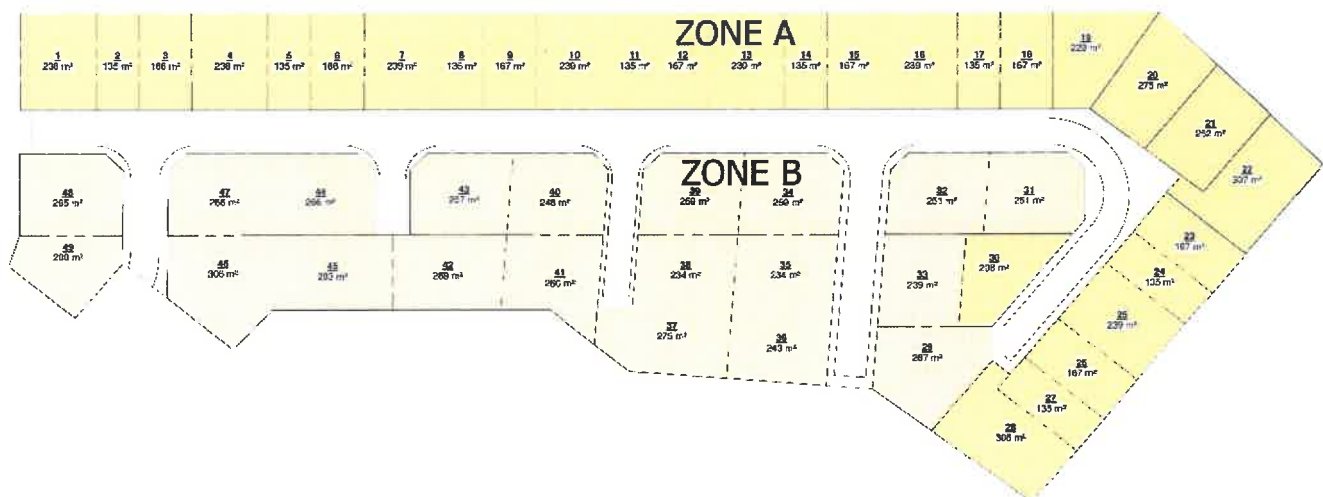
PHASE 1: TOWN HOUSING & GROUP HOUSING - BUILDING LINES (CONSTRUCTION SETBACKS):

- Phase (1) – Approved zoning rights and of the development and subdivisions allows for 49 erven. As per approved SDP in 2015. “O” Meter building lines were allowed for the Garages on the street edge for the town housing component (units 1-28 + 30).

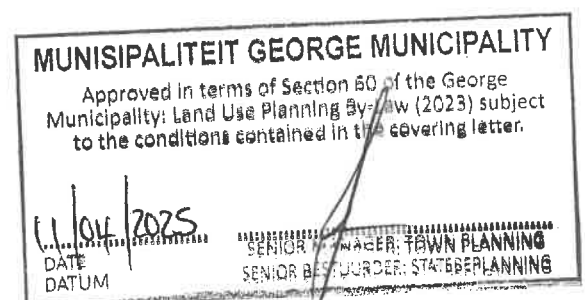
PHASE 1 - BUILDING LINES

BUILDING LINES (Setbacks from cadastral boundary)	ZONE A – Town Housing	ZONE B – Group Housing
Street building line	0 Metre	1 Metre
Side building line	0 Metre on side 1 Metre on all other sides	0 Metre on side 1 Metre on all other sides Central cluster 0 Meter on both sides
Rear building line	1 Metre	0.5 Metre

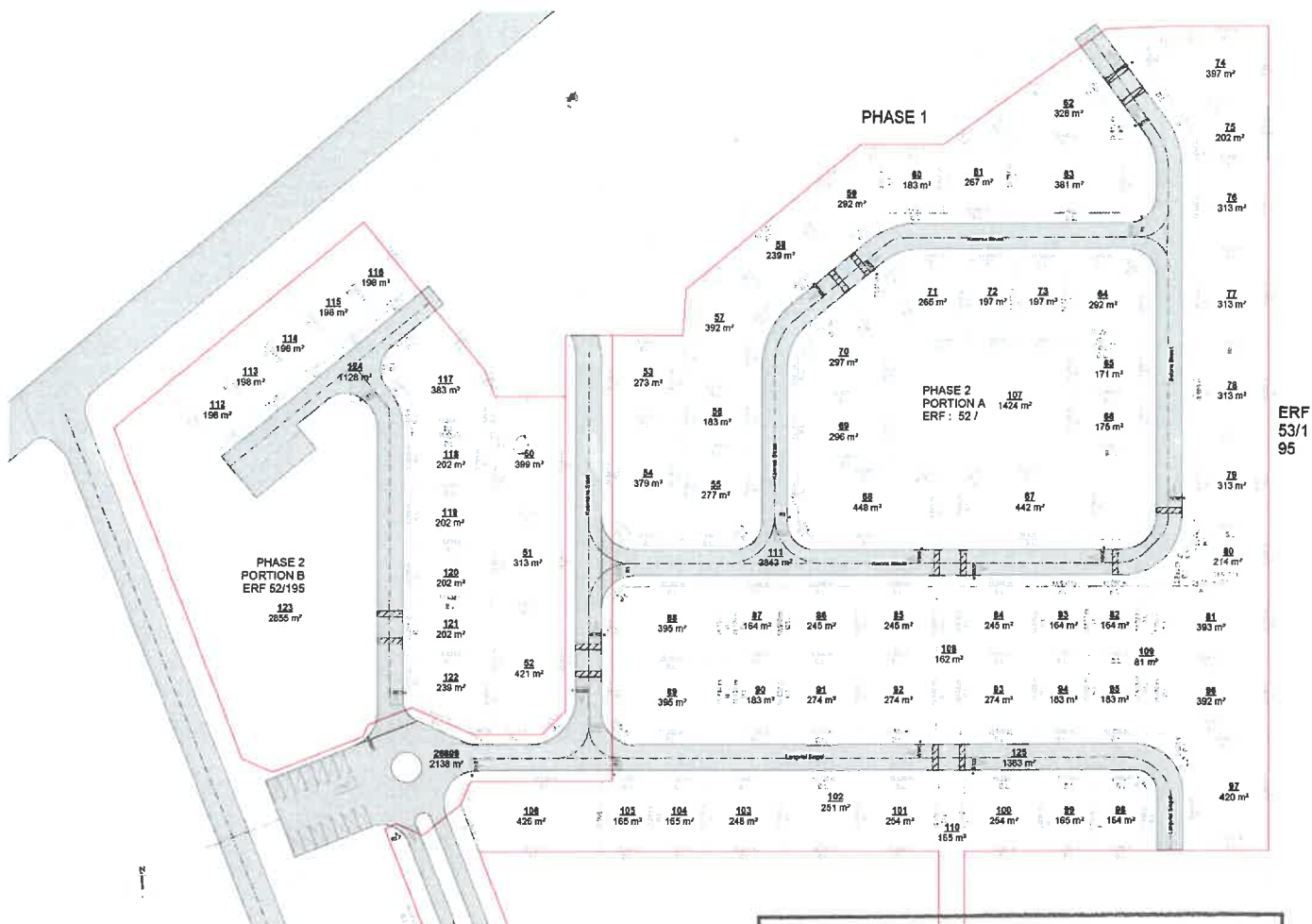
PHASE 1 -



Phase 1 layout – FIG: 7



PHASE 2: GROUP HOUSING - Building Lines (Setbacks):



PHASE 2: CADASTRAL PLAN: FIG 8

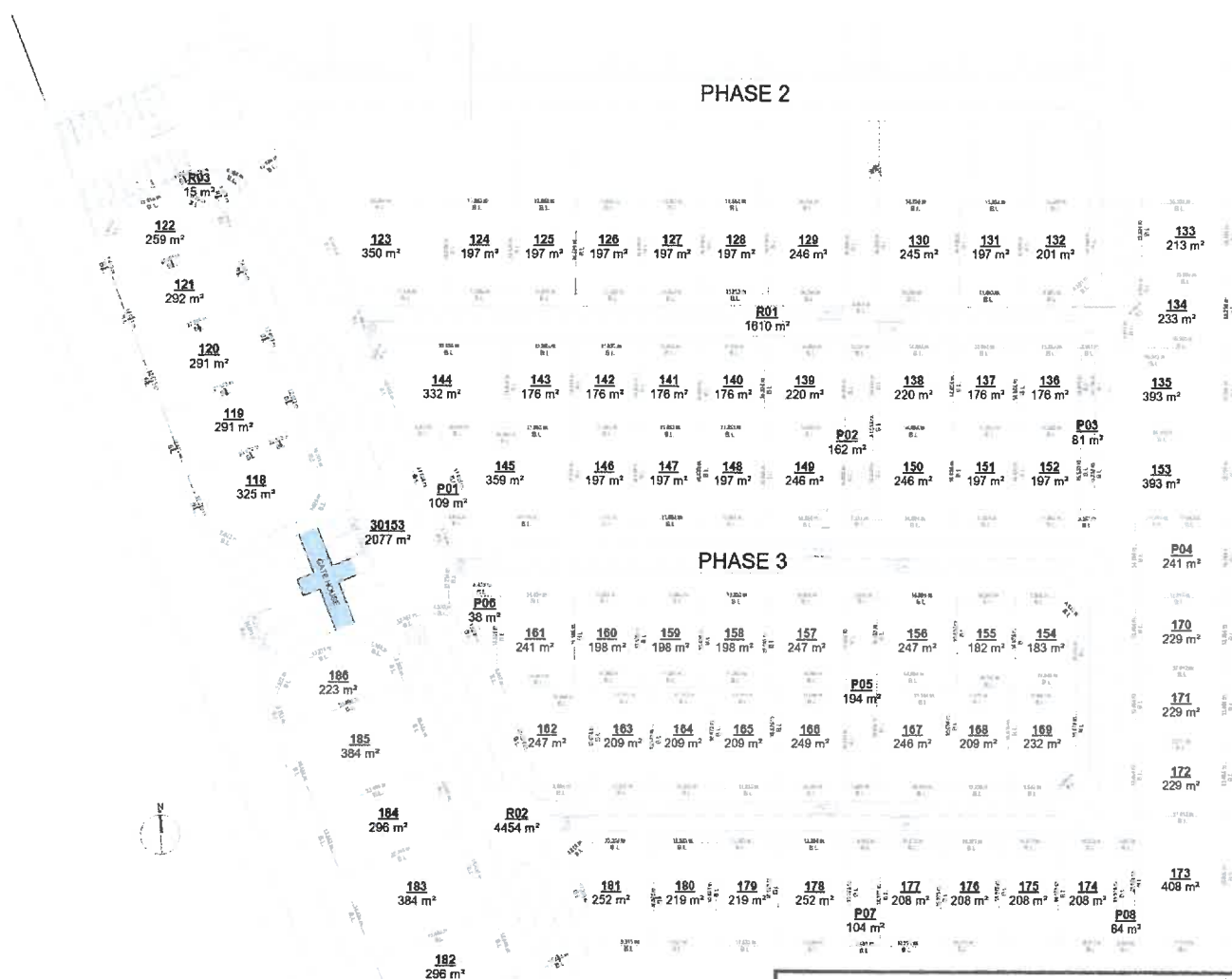
PHASE 2 - BUILDING LINES – Group Housing

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BUILDING LINES (SETBACKS):	Less than or equal to 250 M ²	Greater than 250 M ² , but not exceeding 500 M ² ,
Street Building line	1 Metre	1 Metre
Side building line	0 Metre on one side 1 Metre on all other sides	0 Metre on one side 1 Metre on all other sides
Rear building line	1.0 Metre	1.0 Metre
	(i) 3 METERS WHERE PERIMETER OF THE SITE ABUTS AN EXTERNAL PUBLIC STREET (ii) 1.5 METERS ALONG THE SIDE ARE REAR BOUNDARY OF SITE	

- Yard & Garage building line = 0 Meter on side boundaries: and can form part of the side boundary wall.
- Garage building line and setback from street curb edge = 5 Meter: for dedicated visitors parking bays.





PHASE 3: CADASTRAL PLAN: FIG 9

PHASE 4 MUNICIPALITEIT GEORGE MUNICIPALITY

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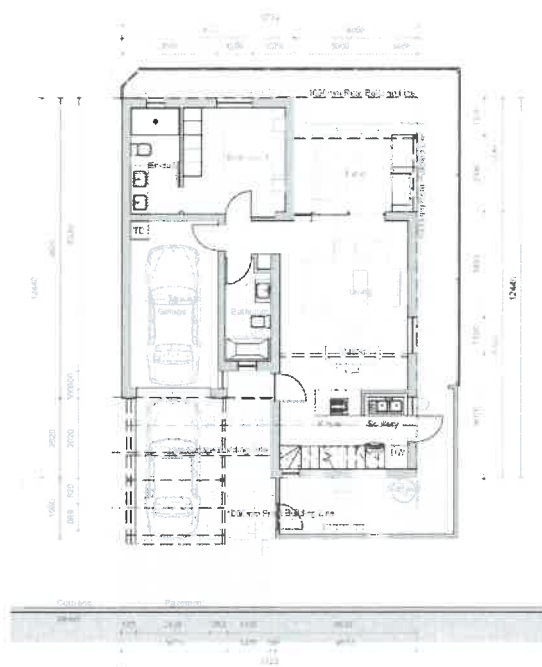
SENIOR MANAGER: TOWN PLANNING
SENIOR DESIGNER: STATSBEPANNING

PHASE 3 - BUILDING LINES – Group Housing

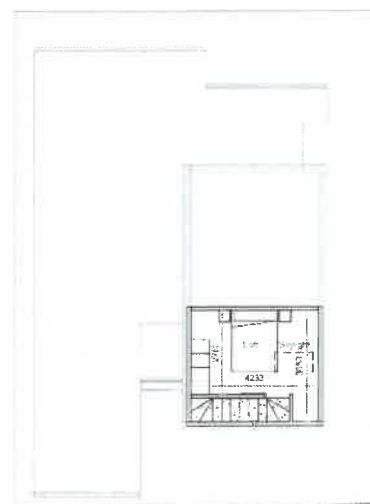
BUILDING LINES (SETBACKS):	Less than or equal to 250 M ²	Greater than 250 M ² , but not exceeding 500 M ² ,
Street Building line	1 Metre	1 Metre
Side building line	0 Metre on one side 1 Metre on all other sides	0 Metre on one side 1 Metre on all other sides
Rear building line	1.0 Metre	1.0 Metre
	(i) 3 METERS WHERE PERIMETER OF THE SITE ABUTS AN EXTERNAL PUBLIC STREET (ii) 1.5 METERS ALONG THE SIDE OR REAR BOUNDARY OF SITE	

- Yard & Garage building line = 0 Meter on side boundaries: and can form part of the side boundary wall.
- Garage building line and setback from street curb edge = 5 Meter: for dedicated visitors parking bays.





EEN C: LOFT TYPE: FIG: 10



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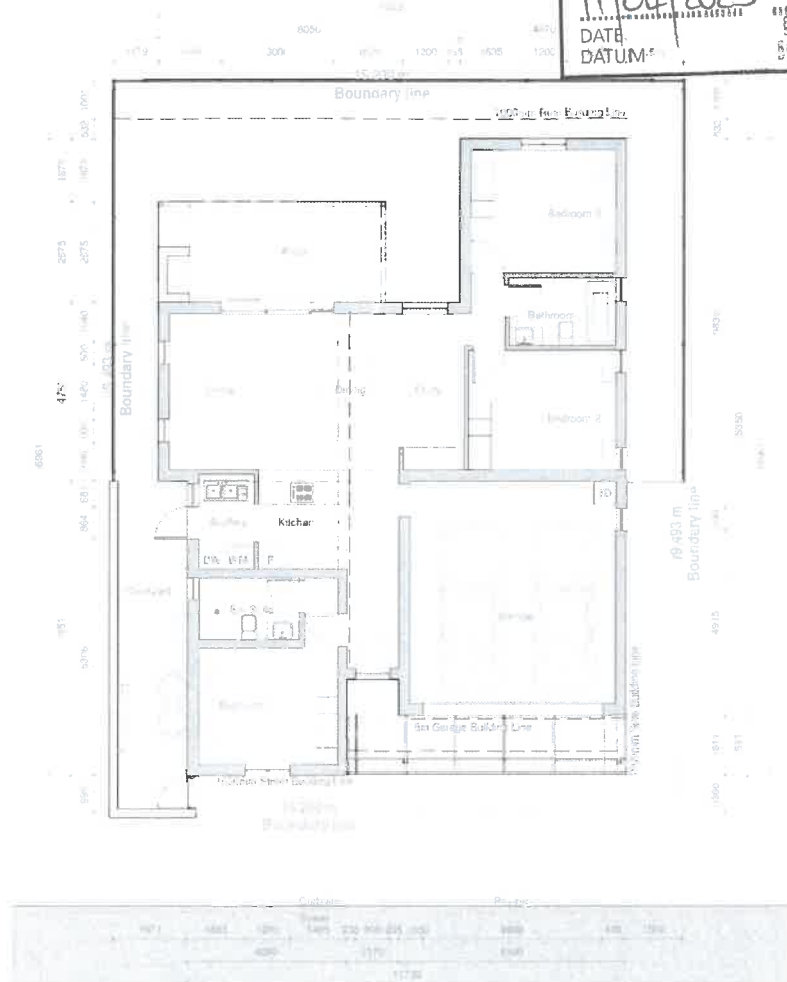
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SENIOR DESIGNER: STATSBEPANNING



DRIE C: FIG: 11

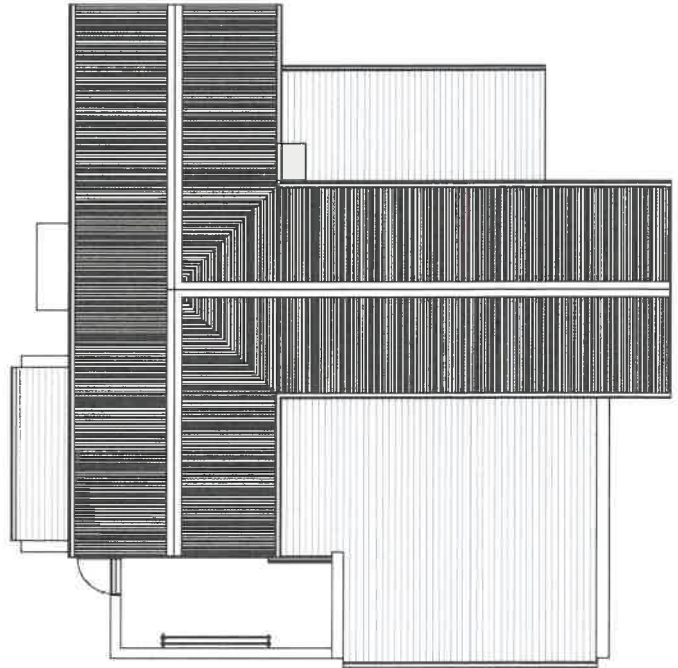
C. PLAN FORMS & HEIGHTS

The plan forms of the homes are either rectangular or composite rectangles in shape. The house forms are to be composed of major and minor plan elements with limited widths. These forms can be linked by flat or lean to roof elements. (H, L, U & T) Shaped roof layouts are most recommended. Maximum width of the Main Form, to keep to the estate aesthetics.

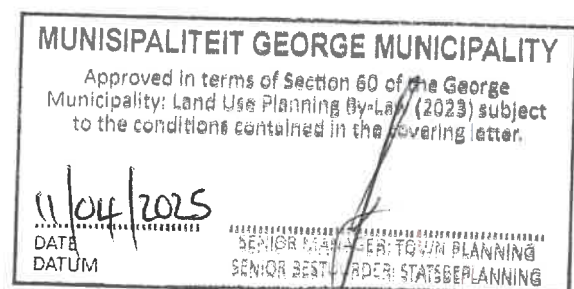
- Plan Forms & Heights
 - Building Form Options
 - Rectangular
 - Composition Rectangular

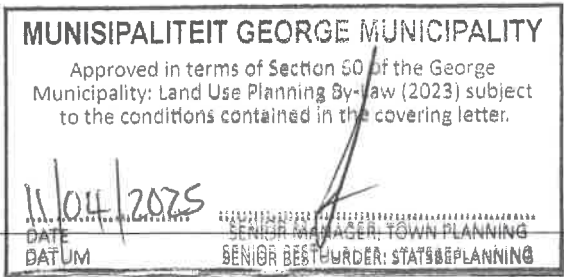
Non-parallel rectangular forms may only be used where the erf shape is not rectangular and subject to HOA approval.

The maximum height of all dwellings to be in accordance with the municipal regulations for Residential Zone 1 and Residential Zone 2. Heights will be measured from natural ground level. **(8.5m Maximum)**, lofts and double storey units are all subject to HOA approval – double storey units are discouraged as not to prevent views for neighbours, although loft spaces are allowed within elevated eaves. That conform to municipal standards.



ROOF PLANS – REV: 2 FIG: 12





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- **Chimney Form**
 - The chimneys are to be designed so that there is a broad base below the patio roof and tapers to a slender chimney as it extends past the roof. The chimney cowl may not be higher than 1m above the roof ridge and not exceeding 8.5m.
 - **Heights**
 - Gable / Roof
 - A Maximum Height of 8.5m
 - Boundary Walls
 - Maximum Height of 1.8m, or max of 2.4m in case of a fire wall, where necessary.
 - Yards Walls
 - All Walls, Fences and Gates facing the street will have a maximum height of 1.2m
 - Chimneys
 - The highest point of the chimney should be a maximum of 1m above the relative roof ridgeline and a minimum of 1m above the highest protrusion point from the roof.
 - Estate Perimeter
 - As per council regulation the perimeter wall may not exceed 2.1m in height on average including the electric fence.
 - **Fenestration proportions**
 - Vertical vs Horizontal Windows
 - Windows should have a vertical proportion to maintain the vernacular charm, longer horizontal windows will be considered for functional or privacy concerns.
 - Lintel Heights should be at a standardised height throughout the house.
 - Doors
 - It is recommended to have aluminium doors on the external boundaries of the house for durability and maintenance concerns, including garage doors.
 - Lintel Heights should be standard for all doors and windows.
 - Gates
 - Yard gates can become ornamented and customised to enhance the street approach.
 - HOA Approval is needed.
- MUNICIPALITEIT GEORGE MUNICIPALITY

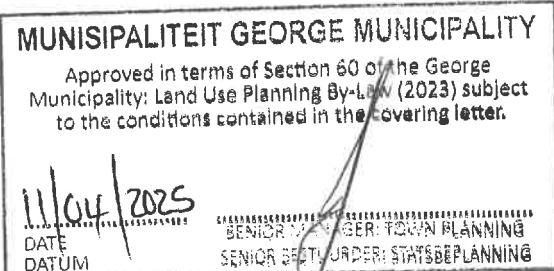
D. EXTERNAL WALLS

- **Walls**
 - All external walls with windows to be minimum 280mm cavity walls.
 - For aesthetic and functional reasons cavity walls may be enlarged to create deeper reveals.
 - Traditionally thick walls were constructed in a multifunctional nature and allowed the homeowners to create an array of functions such as cupboards, shelves, holders, secret enclaves, and bay windows to be incorporated into thick walls - subject to SABS requirements & HOA approval.
- **Plinth**
 - A plinth may be introduced in either plastered and painted finish or stone cladding finish. Material finish - subject to HOA approval.
 - The Plinth to be limited to areas equal to the finish ground floor level - subject to HOA approval.
- **Scale / Proportion / Measurements**

Homes are designed to emulate a natural proportioning system containing a (Base, Middel & Top) a footing, body, and head. This is a natural order of relatable proportions adding to the overall charm of the estate.

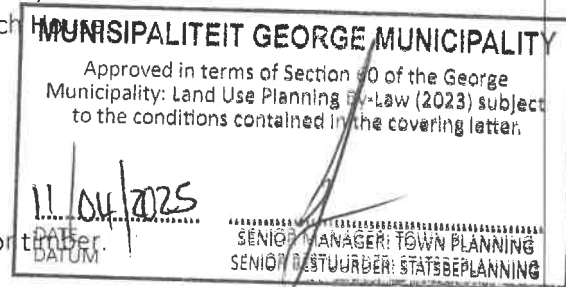


SHOW UNIT RENDER – FIG: 14



E. MATERIALS, METHODS & COLOURS

- **Wall Finishes**
 - **Exterior Non-Building Related Walls**
 - **Site Boundary wall**
 - All common rear boundaries to be constructed as either a solid brick walls or Clearview fence to improve visual privacy and must be approved by the HOA.
 - The wall colour and finish must match the dwelling in plaster and paint.
 - **Yard / boundary wall**
 - The preferred construction methodology is to make use of a weather coated fence that is to be overgrown by an indigenous shrubs, creeper, or hedges.
 - **Exterior / Interior Building Related Walls**
 - All the walls of the homes will be constructed with brick or approved building material.
 - Walls are to be plastered and painted (or similar aesthetic), no exposed face brick will be permitted.
 - It must be noted that the preferred white walls lean on the traditional vernacular chalk-washed walls and contrasting grey charcoal roofs colours. The aim is to create a contemporary Cape vernacular architecture, that lends from the best examples and carries them forward with an array of construction techniques and materials.
 - Textures could be introduced with scratch plastering techniques, bag wash textures, natural stone cladding and metal sheeting, all relating back to suitable and elegant proportions not detracting from the overall Cape vernacular style- subject to HOA approval.
- **Windows**
 - **Material**
 - All windows must be constructed in aluminium frame, or similar durable material.
 - A material type must be consistent throughout each
 - **Colours**
 - Match Doors / Roofs
- **Doors**
 - **Material**
 - All doors may be made up with either aluminium or timber.
 - **Colours**
 - Match Doors / Roofs.
 - Feature Colours to be approved by HOA.
- **Garage Doors**
 - Garage doors are styled to be a horizontal aluminium pattern. (No Timber)
 - Colours to match Doors / Windows / Roofs.
- **Shutters**
 - **Material**
 - Timber, aluminium and/or steel shutters are encouraged.
 - Shutters must be functional.
 - **Colour**
 - The colour is to match that of the windows and doors of the house, or natural treated timber.
- **Posts**
 - Galvanised steel posts, painted to match the pergola frame or timber.
 - Detailed timber posts must be treated.



- Columns
 - Brick columns / Plastered / Painted
 - Galvanised steel posts, painted to match the pergola.
- Roofs
 - Material
 - Roof coverings to be roof sheeting-Chromadek, or standing seam sheeting in approved colours, ranging from a dark charcoal to a light grey. See reference image below.
 - Colours
 - The colours and finishes of all the approved roofing materials will be according to a finishing schedule prepared by the HOA. - Factory painted steel or aluminium roof sheeting

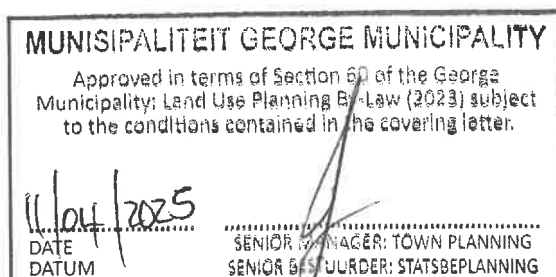


SHOW UNIT – FIG: 15

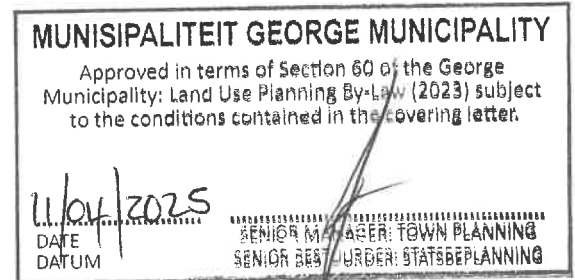
- Types
 - Pitched Roofs
 - Average Gradient of 40 degrees
- Mono-pitched Roofs
 - Sheetting-Chromadek, Polly-carbonate or approved clear Perspex can be applied over entrances or on pergola structures.



ROOF RENDER– FIG: 16



- **Masonry**
 - All walls to be constructed out of masonry, no frame / cladded structured walls will be allowed.
- **Paving & Hardscaping**
 - **Construction Material**
 - Building Apron
 - Cerement charcoal cobbles.
 - Sidewalk
 - Cerement charcoal cobbles.
 - Driveway
 - Cerement charcoal cobbles.
 - Carport / Guest Parking
 - Cerement charcoal cobbles.
 - Street
 - Bevelled herringbone cement paver.
 - **Colours**
 - Hardscaping of driveways and paving will be constructed from either grey / charcoal cobble stones, edging feature may incorporate cemented dump rock.
- **Curbing**
 - Curbing will be either a precast cement finish or paving as per the civil engineer's specification.
- **Chimneys**
 - Plastered and painted masonry or stone cladded chimneys will be allowed. If not cladded with stone, the chimney colour must match that of the colour of the house – Subject to HOA approval.
- **Steel Structures**
 - **Carports restrictions are:**
 - Carports to be designed and form an integral part of the design.
 - Sheeting will be allowed if incorporated into the design.
 - No premanufactured carports or shade cloth carports will be allowed.
- **Pergolas & Trellises**
 - The recommended construction methodology is that of a galvanised steel frame that is mounted and fixed to walls and cladded with treated timber or slatted aluminium louvers.
 - Timber is vulnerable to warping and damage if not properly maintained, these elements must be looked after by homeowners and can be instructed by the HOA that maintenance must be done, in order to ensure the estate is well kept.
 - Design Proposals should be approved by HOA before construction.
- **Awnings**
 - All awnings may be made up with either steel, aluminium, or treated timber.
- **Solar Panels**
 - Colour to be aligned with the roof colour.
 - Solar Panel to be one colour (frame and body) – Colours charcoal or black.
- **Water Tanks / Storage:**



- Rainwater collection in water tanks is intended for garden watering, and grey water systems, these tanks are to be standard green or grey “JoJo” type tank of 1000 – 5000 litres for phase 1 - as per council approval.
- Tanks are to be positioned and to be screened by trellises if located outside the yard space, as per above chapter.
- **Balustrades restrictions are:**
 - Can be either, stainless steel, metal, glass, or timber, the design is to be HOA approved.
 - All balustrades are to be discreet and functional.
- **Airconditioning units**
 - The AC units & condensers to be located within the yard space.
 - The AC unit should be concealed as per Estate Aesthetics Guidelines and recommended specification and not affect communal space and neighbours.
 - All pipes to be fully concealed, no trunking will be allowed.
- **Toolshed**
 - To be placed within the confines of the yard. Material should be complementary to the house and estate, subject to HOA approval.
- **House Numbering**
 - Will be provided by the developers; customisation will be considered by the HOA.
- **Exterior Lighting**
 - Light specifications to be complementary to the existing installations.
 - Aesthetics
 - Communal Space and Neighbours will take preference with regards to the installation, location and direction of exterior lighting.



ROOF RENDER– FIG: 17

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SENIOR BESTUURDER: STADSBEPLANNING

F. YARDS, DIVISIONS AND BOUNDARIES

The Three wall types discussed here are –**Estate perimeter walls, Site Boundary walls & Yard walls.**

- **Estate perimeter wall –**
 - Given that the whole of the development will have a secure perimeter and be constructed as per the George City council enforced requirements.
 - 60 % of wall on municipal street front to be transparent, this related only towards a public street edge, walls adjoining the adjacent estate may be solid walls.
 - This in effect creates safer public streets.
- **Site Boundary wall**
 - Boundary walls are placed along a boundary line to divide and separate erven.
 - These may be applied for and constructed by homeowners on application, subject to HOA approval and will not be the developer's responsibility.
 - Privacy walls may be considered by the HOA for units with patios adjacent to the street or other living areas. These walls should be designed in sections of 3 meters in length and 1.8 meters in height. Each section should be separated by Clearview fence panels that are at least 400mm wide and the same height.
 - However, they should not extend around the entirety of the property, as the estate's architectural vision promotes an open and communal environment.
 - If homeowners wish to add these walls after the initial construction, they must submit updated building plans to the HOA and local council for approval before proceeding with construction.
 - Boundaries lines relate to the SG diagram and Site diagram for each erf.
 - No solid boundary wall(s) are to be built over existing municipal services.
 - The design of individual site boundaries will form part of the visual extension of the buildings and blend in with the architectural character of the development.
 - The main function of the low Yard / Boundary walls is to create a sense of privacy and restrict movement of domestic animals and young children; these will be provided for by the developers as per the specification and may be improved upon through correct HOA approval processes.
 - The intended architectural aesthetic of the Yard / Boundary walls are low green hedges that form the boundary distinctions, with simple openings and doorways into the garden. The preferred construction methodology is to make use of a fence that is to be overgrown by an indigenous shrub or hedge, these will be maintained by the HOA to form a soft green boundary and homogenous streetscape.
- **Yard walls**
 - Yard walls to be constructed of brickwork, plastered and painted.
 - The height of these walls should not exceed 1.8m unless for fire protection purposes.

General Notes:

- All solid / permanent division walls must be indicated on the plans and provided for approval by HOA before installation or construction.
- No modifications or additions to the estate perimeter wall or fences around the estate shall be permitted unless council approval is obtained.
- Homeowners should be extremely considerate in this regard towards their neighbours and the effect it has on communal space. Lighting on the boundary walls should not cause visual disturbance to neighbours.
- Visual privacy - it is important that individual property owners ensure that homes are designed in a manner which respects the need for private outdoor space of neighbours. Simple well maintained treated timber trellises can be used.
- No Electrical Fencing will be allowed on an individual property.



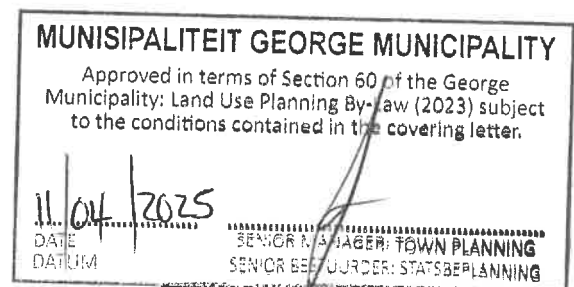
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G. ROOFS

- Roofs
 - Skyline
 - Roof forms have a major impact on the skyline and on the overall visual appearance of the Estate and should therefore be designed with care and consistency.
 - Roof Angles
 - Pitch
 - The estate regulations will allow hipped and gabled roofs on the major plan forms, between 30- and 40-degrees pitches. Average residential pitch is set at 40 degrees.
 - Flat
 - Where lean-to roofs (min. 3 degrees – Only when using a standing seam profile – 5 degrees when using standard IBR or S-profile) as for covered patios & garage carports.
 - Roof Materials (Under Material and Colours)
 - Parapets
 - Waterproofing
 - Method
 - Material flashing not to be visible on the facades.
 - Plaster / Paint
 - No Tiles / Coping method will be allowed.

H. CHIMNEYS

- Chimneys
 - Beacon
 - These are important elements in the architectural composition of the house, as they form the highest point and generally stand as the central focal node of social events.
 - Extraction cowl
 - Steel Cowl, design and colour is subject to HOA approval.
 - Fireplaces
 - It is necessary to design functional countertop- and storage spaces at the base near the braai area; these functional spaces may be enclosed with timber or aluminium doors if required.
 - Firebricks are a recommended finish within the fireplace.



I. WINDOWS AND DOORS

- **Windows And Doors**
 - Fenestration (doors and window openings) are to be addressed as a unique feature for homes. These are the “eyes” of a house (Feature elements). They play an important role as light draws attention to textures, colours, and form within a space.
- **NHBRC Compliant**
 - Windows and doors are to comply with the requirements as per the NHBRC / XA Calculations. The proportions are flexible in its length or breadth, yet non-rectilinear.
- **Vertical Window**
 - Vertically placed / proportioned windows will be preferred over horizontally placed / proportioned windows.
- **Proportions**
 - The optimal proportions are 2:1 (length to breadth).
- **Shadings devices over openings**
 - **Reduced Glare**
 - If a large opening such as a stacking or sliding door is used, either a roof covering or pergola is mandatory to reduce the glare of the glazed area, unless the door or window is South facing.
 - **XA Calculation**
 - XA Calculation (Council Submission Requirements) must be taken in consideration with regards to new openings on exterior facades.



UNIT PATIO EXAMPLE FIG: 18

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SENIOR DESIGNER: STARS/PLANNING

J. CARPORTS / PERGOLAS AND TRELLISES

- Pergolas And Trellises
 - Function
 - Pergolas and trellises are used as an architectural device to blend the division between the indoor and outdoor space, they are lightweight structures that create dappled light, and often create beautiful shadows (painting with shadows) as light shines through a perforated plane onto the walls and floors of a house.
 - Pergolas serve a multifunctional purpose aesthetically and functionally and can be used in an array of spaces to give definition and softening of edges.
 - Maintenance
 - This is the responsibility of each individual home owner, the HOA may enforce maintenance instructions if necessary.
 - Screening
 - It is as well recommended to grow indigenous creeping plants and vines onto these structures and will bring a natural softening to the houses. The use of pergolas is encouraged in areas such as carports, verandas, to frame entrances and to screen water tanks.
- Additional Structures / Carport Detail
 - Carport structures should be designed and constructed consistent within the existing frameworks of lightweight structures; the developer has intentionally designed these structures as low maintenance steel structures, although structural timber carports will be considered. Carports can either be uncovered or covered with steel sheeting or polycarbonate. It is important to remain a 5-degree fall for water disbursement with a gutter on edge.

K. PAVING

- Paving
 - Paving & Hardscaping
 - Hardscaping of driveways and paving will be constructed from either grey / charcoal cobble stones or cemented dump rock on edge.
 - The estate limits the amount of hardscaping to prevent large homogeneous paving area.
 - Driveway material should not cross over the boundary line.
 - Hardscaping
 - All further hardscaping on the yard must be approved by the HOA and should never exceed more than 70% of the overall open site - greenery and natural vegetation is an essential feature of the estate.
 - Municipal Service Covering – Paving vs Concrete.
 - Paving should be installed over all municipal services as opposed to cemented surfaces, this applies to all roads, sidewalks, and driveways, as it promotes the maintenance of the services.

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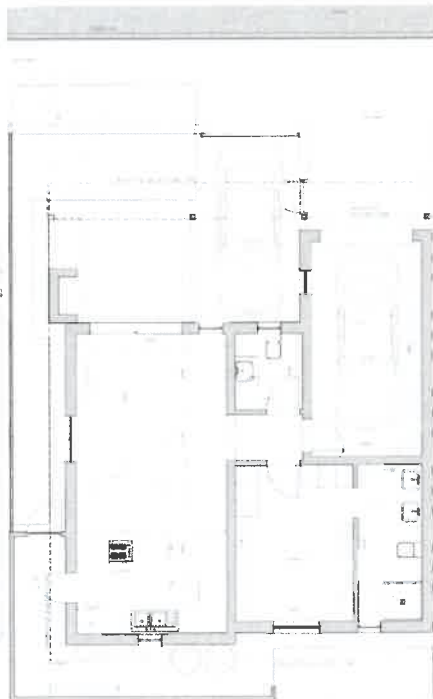
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L. PARKING

- **Parking**
 - Parking is an extremely important aspect in relation to the liveability of any estate and should be maximised to accommodate visitors, yet not create a sea of parking and some of the visitors parking should be allowed for on grass surfaces.
- **Council Regulated Parking**
 - **Parking Allowance**
 - Homeowners are subject to council regulated parking allowances as per unit types and areas.
 - Each property should provide 2.25 parking spaces of which 0.25 is for visitors.
 - **Grass Parking**
 - Allowed for visitor Less than 24hours.
 - Not allowed for long term.
 - **Street Parking**
 - Each homeowner is intended to have visitors park on their own property, or they may park at designated visitors' bays or off the street, yet this should not affect the traffic flow within the estate.
- **Garages are included in the built area.**
 - Garages are included in the built area for units (Coverage).
 - Carports are not included in the built area – sides not to be enclosed.
- **Obstructions**
 - Homeowners may not place dustbins or any other item that may impede on the entrance of their neighbours' driveways.

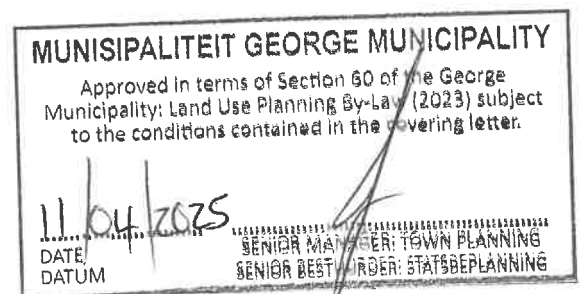


PARKING - PHASE 2



PARKING PROVIDED 196 bays

AVE BAYS PER UNIT 3.4 B/U



UNIT PARKING EXAMPLE FIG: 19

M. WATER AND SUSTAINABILITY

- **Water And Sustainability**

- **Sustainable Ecosystem**

- Glen Village encourages the ideal of a self-sustainable ecosystem, we would like our community to be forward thinking about the environment. See the wholistic sustainability diagram below.

- **Energy**

- **Solar Panels**

- Solar Panels – colour to be aligned with the roof colour/ charcoal.
 - To be positioned flush with the sheeting, and substructure allowed on pitched roofs only.
 - Only solar panels may be visible on the roof.
 - Solar geysers with visible cylinders not allowed.
 - It is recommended to make use of a standing seam profile sheeting as it is possible to clamp on, as opposed to drilling fixtures into the sheeting.

- **Energy Consumption Devices**

- It is also recommended to make use of low energy consuming appliances and lightbulbs.

- **Gas**

- Gas tanks are encouraged as they are energy efficient. Max 2 x 19 KG tanks stored in a health and safety compliant cage or within yards. Gas system must have a valid COC – certificate of compliance.

- **Rainwater Collection and Storage**

- **Collection**

- Gutters
 - Roof to be fitted with gutters for water collection purposes.
 - Downpipes
 - To run vertically down from gutters
 - No downpipe may cross a space horizontally to collection points.

- **Storage**

- Only HOA approved water tanks will be allowed.
 - Concealed or within allocated yard space of each erf.
 - Where the water tank is located outside a yard space, the water tank must be visually concealed with cladding.
 - Fibre Cement / Handy Planks, painted to match white walls.
 - Wood
 - Corrugated sheeting
 - HOA approval needs to be obtained.

- **Water Tank Aesthetics**

- Rainwater collection in water tanks is intended for garden watering, and grey water systems. These tanks are to be standard green or grey “JoJo” type tank of 1000 – 5000 litres - as per council approval.

- **Storm Water Run-off**

- Rainwater run-off that cannot effectively be channelled to rainwater storage tanks should be channelled into the street storm water system or dispersed on the stand in a controlled way to avoid erosion and the potential damage to properties at lower levels.

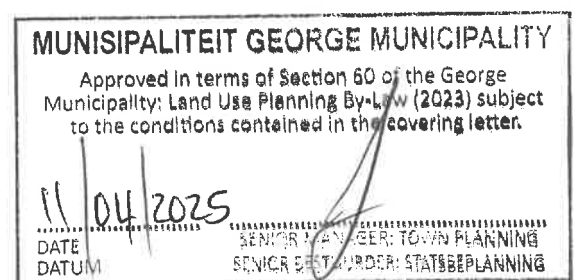
- **Water-saving Measurements Recommendations**

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- Low flowing shower heads and taps.
- Dual flush low flow toilet cisterns.
- **House Waste**
 - **Collection**
 - Municipal Waste Collection will be serviced to each erf, garbage bins must be wheeled out on the day and returned to the yards once completed.
 - **Storage**
 - Individual Yards
 - No waste may be left visible, except on the collection day.
 - **Recycling**
 - Material Recycling is encouraged, this is a conscious effort / habit-based responsibility.
- **Building and Garden Waste**
 - The removal of these material is the responsibility of each homeowner.



SUSTAINABILITY: REV 2 FIG 20



N. LANDSCAPING

- **Landscaping**
 - **Natural Endemic Environment & Localized Ecosystem**
 - Indigenous flora and fauna such as grassland and fynbos are encouraged to homogenise the estate with its natural endemic environment and localised ecosystem.
 - **Indigenous Flora and Fauna**
 - **Exotic Plants**
 - It is ideal for gardens to have many indigenous plants; however, gardens may have a maximum of 30% exotic plants, excluding harmful alien species.
 - **Harmful Alien Species**
 - Not allowed.
 - **Design Objectives**
 - **Sense of Place**
 - Landscaping throughout the estate is intended to soften the architecture and create a “sense of place”. The landscaping design ensures that the development is sensitive to the environment and will encourage the incorporation of various indigenous flora and fauna - that will be replanted from the site, contributing to natural food for birds and other small living creatures, enabling coexistence within a healthy environment.
 - **Poison / Pest Control**
 - Homeowners are cautioned in using poison, pest control to be directed to HOA. Homeowners must be mindful that the estate has gradual thresholds that allow for landscaping between properties to be connected and must not use pesticides that could harm neighbouring personnel, animals, or fauna.
 - **Stormwater**
 - Planting or built structures should not obstruct stormwater flow. Surface level stormwater on each individual site should be taken into consideration, prior to any major material changes this should be submitted to HOA for approval.
 - **Animal movement**
 - When designing or installing any solid divisions it is vitally important to consider the movement of stormwater and opening should be provided in boundary walls, these openings will also be used by the small animal life and insects all contributing to a healthy natural flowing environment.
 - **Green Space**
 - It is encouraged that homeowners retain as much greenspace as possible and do not pave over any green areas. Additional paving is subject to the HOA approval. No more than 70 % of the open site area may be paved.
 - **Maintenance**
 - Landscaping in the parks & common property will be maintained by the Glen Village Management.

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- Preferred Plant Species
 - List of Species
 - Plants are encouraged to be indigenous.
 - Detailed recommended Plant Species List:

Trees:

Olive Trees:

- Olive europaea (Wild olive)

Coastal Trees:

- Erythrina caffra (Coastal Coral)
- Olea europaea (Wild olive)
- Buddleja saligna (False olive)
- Aloe bainesii (Tree aloe)

Citrus Trees:

- Citrus eurika (Lemon tree)

Pear and Assegai Trees:

- Syzigium guineense (Water pear)
- Curtisia dentata (Assegai)
- Searsia lancea/pendulina (Karee)

Mahogany Trees:

- Trichillea emetica (Natal mahogany)
- Curtisia dentata (Assegai)

Mixed Trees:

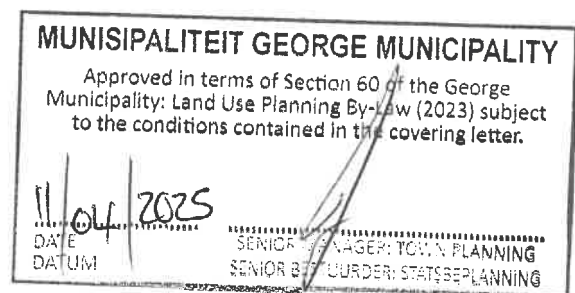
- Buddleja saligna (False olive)
- Burchellia bubalina (Wild pomegranate)
- Halleria lucida (Tree fuchsia)
- Diospyros whyteana (Bladder-nut)
- Canthium inerme (Turkey-berry)

Aloe Trees:

- Aloe ferox (Bitter aloe)

Grasses (Mix 1):

- Aristida junciformis (Ngongoni three-awn)
- Melinis repens (Natal red top)
- Calamagrostis epigejos (Bushman grass)
- Crocosmia spp.



- Dierama
- Salvia 'Beautiful Blue' (Hybrid Wild Sage)
- Chasmanthe aethiopica (Cobra lily)
- Aloe maculata (Soap aloe)

Flowering Filler (Mix 2):

- Chasmanthe aethiopica (Cobra lily)
- Agapanthus 'nana'
- Salvia 'Beautiful Blue' (Hybrid Wild Sage)
- Aristea ecklonii (Blue stars)
- Gladiolus spp.

Shrub Options (Hedge):

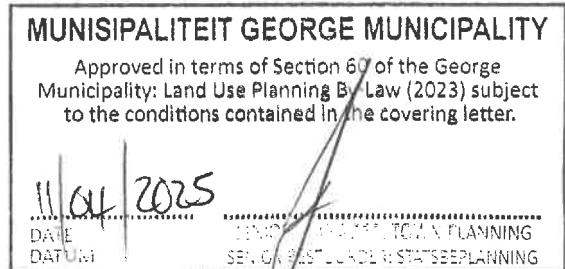
- Carissa bispinosa (Num-num)
- Brachylaena discolor (Coast silver oak)
- Buddleja saligna (False olive)
- Ocimum labiatum (Pink sage)
- Coleonema album (Confetti bush)
- Rosemary officinalis (Rosemary)
- Searsia crenata (Dune crowberry)
- Polygalla myrtifolia (September bush)

Low Mix (Vygies):

- Delosperma spp.
- Lampranthus spp.
- Gazania rigens (Trailing gazania)
- Bulbine abbysinica (Bushy bulbine)
- Cotyledon orbiculata (Plakkie)
- Carpobrotus spp. (Sour fig)

Protea Mix:

- Aristida junciformis (Ngongoni three-awn)
- Erica 'Little Pink'
- Leucospermum cordifolium (Pincushion)
- Protea repens and other spp.
- Arctotis spp. (African daisy)



- *Gazania rigens* (Trailing gazania)
- *Leucodendron argenteum* (Silver tree)
- *Leucodendron discolor* (Red devil)
- *Agathosma glabrata* and *capensis* (Buchu)
- *Helichrysum patulatum* (Gold carpet)

Herb Patch:

- *Mentha piperita* (Mint)
- *Matricaria chamomilla* (Chamomile lawn)
- Lemon verbena (Lemon Beebrush)
- *Sage officinalis* (Common sage)
- *Sutherlandia frutescens* (Cancer bush)
- *Gazania* (Sacrificial plant)
- Salad garnishings: Kappertjies and pansies, Chilli peppers, Basil, and tomatoes
- Brassica (English mustard lawn)
- Rose geranium (Sweet-scented geranium)
- *Leonotus leonorus* (Wild dagga)
- *Salvia rosmarinus* (Rosemary)
- *Anethum graveolens* (Dill)

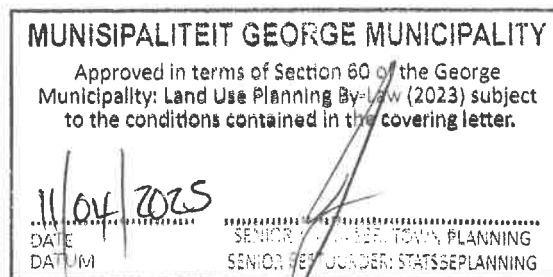
Deep Marsh Mix or Hydroseeding:

- *Bolboschoenus maritinus* (Alkali bullrush)
- *Juncus capensis* (Cape Rush)
- *Juncus krausii* (Matting Rush)

Shallow Marsh Mix:

- *Cyperus longus* (Sweet gallingdale)
- *Cyperus textilis* (Basket Grass)
- *Isolepis prolifer* (Vleigras)
- *Juncus Krausii* (Matting Rush)
- *Kniphofia uvaria* (Red Hot Poker)
- *Mentha aquatica* (Water Mint)
- *Pennisetum macrourum* (African feather Grass)
- *Scripoides nodosus* (Round-headed Rush)
- *Wachendorfia thyrsiflora* (Bloodrot)

Wetland Marsh Mix:



- *Cliffortia ferruginea* (Glastee)
- *Elegia tectorum* (Cape thatch reed)
- *Juncus lomatophyllus* (Leafy juncus)
- *Lobelia anceps* (Angled lobelia)
- *Monopsis lutea* (Gold lobelia)
- *Orpheum frutescens* (Sea-rose)
- *Plecotachys serpyllifolia* (Cobweb bush)

Gravel:

- Gravel: Honey Quartz @ 0.075m thick

Bidim:

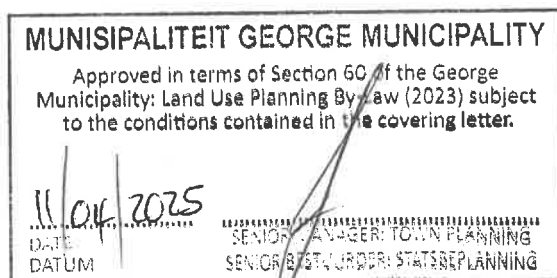
- A2 Kaytech/Africa Geo-Textiles Geo-fabric to be laid under gravel.

Boulders:

- Boulders (0.3 to 1.2m dia.)

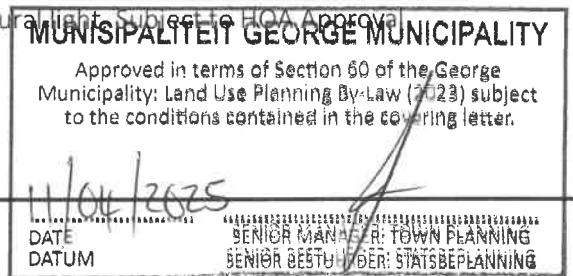
Excluded plant species:

- Exclude all Alien and Invasive species as listed in the 'Alien and Invasive Species List' published under the National Environmental Biodiversity Act Alien and Invasive Species Regulations.



O. PATIOS

- **Open Design:** Patios and braai areas are, as a standard, non-enclosed spaces, with only a roof covering. This design allows for an open and airy atmosphere, promoting outdoor living.
- **Patio Enclosing:** In some cases, homeowners may wish to enclose their patios for various reasons such as climate control or privacy. When enclosing patios, specific guidelines should be followed. This must be approved by HOA.
- **Methods of Enclosure:**
 - **Glazing & Aluminium Frame:** If glass panels are used, they should be set within a sturdy aluminium frame. Openable doors and windows within the enclosure are encouraged to allow for ventilation and versatility.
 - **Brick Walls with Glass Features:** Alternatively, patios can be enclosed with brick walls, incorporating large glass sliding doors and windows to provide natural light. Subject to HOA Approval



5. GENERAL

- **General**
 - Any changes or improvements to the building should be referred to the HOA for approval. Changes that are bought about that are not aligned with the estates aesthetic or necessary approvals will be deemed to be removed or demolished at the owner's expense.
 - All finishes should be considered in relation to the finishing schedule approved by the HOA.
 - Downpipes to be painted the same colour as the roof.
 - Aerials and satellite dishes not to project above the roof ridge line.
 - Decorative superficial detailing is discouraged, form should follow its function.
 - All air-conditioning condensers should be screened. Window mounted units will not be permitted. Mounted units will only be allowed if below 1.2m height taken above the finished floor level, with appropriate screening.
 - All clothing lines, gas cylinders and waste bins should be screened with a 1.8m high wall or within the service courtyard.
 - No externally mounted burglar bars and security gates are allowed. Burglar bars and security gates must compliment the building design and overall appearance. Sections should preferably be hidden behind window mullions; translucent toughened plastic bars are advised to meet a well-balanced recommendation.
 - All lighting on the exterior of the building or in the garden to be low intensity and to be positioned thus to not shine into the living areas of adjacent units. Not to impede on neighbours. No bright exterior, garden and security lighting will be allowed.
 - Lighting to be as unobtrusive as possible.
 - All architectural illustrations represented in this document are artists impressions. Final plans to be signed by landowners on council submission.

- **Maintenance**

- All public facilities & property belonging to the developers are under the maintenance responsibilities of the estate, any maintenance defects to be notified to HOA, general upkeep is the beating heart of a looked after community, with each homeowner honouring the same responsibility towards his own property.

- **House Keeping**

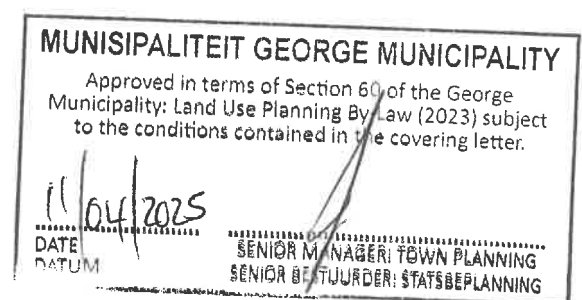
- Waste Bins and Waste Collection
- Washing Lines
- Gas Bottle Storage
- Geyser Position
- Gulley
- Hosepipe
- Outside Taps
- Garden Shed / Tool Storage

- **Any minor or major construction work**

- Must go through the HOA and be subject to Council Submission Regulations
- Must use a Construction Company Listed / Registered at Glen Village Country Estate.
- Construction Time Allowed, as per the estate constitution and HOA rules and regulations.

- **Construction Companies Listed / Registered at Glen Village Country Estate**

- Registration Process
 - References
 - Security, vetting process of all employees
 - HOA Approval



6. PRECEDENTS



Note: The images on this page are provided for reference purposes only. They depict the traditional Cape Dutch Style. The source of inspiration to true south African houses.

PRECEDENT STUDIES: FIGURES 21-27

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ARCHITECTURAL PRECEDENT – CAPE VERNACULAR – CONTEMPORARY FARMHOUSE



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7. ARCHITECTURAL TEAM



HOA CONTACTS & ARCHITECTURAL TEAM

Homeowners contact : zjac@glenvillagegeorge.co.za : Zjac Pieterse

Concept Architect : Gerrit Pieterse : Lapalaka Property Projects

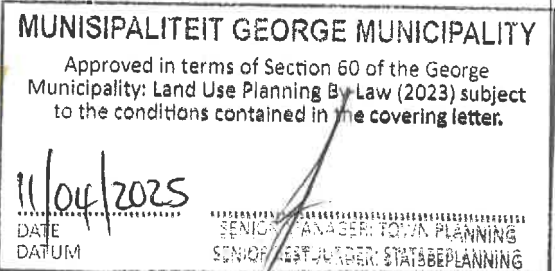
082 350 5353 : Gerrit@lapalaka.com

Implementation Architect : Pierre Durant : Techtrust Architects

082 482 8339 : pierre@techtrust.co.za

Architectural Technologist : Max Turner : Quill Designs

072 843 8979 : quill.designs@gmail.com



8. ARCHITECTURAL DESIGN REVISIONS

- **Architectural Design Revisions**
 - Based on the design and technical requirements for each unit, homeowners can make alterations to the plans prior to construction at a set cost.
 - The process is initiated by contacting the Local Architect (See professional team attached) – a deposit of R10,000 for design changes is submitted to initiate the correct procedures of Estate and Municipal approvals where necessary.
 - Costs will apply and adjust to scope of change, charges in accordance with SACAP (South African Council of The Architectural Profession) hourly rates and billed to the client's account.

CLIENT NAME:

DATE

CLIENT SIGNATURE

PLACE

MUNISIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

11/04/2025

DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR WATOUURDER: STADSBEPLANNING

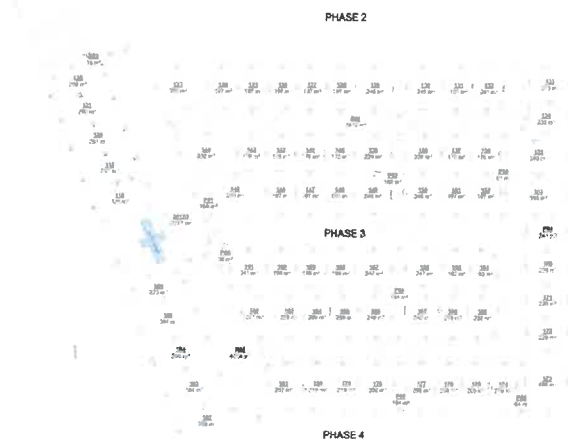
GLEN VILLAGE



9. GUIDELINES: REVISION 3.1

PHASE 3 - BUILDING LINES – Group Housing

BUILDING LINES (SETBACKS):	Less than or equal to 250 M ²	Greater than 250 M ² , but not exceeding 500 M ² ,
Street building line	1 Metre	1 Metre
Side building line	0 Metre on one side 1 Metre on all other sides	0 Metre on one side 1 Metre on all other sides
Rear building line	1.0 Metre	1.0 Metre
	(i) 3 METERS WHERE PERIMETER OF THE SITE ABUTS AN EXTERNAL PUBLIC STREET (ii) 1.5 METERS ALONG THE SIDE OR REAR BOUNDARY OF SITE	



ADDED: Precedence: FIG 26

PHASE 3: CADASTRAL PLAN FIG 9

Cadastral layout added in
reference to phase 3 building
lines for reference to phase

o Privacy walls may be considered by the HOA for units with patios adjacent to the street or other units. These walls should be designed in sections of 3 meters in length and 1.8 meters in height. Each section should be separated by Clearview fence panels that are at least 400mm wide and the same height.

o However, they should not extend around the entirety of the property, as the estate's architectural vision promotes an open and communal environment.

o If homeowners wish to add these walls after the initial construction, they must submit updated building plans to the HOA and local council for approval before proceeding with construction.

ADDED: THREE NEW CLAUSES
UNDER 'YARDS AND DIVISIONS,
SITE BOUNDARY WALL'

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SENIOR BEITJURDER: STADSPLANING