



Stads- en Streekbeplanners  
Town and Regional Planners

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15 November 2024

The Municipal Manager  
P.O. Box 19  
George  
6530

Sir

PROPOSED PERMANENT DEPARTURES FOR PORTION 257 OF THE FARM KRAAI BOSCH No. 195, SITUATED IN THE MUNICIPALITY AND DIVISION OF GEORGE, WESTERN CAPE.

Duly authorized by the registered owner of Portion 257 of the Farm Kraai Bosch No. 195 we hereby apply for the following:

Application is being made for the following permanent departures from the development parameters of the Integrated Zoning Scheme By-Law of George Municipality, 2023, in terms of Section 15.(2)(b) of the By-Law on Municipal Land Use Planning of George Municipality, 2023, to allow for the following height relaxations:

- 1.1 Relaxation of the maximum height of the wall plate from 6,5m to 7,174m for the Second Dwelling Unit as indicated on the attached Site Development Plan by ARCXL Architects; and
- 1.2 Relaxation of the maximum height of the wall plate from 6,5m to 6,832m for non-interleading room 01 as indicated on the attached Site Development Plan by ARCXL Architects.

In support of the application, the following documentation is attached for your consideration:

- a) Application form fully completed and signed (Annexure 1);
- b) Power of Attorney by the Registered Owner (Annexure 2);
- c) Motivation Report (Annexure 3);

In diens van die Suid-Kaap sedert 1985 – Kususela ngo 1985 – Serving the South Cape since 1985  
Direkteur/Director: G.A. (Deon) Nel Pr. Pln A/520/1987 BA(Stel), M(S&S)(Stell).

- d) Copy of the Surveyor General Plan No. 2892/1999 (Annexure 4);
- e) Plan No. G/H/221-1 (Annexure 5);
- f) Site Development Plan including building plans by ARCXL (Annexure 6);
- g) Signed Neighbours Consent (Annexure 7);
- h) Proof of Payment will be provided in due course as it is made available to the applicant (Annexure 8);
- i) Copy of Title Deed No. T28704/2021 (Annexure 9);
- j) Conveyancer certificate by Herman Josias Swanepoel (Annexure 10);
- k) Previous approved building plans (Annexure 11);
- l) OSCA Permit dd. 02/11/2022(Annexure 12); and
- m) Visual Representation of proposed encroachments (Annexure 13).

Should any additional information be required you are kindly requested to contact us.

Yours Sincerely

A handwritten signature in black ink, appearing to read 'Alexander Havenga', enclosed within a circular scribble.

Nel & de Kock Town and Regional Planners  
Per: Alexander Havenga A/3313/2023



## Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

**NOTE:** Please complete this form by using: Font: Calibri; Size: 11

### PART A: APPLICANT DETAILS

First name(s)	Alexander		
Surname	Havenga		
SACPLAN Reg No. (if applicable)	Pr. Pln A/3313/2023		
Company name (if applicable)	Nel & de Kock Town and Regional Planners		
Postal Address	P.O. Box 1186,		
	George	Postal Code	6530
Email	neldek@mweb.co.za		
Tel	044 874 5207	Fax	n/a
		Cell	079 513 3530

### PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	Gustav Alexander Lilienfeld		
Address	53 Central Drive, Camps Bay		
	Cape Town	Postal code	8005
E-mail	guslilienfeld@gmail.com		
Tel	n/a	Fax	n/a
		Cell	079 288 6875

### PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property	Portion 257 of the Farm Kraai Bosch No. 195, George
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Description [Erf / Erven / Portion(s) and Farm number(s), allotment area.]													
Physical Address	Victoria Heights Drive, Victoria Bay												
GPS Coordinates	34°00'03.02"S 22°32'50.28"E					Town/City	Victoria Bay						
Current Zoning	Agricultural Zone II			Extent	2.9849ha		Are there existing buildings?		Y	N			
Current Land Use	Vacant/ under construction for a dwelling house and non-interleading room												
Title Deed number & date	T28704/2021												
Any restrictive conditions prohibiting application?	Y	N		If Yes, list condition number(s).									
Are the restrictive conditions in favour of a third party(ies)?	Y	N		If Yes, list the party(ies).									
Is the property encumbered by a bond?	Y	N		If Yes, list Bondholder(s)?									
Has the Municipality already decided on the application(s)?	Y	N		If yes, list reference number(s)? <b>Collab Ref: 2417376</b>									
Any existing unauthorized buildings and/or land use on the subject property(ies)?					Y	N		If yes, is this application to legalize the building / land use?			Y	N	
Are there any pending court case / order relating to the subject property(ies)?					Y	N		Are there any land claim(s) registered on the subject property(ies)?			Y	N	
<b>PART D: PRE-APPLICATION CONSULTATION</b>													
Has there been any pre-application consultation?				Y	N		If Yes, please complete the information below and attach the minutes.						
Official's name	n/a			Reference number	n/a			Date of consultation	n/a				
<b>PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY &amp; APPLICATION FEES PAYABLE</b>													

**\*Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.**

### **BANKING DETAILS**

Name: **George Municipality**  
 Bank: **First National Bank (FNB)**  
 Branch no.: **210554**  
 Account no.: **62869623150**  
 Type: **Public Sector Cheque Account**  
 Swift Code: **FIRNZAJJ**  
 VAT Registration Nr: **4630193664**  
 E-MAIL: **msbrits@george.gov.za**  
 \*Payment reference: Erven \_\_\_\_, George/Wilderness/Hoekwil...

### **PART F: DETAILS OF PROPOSAL**

**Brief description of proposed development / intent of application:**

Application is being made for the following permanent departures from the development parameters of the Integrated Zoning Scheme By-Law of George Municipality, 2023, in terms of Section 15.(2)(b) of the By-Law on Municipal Land Use Planning of George Municipality, 2023, to allow for the following height relaxations on Portion 257 of the Farm Kraai Bosch No. 195, George:

1. Relaxation of the maximum height of the wall plate from 6,5m to 7,174m for the Second Dwelling Unit as indicated on the attached Site Development Plan by ARCXL Architects; and
2. Relaxation of the maximum height of the wall plate from 6,5m to 6,832m for non-interleading room 01 as indicated on the attached Site Development Plan by ARCXL Architects.

### **PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS**

**Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.**

*Is the following compulsory information attached?*

<b>Y</b>	<b>N</b>	Completed application form	<b>Y</b>	<b>N</b>	Pre-application Checklist (where applicable)
<b>Y</b>	<b>N</b>	Power of Attorney / Owner's consent if applicant is not owner	<b>Y</b>	<b>N</b>	Bondholder's consent
<b>Y</b>	<b>N</b>	Motivation report / letter	<b>Y</b>	<b>N</b>	Proof of payment of fees
<b>Y</b>	<b>N</b>	Full copy of the Title Deed	<b>Y</b>	<b>N</b>	S.G. noting sheet extract / Erf diagram / General Plan
<b>Y</b>	<b>N</b>	Locality Plan	<b>Y</b>	<b>N</b>	Site layout plan

*Minimum and additional requirements:*

<b>Y</b>	<b>N</b>	<b>N/A</b>	Conveyancer's Certificate	<b>Y</b>	<b>N</b>	<b>N/A</b>	Land Use Plan / Zoning plan
<b>Y</b>	<b>N</b>	<b>N/A</b>	Proposed Subdivision Plan	<b>Y</b>	<b>N</b>	<b>N/A</b>	Phasing Plan

			(including street names and numbers)				
Y	N	N/A	Consolidation Plan	Y	N	N/A	Copy of original approval letter (if applicable)
Y	N	N/A	Site Development Plan	Y	N	N/A	Landscaping / Tree Plan
Y	N	N/A	Abutting owner's consent	Y	N	N/A	Home Owners' Association consent
Y	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD)	Y	N	N/A	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes	Y	N	N/A	Required number of documentation copies <b>2 copies</b>
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes	Y	N	N/A	Other (specify)

**PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION**

Y	N/A	National Heritage Resources Act, 1999 (Act 25 of 1999)	Y	N/A	Specific Environmental Management Act(s) (SEMA)  (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004), National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008), National Environmental Management: Waste Act, 2008 (Act 59 of 2008), National Water Act, 1998 (Act 36 of 1998) <del>(strikethrough irrelevant)</del>
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)			
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)			
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)			
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations			
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)			
Y	N/A	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc. <b>N/A</b>	Y	N/A	Other (specify)
Y	N	If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?			

**SECTION I: DECLARATION**

I hereby wish to confirm the following:

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. The Municipality has not already decided on the application.
3. I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.
4. I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.
5. I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).
6. That this submission includes all necessary land use planning applications required to enable the development proposed herein.
7. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.
8. I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.
9. I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.



Applicant's signature:

Date:

15 November 2024

Full name:

Alexander Havenga

Professional capacity:

Registered Professional Planner

SACPLAN Reg. Nr:

Pr. Pln A/3313/2023

**POWER OF ATTORNEY**

I, the undersigned,

Gustav Alexander Lilienfeld

**In my capacity as the Registered owner of Portion 257 (a portion of Portion 15) of the Farm Kraai Bosch No. 195, George, situated in the Municipality and Division of George, Province of the Western Cape.**

hereby nominate and appoint:

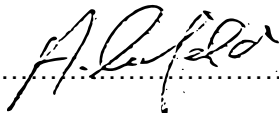
**NEL & DE KOCK TOWN & REGIONAL PLANNERS**


With power of substitution, to be our true and lawful Agent in our name, place and stead, to apply to the George Municipality for a **permanent departure to allow for the relaxation of the maximum permissible wall plate height of structures proposed on Farm Kraai Bosch 195/257, George**, and I hereby ratify, allow and confirm, and promise and agree to ratify, allow and confirm all and whatsoever our said Agent shall lawfully do or cause to be done by virtue of these presents.

SIGNED at **Cape Town** on this **24/10/2024** in the presence of the under mentioned witnesses.

  
.....

**AS WITNESSES:**

1.   
.....

2.   
.....



# MOTIVATION REPORT

PROPOSED PERMANENT DEPARTURES  
FOR  
PORTION 257 OF THE FARM KRAAI BOSCH No. 195, IN  
THE MUNICIPALITY AND DIVISION OF GEORGE  
FOR  
THE REGISTERED OWNER



Stads- en Streekbeplanners  
Town and Regional Planners

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# 1. APPLICATION

Application is being made for the following permanent departures from the development parameters of the Integrated Zoning Scheme By-Law of George Municipality, 2023, in terms of Section 15.(2)(b) of the By-Law on Municipal Land Use Planning of George Municipality, 2023, to allow for the following height relaxations on Portion 257 of the Farm Kraai Bosch No. 195, George:

- 1.1 Relaxation of the maximum height of the wall plate from 6,5m to 7,174m for the Second Dwelling Unit as indicated on the attached Site Development Plan by ARCXL Architects; and
- 1.2 Relaxation of the maximum height of the wall plate from 6,5m to 6,832m for non-interleading room 01 as indicated on the attached Site Development Plan by ARCXL Architects.

# 2. BACKGROUND

The owner of the subject property appointed an Architectural firm to design and submit building plans for proposed new structures on Portion 257 of the Farm Kraai Bosch No. 195. The relevant building plans were approved by the Municipality on 13/12/2023 and are attached to this application as Annexure 11. Together with the building plans the owner furthermore also obtained an OSCA permit for the proposed new structures which is attached to this application as Annexure 12.

After the owner obtained the necessary approvals he appointed a construction company to construct the two guest rooms approved by the Municipality. Upon implementation the new structures weren't constructed precisely as indicated on plan due to specific terrain constraints such as topography and vegetation. The owner of the property was at that stage not in the country and therefore he was unaware of what was happening on the building site. The design of the buildings was furthermore also amended due to the fact that it now has a flat roof as opposed to the pitched roof which was originally approved by the Municipality. The alteration of the design of the structures resulted in the structures now encroaching on the height development parameter which gave rise to this application.

The construction of the two guest rooms came to a halt once the owner was made aware of the encroachments. After various consultations with the Municipality the owner was furthermore also made aware thereof that he will not be able to receive an occupancy certificate for the structures as he will not be allowed to have a kitchen in either guest rooms. The designation of the structures was amended to indicate the one structure as a Second Dwelling which is allowed as per the Zoning Scheme and the other as a non-interleading room which is also permitted. Therefore, once this application is approved the owner can submit building plans for the proposed second dwelling as a primary dwelling house and once he has the desire to construct his actual main dwelling house, it will revert back to a second dwelling. This process will allow the owner to receive an occupancy certificate for the second dwelling before the main dwelling house is built.

### **3. PURPOSE**

The purpose of this application is to obtain approval for the relaxation of the maximum allowed wall plate height for structures on Portion 257 of the Farm Kraai Bosch No. 195.

### **4. MOTIVATION**

#### **4.1 NEED**

The need for this application sprouted from unintentional amendments to structures under construction on the subject property. During the construction phase the design of the roofs of the two guest rooms was altered to flat roofs resulting in it encroaching over the maximum permissible height of the wall plate height. The relaxation of the maximum permissible wall plate height of the structures relevant to this application will not impede on any adjoining owner's view. Attached to this application as Annexure 7, is the consent from all of the abutting owners indicating that they do not oppose this application. The reality of the encroachment is that the property slopes downward and will therefore not obstruct any landowner 'behind' the subject property. Attached as Annexure 13 is a visual representation of the applicable structures under construction creating a visual perspective of the subjects of this application and which proof that the buildings are visually obscured from development in the area thanks to the topography and dense vegetation.

#### **4.2 DESIRABILITY**

##### **PHYSICAL CONDITION:**

##### **4.2.1 TOPOGRAPHY**

The subject property slopes downward in a south westerly direction from 161m at its highest point to roughly 63m high at its lowest point. Topography poses to not negatively affect this application as the proposed structures are and will be built on stilts, resulting in raised platforms.

##### **4.2.2 BOTTOM CONDITIONS**

The bottom conditions of the relevant property appear to be stable as the current owner of the property has not experienced any structural problems related to bottom conditions since construction of the two guest rooms started. The design of the structures will take bottom conditions into consideration upon planting of poles for the raised platforms. Therefore, bottom conditions will not negatively affect this application.

### **4.2.3 VEGETATION**

Minimal vegetation will be disturbed through approval of this application as the structures were built in open areas in the vegetation and the fact that it is built on raised platforms. It should furthermore also be mentioned that the owner received an OSCA permit for the proposed structures and is attached to this application as Annexure 12.

### **4.2.4 FLOOD LINES**

The property does not directly abut the sea or tidal river. The proposed position of the structures on higher ground and the fact that the structures are proposed to be built on stilts and was approved by the Municipality in the past furthermore indicate that flood lines will not negatively affect this application.

### **4.2.5 SENSITIVITIES**

There is sensitive vegetation on the subject property which lead to the owner applying for an OSCA permit. An OSCA permit was issued for the approved building plans and is attached to this application as Annexure 12. It should be taken into consideration that the proposed dwelling structures are proposed to be built on raised platforms which will have a lesser impact on vegetation in relation to structures which are constructed on ground level.

### **4.2.6 WATER TABLE**

The structures relevant to this application are proposed to be built on raised platforms and since building plans have been approved by the Municipality in the past after this issue had been dealt with. Therefore, a high water table poses to not negatively affect this application.

### **4.2.7 DRAINAGE PATTERN**

As mentioned throughout this report, structures are proposed to be built on raised platforms indicating that it will not be negatively affected by drainage of stormwater flowing downwards over the property. It should, however, be pointed out that the area where the construction takes place does not coincide within a natural drainage area. The design of the proposed structures took drainage into consideration and therefore no further elaboration will be made in this regard.

## 4.2.8 FILLINGS AND EXCAVATIONS

The proposed structures will be constructed on raised platform minimising fillings and excavations. Therefore, approval of this application will not be negatively affected by fillings or excavations.

## 4.3 EXISTING PLANNING AND LEGISLATION

### 4.3.1 SPATIAL PLANNING AND LAND USE MANAGEMENT ACT, 2013, (S.P.L.U.M.A.)

#### 4.3.1.1 SPATIAL JUSTICE

- **Past spatial and other development imbalances must be redressed through improved access to and use of land.**

The property which relates to this application is in extent 2.9849ha and was made available on the free market when the owner acquired the property in 2021. Therefore, this application for permanent departures pose to not be adequate to address this principle of access to and use of land.

- **Spatial development frameworks and policies at all spheres of government must address the inclusion of persons and areas that were previously excluded, with an emphasis on informal settlements, former homeland areas and areas characterises by widespread poverty and deprivation.**

Due to considerations discussed above, this objective is not readily achievable with this application.

- **Spatial Planning mechanisms, including land use schemes, must incorporate provisions that enable redress in access to land by disadvantaged communities and persons.**

As discussed above, the limited size of the land unit does not lend itself to the compliance of this objective. As the property is zoned as a smallholding it is not aimed at addressing the access to land by disadvantaged communities or persons.

- **Land use management systems must include all areas of a Municipality and specifically include provisions that are flexible and appropriate for the management of disadvantaged areas, informal settlements and former homeland areas.**

A pragmatic approach to the management of land use systems to follow flexible and appropriate processes to facilitate housing for the disadvantaged community is indispensable.

- **Land development procedures must include provisions that accommodate access to secure tenure and the incremental upgrading of informal areas.**

This aspect has already been discussed above.

- **A Municipal Planning Tribunal considering an application before it, may not be implemented or restricted in the exercise of its discretion solely on the ground that the value of land or property is affected by the outcome of the application.**

This provision does not apply to this application.

#### 4.3.1.2 PRICIPLE OF SPATIAL SUSTAINABILITY

- **Promote land development that is within the fiscal, institutional and administrative means of the Republic.**

The proposed development is done with private funding and therefore the fiscal, institutional and administrative capacity of government agencies are not relevant to this application.

- **Ensure that special consideration is given to the protection of prime and unique agricultural land.**

The subject of this application is zoned Agricultural Zone II and is situated in close proximity to Victoria Bay. The primary land use provides for a dwelling house and small-scale agricultural activities. The endangered Garden Route Shale Fynbos vegetation can be found on the property which therefore indicates that prime agricultural activities are not readily feasible on this land unit. This application proposes a sensitive planned development on portions of the property where no natural vegetation occurs to minimise the effect on sensitive vegetation found on the property.

- **Uphold consistency of land use measures in accordance with the environmental management instruments.**

The owner obtained an OSCA permit for the construction of structures on the subject property. Therefore, this principle of sustainability is adhered to.

- **Consider all current and future costs to all parties for the provision of infrastructure and social services in land developments.**

This application will not demand any costs to external parties with regard to the provision of infrastructure and social services developments as this application involves a development which will be funded by the registered owner, while the structures will connect to existing municipal services.

- **Promote land development in locations that are sustainable and limit urban sprawl.**

Application is made for permanent departures for structures already approved by the Municipality which is in line with the primary land use of the land unit, but not the parameters for which this application provides for. Therefore, approval of this application will satisfy the current owner's needs which will

prevent urban sprawl. Furthermore, since this application does not propose an extension of the urban edge approval of this development will adhere to this principle of sustainability.

- **Result in communities that are viable.**

This application will result in a viable development for the owner which will contribute to a viable community.

#### 4.3.1.3 PRINCIPLE OF EFFICIENCY

- **Land development optimises the use of existing resources and infrastructure.**

This application is in line with the principle of efficiency as application is made for a property situated within Victoria Bay while the proposed structures will connect to existing bulk services currently available in the area. Therefore, approval of this application will not require additional municipal resources and infrastructure and will satisfy the needs of the owner and simultaneously optimize the use of the existing bulk services.

- **Decision-making procedures are designed to minimise negative financial, social, economic, or environmental impacts.**

As a privately funded project, sensible decision making to have minimal negative consequences are indispensable for the successful implementation of the project. As already discussed, it will have no negative social, economic and environmental impact, but will not only result in a more viable smallholding for the owner of the property, but will also contribute towards the municipal fiscus in terms of rates and taxes.

- **Development applications procedures are efficient and streamlined and timeframes are adhered to by all parties.**

Adherence to prescribed timeframes vest in the Municipality and therefore the applicant does not have any control over it.

#### 4.3.1.4 PRINCIPLE OF SPATIAL RESILIENCE

This principle, which is primarily aimed at a sustainable way of life for communities that are most vulnerable to economic and environmental setbacks, is not directly applicable to this application.

#### 4.3.1.5 PRINCIPLE OF GOOD ADMINISTRATION



- **All spheres of government ensure an integrated approach to land use and land development that is guided by the spatial planning and land use management systems as embodied in this Act.**

The only authority involved in this application is George Municipality and therefore there is no other authority with which an integrated approach needs to be followed. The various departments of the Municipality involved function as an integrated team.

- **Policies, legislation and procedures must be clearly set in order to inform and empower members of the public.**

Procedures for this application will be adhered to as prescribed. The abutting owners have already signed consent forms for the permanent departures and is attached to this application as Annexure 7. None of the abutting owners have provided further comments on or raised objections against the proposed application.

#### **4.3.2 LAND USE PLANNING ACT, 2014, (L.U.P.A.)**

As far as the proposed development is concerned, there is a great deal of overlap between the principles of spatial justice, sustainability, good administration and resilience that are pursued under this legislation, but which have already been discussed in par 4.3.1 above. To avoid duplication, these principles will not be discussed again.

#### **4.3.3 NATIONAL, PROVINCIAL AND LOCAL GOVERNMENT POLICIES AND MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK**

National, Provincial and Local Government policies set out and put in place coherent policies and frameworks to support Municipalities fulfil their municipal planning mandate in line with national and provincial agendas. Application is made in terms of Section 15 of the Land Use Planning By – Law of George Municipality, 2023. Therefore, the local policies and frameworks of the municipality took the policies and frameworks of National and Provincial Government into consideration and only the George Municipal Spatial Development Framework, 2023 (MSDF) will be discussed for the purpose of this application.

Application is made for permanent departures and will therefore not alter the land use designated to the property. The relevant encroachments came to life unwittingly after construction already began and approval thereof will better the functioning of the land unit and will fulfil the needs of the owner. Bearing the above in mind it is therefore irrelevant to elaborate further in this regard for the purposes of this application.

#### **4.3.4 BY-LAW ON MUNICIPAL LAND USE PLANNING OF GEORGE MUNICIPALITY, 2023**

**4.3.4.1 According to Section 38(1), the following documents are required in support of the application:**

4.3.4.1.1 **Annexure 1**, Application form fully completed and signed;

4.3.4.1.2 **Annexure 2**, Power of Attorney to Nel & de Kock Town and Regional Planners by the registered owner to prepare and submit this application;

4.3.4.1.3 **Annexure 3**, Motivation Report by Nel & de Kock Town and Regional Planners;

4.3.4.1.4 **Annexure 4**, Copy of the Surveyor General Plan No. 2892/1999 is attached to this application;

4.3.4.1.5 **Annexure 5**, Plan No. G/H/221-1 is attached to this application

4.3.4.1.6 **Annexure 6**, Site Development Plan including building plans by ARCXL is attached to this application;

4.3.4.1.7 **Annexure 7**, Signed Neighbours Consent of all the abutting owners are attached to this application;

4.3.4.1.8 **Annexure 8**, Proof of Payment will be provided in due course as it is made available to the applicant;

4.3.4.1.9 **Annexure 9**, Copy of Title Deed No. T28704/2021 is attached to this application;

4.3.4.1.10 **Annexure 10**, Conveyancer Certificate by Herman Josias Swanepoel is attached to this application;

4.3.4.1.11 **Annexure 11**, Previous approved building plans is attached to this application;

4.3.4.1.12 **Annexure 12**, OSCA Permit dd. 02/11/2022 is attached to this application; and

4.3.4.1.13 **Annexure 13**, A photo of the proposed Second Dwelling Unit and the raised platform of the non-interleading room is attached to this application to create a visual illustration of the topography and the impact of the proposed departures.

#### **4.3.4.2 Current and proposed development controls (Development Parameters)**

##### **4.3.4.2.1 Building lines:**

The building lines applicable to this property is 20m from all boundaries.

- The attached SDP illustrates that all structures are accommodated within the 20m building lines.

##### **4.3.4.2.2 Height:**

The height of a dwelling house may not exceed 6.5 metres to the wall plate in all cases and 8.5 metres to the ridge of the roof in the case of a pitched roof, provided that if the intention is to utilise any area above the roof for recreational or entertainment purposes, the height may not exceed 6.5 metres.

- This application proposes a departure from this development parameter to allow for an increase of the maximum permissible height of the proposed Second Dwelling unit from 6.5m to 7.174m. The relaxation of non-interleading room 01 is proposed to be relaxed from 6.5m to 6.832m.

##### **4.3.4.2.3 Site development plan:**

For any development in this zone, including any part of the land not Zoned Agricultural, it may be requested that a site development plan be submitted to the Municipality for its approval taking specific cognisance of visual impact given the size and scale of the agricultural buildings and facilities and their location in a rural landscape, and in their proximity to tourist routes.

- A Site Development Plan is attached to this application as Annexure 6. Annexure 13 illustrates that the proposed structures will not have a detrimental effect on the visual impact as the proposed structures blends in with the surrounding natural vegetation on the property.

##### **4.3.4.2.4 Farm shop, camping site:**

Where a farm shop and a camping site are operated from the same property the combined floor area of the farm shop and convenience store may not exceed 100m<sup>2</sup>.

- This application does not make provision for a farm shop or a camping site. Therefore, no further elaboration will be made on this development parameter.

##### **4.3.4.2.5 Agricultural industry**

In addition to the above, the parking requirements for “industry” apply.

- This application does not provide for an agricultural enterprise. Therefore, this development parameter is not applicable to this application.

#### **4.3.4.2.6 Development charges**

The Municipality may impose development charges in accordance with the provisions of Section 52.

- This application entails an existing smallholding. Therefore, the applicant is of the opinion that no development charges will be applicable.

#### **4.3.5 TITLE DEED**

Title Deed No. T28704/2021 contains restrictive conditions normally found in title deeds relating to servitudes. Herman Josias Swanepoel compiled a conveyancer certificate which is attached to this application as Annexure 10. The conveyancer certificate lists 5 restrictive conditions, of which one is a servitude right-of way along the north eastern boundary of the property. The proposed structures are not affected by this servitude and therefore no further elaboration will be made in this regard.

#### **4.4 CHARACTER OF THE ENVIRONMENT**

The property relevant to this application is situated within a semi-rural environment in Victoria Bay. This application will not detract from the character of the environment as the encroachments will not stand out as can be seen on the attached visual representations. This application does furthermore not propose additional rights which are not currently permitted by the primary land use. Therefore, approval of this application will have no bearing impact on the character of the area.

#### **4.5 POTENTIAL OF THE PROPERTY**

##### **4.5.1 AGRICULTURE**

As mentioned earlier in this report, the land unit relevant to this application contains sensitive vegetation. Therefore, no sustainable agricultural enterprises can be operated from the property without damaging the sensitive vegetation. In light of the aforementioned no further elaboration will be made in this regard.

##### **4.5.2 CONSERVATION**

The property contains conservation worthy vegetation which will not be drastically affected by the proposed development as confirmed by the OSCA permit. Therefore, approval of this application will allow the owner to finalise the construction of two structures already approved by the Municipality due to unwitting circumstances.

### **4.5.3 MINING**

As of date no exploitable materials have been found on the property which could lead to any mining activities taking place.

### **4.5.4 RECREATION**

The current zoning of the property is Agricultural Zone II and does not offer any recreation facilities to the public. The property does, however, offer personal recreational opportunities for the owner. Therefore, since no provision is made for additional recreational opportunities, no further elaboration will be made in this regard.

### **4.5.5 RESIDENTIAL**

This application proposes permanent departures for structures which will be utilised as residential opportunities for the owner. Therefore, approval of this application will contribute to the residential opportunities of the subject property.

## **4.6 LOCATION AND ACCESSIBILITY**

The subject property is situated at 34°00'03.02"S 22°32'50.28"E within a semi-rural area of Victoria Bay. The property is accessed from a servitude road which connects to Victoria Heights Drive. This application does not propose an alteration of the current access and therefore no further elaboration will be made in this regard.

## **4.7 PROVISION OF SERVICES**

The proposes structures will connect to Municipal Services and since building plans for the proposes structures were approved by the Municipality in the past and no additional rights or land uses are applied for no further elaboration will be made in this regard.

## **4.8 CONSTRUCTION PHASE**

Approval of this application will allow the owner to finalise construction of the proposed Second Dwelling unit and Non-Interleading Room 01 as indicated on the attached SDP. In future when the owner has the financial capacity and the need, he will continue with the construction of the remaining structures as previously approved by the Municipality and indicated on the attached Site Development Plan. The owner will, however, submit building plans complying with the prescribed development

parameters for structures before construction commences. Therefore, the scale and impact of the limited construction will not negatively affect the approval of this application.

## **5. CONCLUSION**

The attached signed neighbours consent forms place the Municipality in a position to support the proposed permanent departures as they are the only directly affected parties in this application. On the strength of the rationalisation followed in this report, it is evident that approval of this application has a substantial benefit for the owner of the property without negatively affecting the Municipality or surrounding owners and therefore we trust that the application will enjoy your favourable consideration and to get feedback in due course.

**Nel & de Kock Town and Regional Planners**  
**Per: Alexander Havenga Pr. Pln A/3313/2023**

**November 2024**

G S SAVAGE & ASSOCIATES

SIDES Metres	ANGLES OF DIRECTION	CO-ORDINATES Y System WGS 84/23 X		S.G. No.  2892/1999	
		Constant:	±		0,00
AB	69, 12	308 45 40	A	+ 41 727, 60	+ 63 652, 60
BC	50, 91	341 03 00	B	+ 41 673, 70	+ 63 695, 87
CD	330, 91	43 29 00	C	+ 41 657, 17	+ 63 744, 03
DE	76, 31	159 32 50	D	+ 41 884, 88	+ 63 984, 13
EA	318, 51	215 16 40	E	+ 41 911, 55	+ 63 912, 63
		KNYS 1 No. 198	Δ	+ 41 536, 88	+ 63 498, 01
		PANORAMA No. 446	Δ	+ 40 599, 29	+ 63 317, 20

Approved  
*T. Swan*  
for Surveyor-General  
1999-06-23

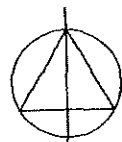
Description of Beacons

- A C D E : 16mm iron pegs
- B : 300x150 concrete block

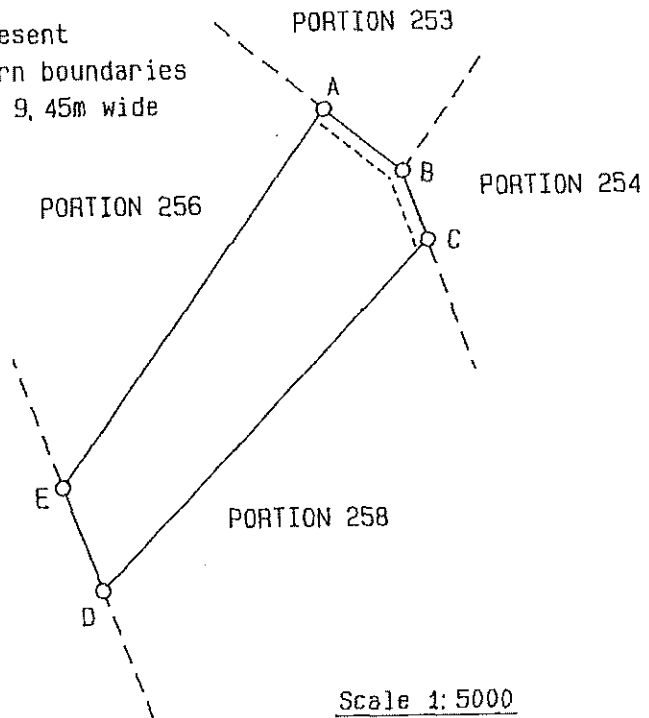
Servitude Note

- The lines AB and BC represent the north eastern and eastern boundaries of a servitude right-of-way 9,45m wide

of 011344 (22) 1997-12-10



REMAINDER FARM No 195



Scale 1:5000

The figure A B C D E represents 2,9849 hectares of land, being PORTION 257 portion of Portion 15 of the Farm Kraai Bosch No. 195

Situate in the Administrative District of George Province of the Western Cape

Surveyed in January 1998 - April 1999 by me

*Savage*  
Professional Land Surveyor  
G S Savage PLS 0543

This diagram is annexed to

The original diagram is

File No. GEOR 195

No. 1904/2000  
Dated  
i.f.o.

No. 4842/1927  
annexed to Transfer  
No. 1928.28.1258

S.R. No. E 1254/1999  
Comp. BL-8CCC (6423)  
ALNC-2132 (M2887)

Registrar of Deeds

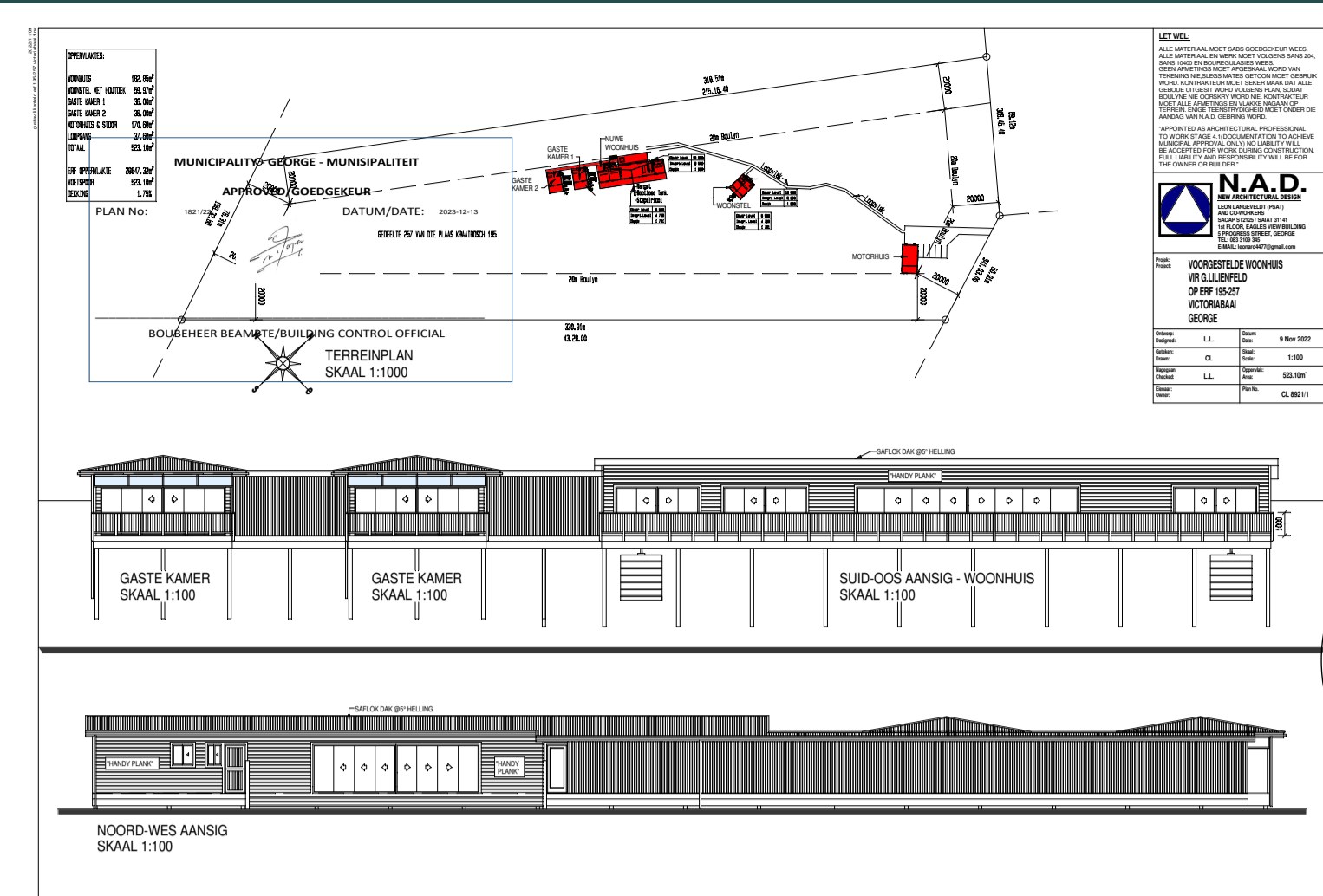




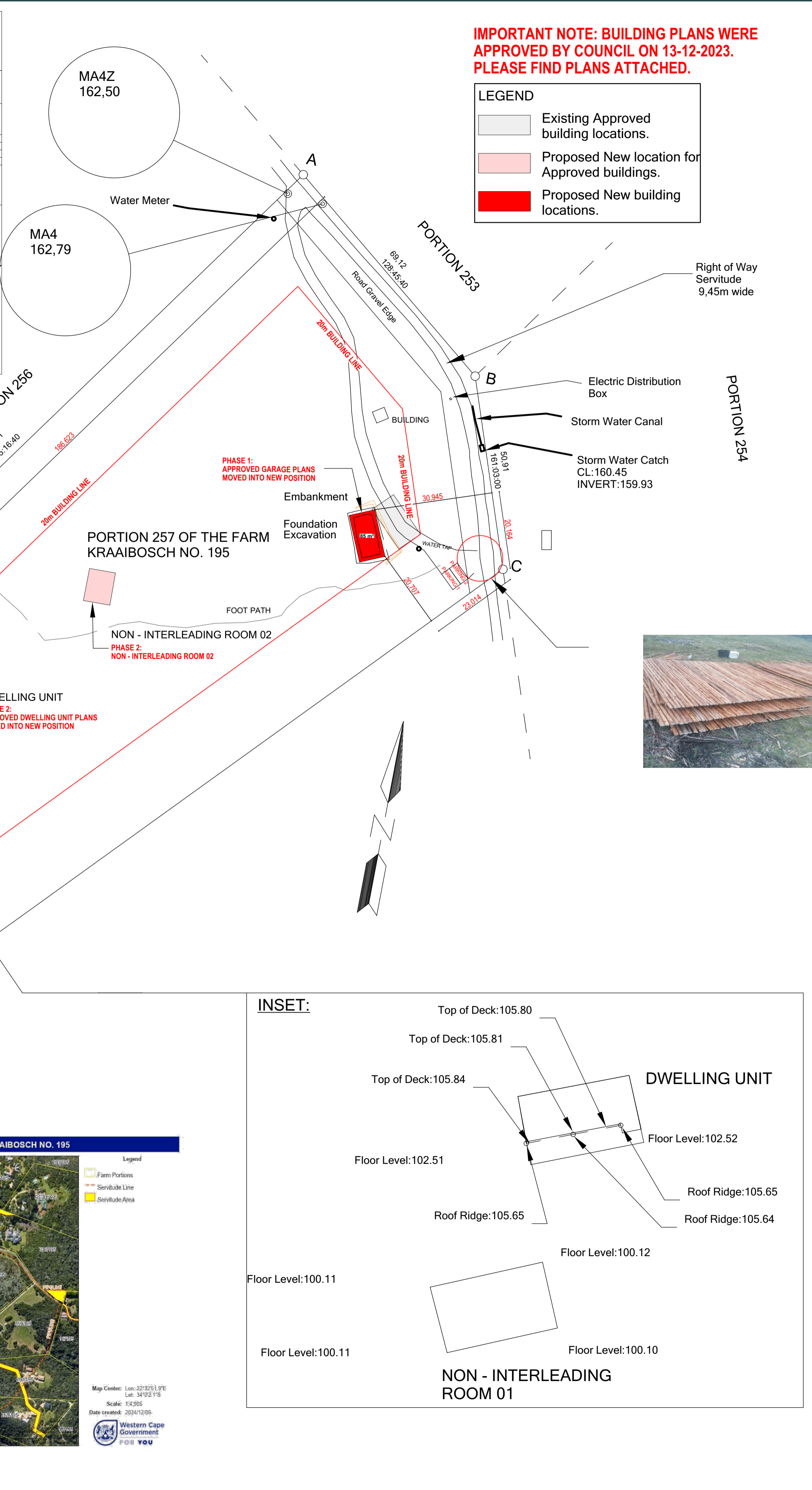
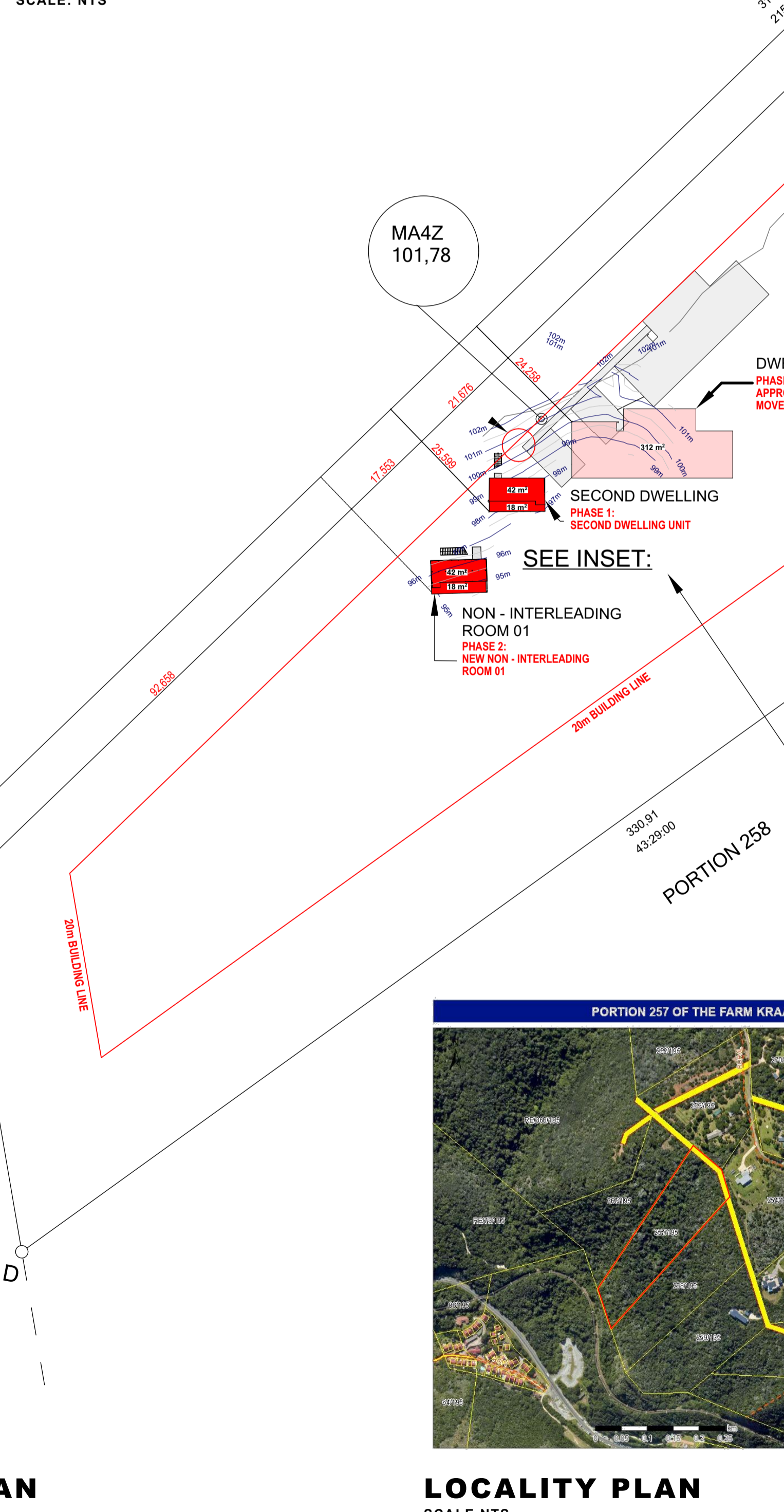
**SPECIFICATION**

**SITE**  
 Location: Victoria Bay  
 Class of occupancy SANS 10400-A table 1: H4  
 Climate zone SANS 204: 4  
 Site atmospheric corrosivity category ISO 9223: C5  
**DESIGN**  
 The design of this project complies with the requirements of SANS 10400. The application of the national building regulations complies with the requirements of the following parts of SANS 10400: (refer submission forms). The design is the subject of rational designs that satisfies the National building regulations and standards act no. 103 of 1977.  
 Standards: (Refer submission forms for the engineers responsibilities.)  
 The specification data as described below make this specification project specific and shall have precedence in the interpretation of any ambiguity or inconsistency between this specification and these standards.  
**SITE CLEARANCE**  
 SANS 2001-B51 Site clearance:  
 Site clearing required: 1 removal and disposal of vegetation; 2 removal and disposal of structures by means of bulldozing; 3 demolition, breaking up and removal of buildings to ground level; 4 demolition, breaking up and removal of underground structures; 5 ditto septic tanks, soak pits; 6 ditto litter, rubble, rocks on surface; 7 removal and stacking of re-usable materials; 8 removal of asphalt layers; 9 removal of paving; 10 removal of walls, channels, landscaping; 11 scarifying, ripping to blocks <200 mm; 12 removal of disused foul water and stormwater drains and water-mains.  
 materials from grubbing and demolition of structures to be disposed of by the Contractor  
 • trees, turf plants, bushes, shrubs, flora to be retained: **None within the boundaries.**  
**EARTHWORKS**  
 SANS 2001-BE1 Earthworks (General):  
 • topsoil: **select and stockpile / remove**  
 • surplus and unsuitable material to be dumped at: **approved dumping site**  
**CONCRETE WORKS**  
 SANS 2001-C01 Concrete works (structural works): see structural engineer's drawings.  
 SANS 2001-C02 Concrete works (minor works):  
 • concrete grade: see engineers drawings.  
 Add requirements: Direct-finished concrete floors/paving on the ground: SANS 10109 Concrete floors:  
 • concrete grade: 20 for lightly loaded floors/paving (no trucking) and one-course domestic and office floors on the ground that will serve as the final wearing surface; grade 30 for paving and floors on the ground to carry trucks  
 • finishing: by **delayed brotelling technique** (surface water to have evaporated), to surface finish: **smooth / slip-free / see drawings**  
**Strongrooms: SANS 10062**  
 • fire rating, burglar resistance, wall thickness: **1+2+3+4**  
**FOUNDATIONS**  
 SANS 2001-CM2 Strip footings, pad footings and slab-on-ground foundations for masonry walling (includes the construction of lightly loaded concrete surface beds):  
 • site class designation: **Geotech to be instructed by engineer for client appointment.**  
 • foundations: see engineers drawings / **in accordance with the requirements of SANS 10400H**  
 • for strip footings, slab-on-ground foundations or modified normal-construction-for-concrete  
 ————— of **expected damage 4 or 2 / rational design**  
 • protection against termites: **required / not**  
 • fabric reinforcement: welded steel fabric SANS 1024 ref. no.: 100.  
**MASONRY**  
 SANS 2001-CM1 Masonry walling:  
 • type of masonry unit: **clay / concrete**  
 • class and colour of clay face units (SANS 227): **FBSX / FBA: colour: N/A**  
 • texture, colour of concrete face units: **N/A**  
 • class of common units (SANS 227): **NFP** for plastered walls, **NFX** for masonry exposed to damp or in contact with the ground  
 • work size of clay units: 222 x 103 x 76 mm  
 • work size of blocks: 290 x 190 x 190/90  
 • nature of unit: **hollow / solid**  
 • single leaf bond: stretcher  
 • multi-leaf bond: **alternating brick and block**  
**STRUCTURAL TIMBERWORK (FLOORING)**  
 SANS 2001-C14 Structural timberwork—flooring:  
 • softwood flooring board grade: **clear / select**  
 • density group: **light / heavy**  
 • hardwood species:  
**STRUCTURAL TIMBERWORK (ROOFING)**  
 SANS 2001-C12 Structural timberwork – roofing:  
 Truss type: **monoplanar prefabricated rational design to SANS 1900 / nailed and bolted with lapped members to SANS 10244. Specialist and engineer to be appointed by the client.**  
 Additional requirements:  
 Structural laminated timber: SANS 1460  
 • material: **softwood (Pinus) / hardwood (Eucalyptus)**  
 • exposure class: 1 (Exterior), 2 (Semi-Exterior), 3 and 4  
**STRUCTURAL STEELWORK**  
 SANS 2001-C03 Structural steelwork: see structural engineer's drawings.  
 Additional requirements for structural and/or sandy steelwork:  
 • coating: **factory primer / hot dip galvanizing SANS 121 ISO 1461 and paint as per eng / pre-painting / hot dip galvanizing and pre-painting (duplex system)**  
 • corrosion protection of structural steel of not less than 3 mm thickness by paint or varnish: SANS 12944.  
 • Corrosion protection system depends on atmospheric corrosivity category (see Site)  
**INSULATION**  
 • required R-value/thickness: **SANS 204 / rational design / see drawings**  
 • effective foil under roof tiles: **SANS 1381-4, class B; 4-6 mm surface reflective, install facing down-**  
 • flexible fibre mats: **SANS 1381-1, manufactured from recycled materials, e.g. polyethylene**  
 ————— **terephthalate (PET)**  
 • expanded polystyrene (EPS) board: SANS 53163  
 • extruded polystyrene (XPS) board: density 32D: SANS 53164  
 • pipe insulation: bonded preformed mineral fibre pipe sections SANS 1445-3, marked with expected maximum service temperature and exposure conditions.  
 • masonry cavity wall insulation type: **full fill cavity / partial fill cavity / loose fill**  
 • flat roof insulation: rigid EPS density 32D: **over waterproofing / under screed / see drawings**  
**ROOF COVERING, CLADDING**  
 • concrete roof tiles: **SANS 842**  
 • clay roof tiles: **SANS 652**  
 • steel sheet: **hot dip zinc coated coil sheeting: SANS 9364/1478, coating grade Z275+ Z200**  
 • glass-reinforced polyester sheet: **SANS 1450**  
 • hatch: **SANS 10400-L**  
 • roof fasteners: SANS 1273, of corrosion resistance not less than that of the roofing material.  
 • Tilesheet roof terrain category: 4  
 • Tilesheet roof design wind speed (SANS 10160): **40 / 45 / 50 / 45 m/s / as recommended by tilesheet ENGINEER manufacturer**  
 • flashings: **metal / reinforced liquid membrane**  
**WATERPROOFING:**  
 • substrate surfaces: clean and dry, free of traffic and protrusions, minimum fall including valleys:  
 • screeds: minimum 35 mm thick when laid directly onto concrete; minimum 50 mm thick when laid on insulation boards or slip/protection layers; 20 mm minimum thick as top layer density concrete or foamed-cement screeds.  
 • on exposed concrete roofs, box gutters, and balconies <10m<sup>2</sup> in area: 4 mm reinforced membrane (RBM), heat based on primed surfaces  
 • on balconies >10m<sup>2</sup> in area, terraces, walkways: 2 or 3 mm base sheet plus 4 mm RBM  
 • on parking decks: 5 mm RBM  
 • on planters: 4 mm anti-root RBM  
 • on exposed parapet walls, freestanding walls: reinforced liquid membrane (RLM)  
 • on below ground surfaces, vertical or horizontal, above or below water table: 2 or 3 mm base sheet plus 4 mm RBM  
 finish/protection: non-trafficable finish: **paint / crushed stone; pedestrian areas: topping / tiles on screed / tiles on waterproofing / paving slabs on insulation panels / paving slabs on adjustable pads; vehicular areas: asphalt premium laid directly on to waterproofing / brick paving laid on 65-80 mm sand bed / 75 mm concrete paving on protection sliplayer.**  
**CEILING**  
 • type ceiling: **branded and suspended**  
 • material: **gypsum board interior / fibre cement board exterior / wood-board**  
 Suspended ceilings:  
 • required fire resistance in minutes, tested to SANS 10177: 20/30/60/90/120/180/240/see dwgs  
 • required airborne sound insulation rating in dB: SANS 1717/0218: 30/35/40/45/50/see dwgs  
 • deflection requirements: South African Building Interior Systems Ass. (SABISA) ENGINEER  
 • structural performance: safety support all anticipated loads, e.g. luminaires, smoke detectors, air grilles, wind loads, point loads.  
**WINDOWS, DOORS**  
 Mechanical performance: SANS 613  
 Energy efficiency of external units: SANS 204 Installation of glazing: SANS 2001-CG1:  
 safety glass, including each pane of SIGU's, shall be permanently marked.  
 Pressed steel door frames: SANS 1129  
 Rolled steel frame windows and doors: SANS 727.  
 Wood doors: SANS 545 and mark-bearing:  
 • type: **flush / battens / panel**  
 • exposure class: 2 exterior / 3 semi-exterior / 4 interior  
 • performance class: **4.0 / MD interior / HD Exterior**  
 • size: **as per schedules**  
 • finish flush door: **fibre board / veneer / plywood**  
**PLASTER, SCREEDS, TOPPING**  
 SANS 2001-EM1 Cement plaster:  
 • finish: **smooth / textured / roughcast / bagged / skimmed**  
 Screeds and toppings:  
 • aggregate for screeds: concrete sand  
 • aggregate for toppings: aggregate from natural sources SANS 1083:  
 Nominal aggregate size, mm  
 § 6.7mm for a min thickness 25mm topping  
 § 13mm for a min thickness 40mm topping  
 § 14 thickness of topping, maximum 19mm. Minimum thickness of topping, >40mm  
 • cement: SANS 50197-1

colouring pigment: BS 1014 or BS EN 13178 of approved colour  
 • screed mix: 1 part cement to 312 parts sand, or 50 kg (1 bag) cement to 130 L sand (2 barrows)  
 • topping mix: 1 part cement to 112 parts sand to 112 parts stone to produce a concrete strength of 30 MPa  
 • finish: **smooth / non-slip**  
**TILING:**  
 Ceramic tiles: SANS 1449  
 • group: **A1 A2 A3 A4 / B1 / B2 / B3 / B4 + G**  
 Porcelain tiles: SANS 13006  
 Concrete tiles: SANS 541.  
**FLOORING**  
 Wood flooring type: **solid / laminate**  
 • solid: **strip / block / parquet / mosaic / species by client**  
 • laminate: **solid / melamine / bamboo**  
 • traffic class: **21+22 / 23 / 31+32+33**  
 Textile flooring type: **pile construction / needle punched construction**  
 • pile construction: SANS 1375  
 • needle punch construction: SANS 1415  
 • underlay: 1419  
 • fire index class: **1 / 2 / 3 / 4 / 5**  
 • location grade: **U14/U2/U3/U4/U5**  
**PAINTING:**  
 Painting of Buildings: SANS 10305.  
 FURNITURE, EQUIPMENT, STAIRS, ARCH. METALWORK  
 Joinery:  
 • solid wood: **hardwood / softwood / species (by client)**  
 • MDF fireboard: SANS 540  
 • plywood, composite board: SANS 929  
 • decorative melamine-faced board: SANS 1763  
 • polymer laminates and solid surfaces: high-pressure decorative laminates: SANS 4586  
 Metalwork:  
 • steel tubes: SANS 657-4  
 • stainless steel: **astainless, grade 304/304L / 316, finish: annealed and pickled mill finish / polished / coloured / etched / mirrored / electro-polished**  
 Stairs:  
 • going (refer plans) / riser (refer plans)  
 • structure: concrete stairs structure as per eng drawings.  
 • balustrade: Aluminium Balustrades  
**HARDWARE**  
 Finish: **natural / brass-plated / copper-plated / chrome-plated / zinc-plated / nickel-plated / spherulized / cadmium-plated / phosphated / passivated / anodized / epoxy-coated / powder-coated / anodized / stainless steel**  
 Fasteners: SANS 1700  
 Material: **steel / brass / silicon-bronze / aluminium / stainless steel / spherulized-steel / to match hardware**  
 Hinges:  
 • material: **Stainless / aluminium**  
 • number per door >30kg: 2, between 2040 and 2340 mm high; 3, between 2340 and 3000 mm high.  
**GLAZING**  
 Type, size, thickness and marking: SANS 10400-A  
 Installation of glazing: SANS 2001-Construction Works Part CG1, or a method described in SANS 10137.  
 The installation of glazing materials in buildings.  
**DRAINAGE AND WATER SUPPLY**  
 SANS 2001-DP1 Earthworks for buried pipelines.  
 SANS 2001-DP2 Below ground medium pressure pipelines  
 SANS 2001-DP4 Sewers (>160 mm)  
 SANS 2001-DP5 Stormwater drainage  
 SANS 2001-DP6 Below-ground water installations for buildings  
 Above-ground water supply and drainage for buildings: SANS 10252.  
 Electric geysers SANS 151 and mark-bearing:  
 • design: **standard / solar / heat pump / combination / gas**  
 • capacity: **100 / 125 / 150 L LITRES / 200**  
 Domestic solar water heaters: SANS 1307 and mark-bearing.  
**GAS INSTALLATION**  
 SANS 10087-The handling, storage, distribution and maintenance of liquefied petroleum gas in domestic, commercial, and industrial installations.  
**ELECTRICAL WORKS**  
 SANS 10142-The wiring of premises.  
**PLUMBING AND DRAINAGE**  
**DUCTS**  
 All duct covers to detail.  
**DRAINAGE PIPES**  
 All duct drainage pipes on floor plans indicated to connect to bulk drainage lines with IEs and REs as indicated on Site Plan. Floor plans drainage layouts to be read in conjunction with Site Plan.  
**NOTES:**  
**LANDSCAPING**  
 Landscape Specialists design and specification. Allow for irrigation from Water Tank linked to Municipal Supply  
**CIVIL**  
 All civil work e.g. site levels, shaping, retaining walls/structures paving layouts/substrates and storm water runoff/distribution as per Civil Engineers design and specifications.  
**STRUCTURE**  
 All structural work strictly as per Structural Engineers design and specifications. Any discrepancies between Architectural and Structural drawings to be reported immediately.  
**FENCE**  
 Data referring to specialist quotes and design. Colour—TBC— with a maximum of 2,100mm high from NGL. Position and fixing details to be submitted for approval. All fences to be formed with appropriate landscaping.  
 Gates—Yard and garden gates as per the following applications:  
 Colour—TBC— Application in either timber, steel or aluminium.  
**WATERTANK**  
 To 0000: 2000 UNDERGROUND WATER-TANK installed complete with storm water / irrigation connection and pump as per Specialist.  
 Provide electrical control for pump.  
 Substrate as per Structural Engineers specification.  
 Colour—TBC—  
**PLUMBING AND DRAINAGE**  
**DUCTS**  
 All duct covers to detail.  
**DRAINAGE PIPES**  
 All duct drainage pipes on floor plans indicated to connect to bulk drainage lines with IEs and REs as indicated on Site Plan. Floor plans drainage layouts to be read in conjunction with Site Plan.  
**LEGEND:**  
 GREEN ——— 63mm Ø HDPE Pipe  
 BROWN ——— 110mm Ø HDPE Pipe  
 Main water supply to building as per engineers masterplan.  
 Sleeve for site water points - points to be confirmed.  
 IE Inspection Eye  
 RE Rodding Eye  
 ss Sub stack  
 vp Vent pipe  
**Map Centre:** Lon: 29°25'1.97E Lat: 34°02'17S  
 Scale: 1:4200  
 Date created: 2024/12/06  
 Western Cape Government  
 PDR YOU



**PREVIOUS APPROVED SITE PLAN & ELEVATIONS - PLAN NO. 1821/22**  
 SCALE: NTS



**IMPORTANT NOTE: BUILDING PLANS WERE APPROVED BY COUNCIL ON 13-12-2023. PLEASE FIND PLANS ATTACHED.**

**LEGEND**

	Existing Approved building locations.
	Proposed New location for Approved buildings.
	Proposed New building locations.

AREA SCHEDULE	REV 1	
SITE AREA:	29647.32m <sup>2</sup>	
COVERAGE ALLOWED:	60%	
COVERAGE ACTUAL:	590.50m <sup>2</sup> / 1.91%	
FAR:	0.0197	
<b>GROSS BUILDING AREA:</b>		
EX. DWELLING HOUSE	182.85m <sup>2</sup>	
EX. NON-INTERLEADING ROOM 02	59.97m <sup>2</sup>	
NEW SECOND DWELLING	42m <sup>2</sup>	
NEW NON-INTERLEADING ROOM 01	42m <sup>2</sup>	
EX. GARAGE AND STORAGE	170.68m <sup>2</sup>	
<b>EXISTING APPROVED GBA:</b>	<b>523.10 m<sup>2</sup></b>	
<b>NEW TOTAL GBA:</b>	<b>497.50 m<sup>2</sup></b>	
<b>NEW SECOND DWELLING OPEN PATIO &amp; NON-INTERLEADING ROOM 01</b>		
	36m <sup>2</sup>	
<b>GROSS FLOOR AREA:</b>		
GROUND LEVEL	497.50m <sup>2</sup>	
OPEN PATIOS	36m <sup>2</sup>	
<b>TOTAL GFA:</b>	<b>533.50m<sup>2</sup></b>	
<b>GENERAL NOTES</b>		
* All building work to comply with SABS 0400		
* No dimensions to be scaled or scanned from drawing		
* All dimensions to be checked on site before any work is put to hand.		
* Where applicable the contractor is to check on site the size of components to be manufactured prior to installation		
* Contractor is responsible for correct setting out of the buildings, all external and internal walls with particular reference to boundaries, building lines, etc.		
* Contractor to verify all levels, heights and dimensions on site and to check the same against the drawings before any work in hand.		
* Contractor is to locate and identify existing services on the site and protect these from damage throughout the duration of the works.		
* Any errors, discrepancies or omissions to be reported immediately.		
* Contractor is to build in approved 4 p.p.C. weather or not these are shown on drawings, to all walls at each floor, parapet level and to all windows, doors, grilles or other openings in external walls.		
* Any queries arising from all the above must be reported and clarified before any works is put in hand.		
* This drawing is to be read in conjunction with engineers drawings when applicable.		
<b>DRAINAGE NOTES</b>		
* All plumbing and drainage work and installation of sanitary fittings to comply with the relevant Local Authority by-laws, regulations and requirements.		
* Provide I.E. 's to all bends and junctions with suitable markers at ground level and to be fully accessible at all times.		
* Minimum 1500 fall to all drain pipes.		
* Provide approved reseat traps to all waste fittings.		
* Provide A.E. 's to foot of all soil stacks.		
* All soil pipes passing under buildings or footings to be protected against loads.		
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* The client accepts the responsibility of materials, content and statement.		
* The elements shown on this drawing are prototypical design only. They implemented in part, or in whole, in any structure without notification and written approval being issued by arcol architects.		
<b>REGISTERED OWNER DETAILS:</b>	<b>DATE:</b> 05-06-2024	
GUSAV LILJENFELD TEL: 079 238 6875	SIGNATURE OF OWNER/CLIENT:	
<b>REGISTERED ARCHITECT DETAILS:</b>	<b>DATE:</b> 05-06-2024	
SORINA VAN DEVENTER ARCOL ARCHITECTS SACAP REG NO. 6641 6666 MOSCOW PO BOX 13258 Garden Route Mall 6546	SIGNATURE OF ARCHITECT:	
<b>REVISIONS</b>		
REV 1 14-10-2024	1.CHANGES MADE AS PER COMMENTS RECEIVED FROM EMAIL ON 10/10/2024.	
REV 2 20-10-2024	1.WALLPLATE HEIGHT ADDED.	
REV 3 23-10-2024	2.WALLPLATE HEIGHT ADDED.	
<b>DRAWING STATUS</b>		
<b>TOWN PLANNING SUBMISSION</b>		
<b>PROJECT TITLE</b>		
<b>PROPOSED NEW LOCATION OF DWELLING HOUSE AND NEW GUEST ROOMS FOR G. LILJENFELD ON PORTION 257 OF THE FARM KRAAIBOSCH NO. 195, VICTORIA BAY, GEORGE.</b>		
<b>DRAWING DESCRIPTION</b>		
<b>SITE PLAN</b>		
SCALE	AS SHOWN	
DATE	DATE OF 1ST ISSUE	
ISSUED	05-06-2024	
DRAWN BY	JE	
CHECKED BY	SVD	
ARCHITECT	SVD	
<b>ARCOL ARCHITECTS</b>		
George   4 Davidson Road   6546 673 4979 Mossel Bay   Office   37 March Street   6546 692 0000 www.arcol.co.za info@arcol.co.za   PO Box 13258 Garden Route Mall 6546		
<b>PROJECT NO:</b>	<b>DRAWING NO:</b>	<b>REVISION</b>
<b>2410</b>	<b>M001</b>	<b>3</b>

**PROPOSED NEW LOCATION FOR DWELLING ON PORTION 257 OF THE FARM KRAAIBOSCH NO. 195, VICTORIA BAY, GEORGE.**

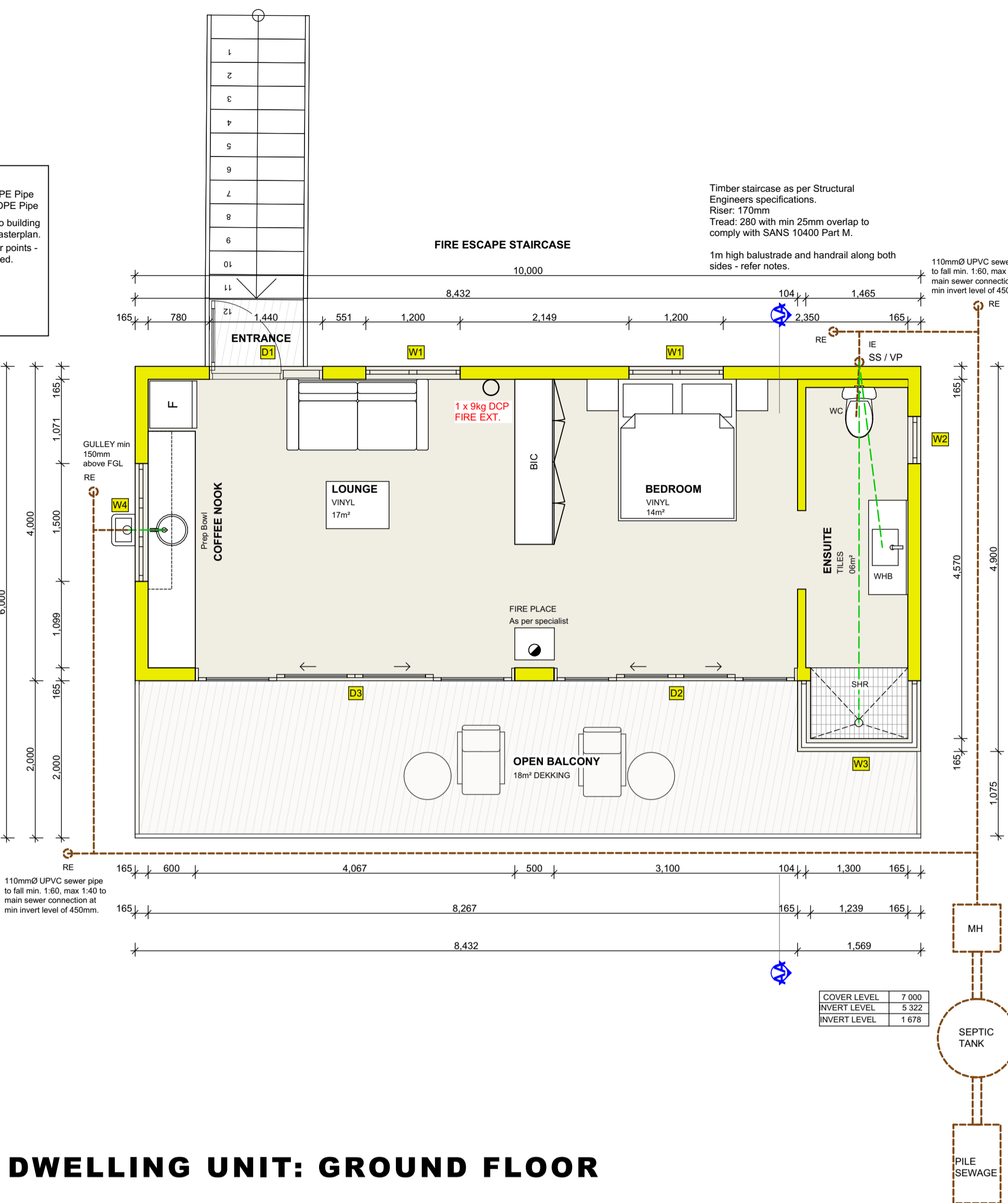
**SITE PLAN**  
 SCALE 1 : 700

**LOCALITY PLAN**  
 SCALE NTS

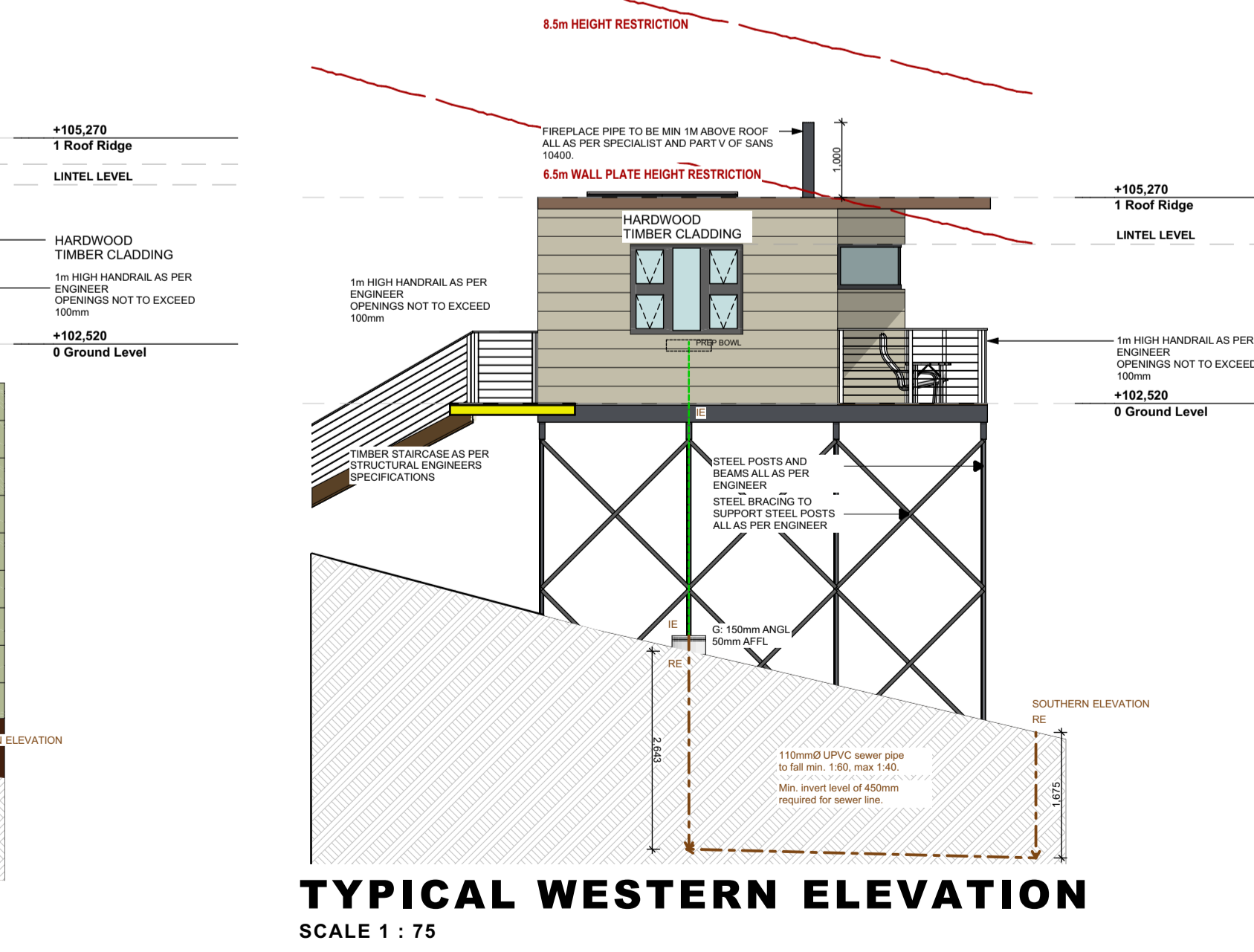
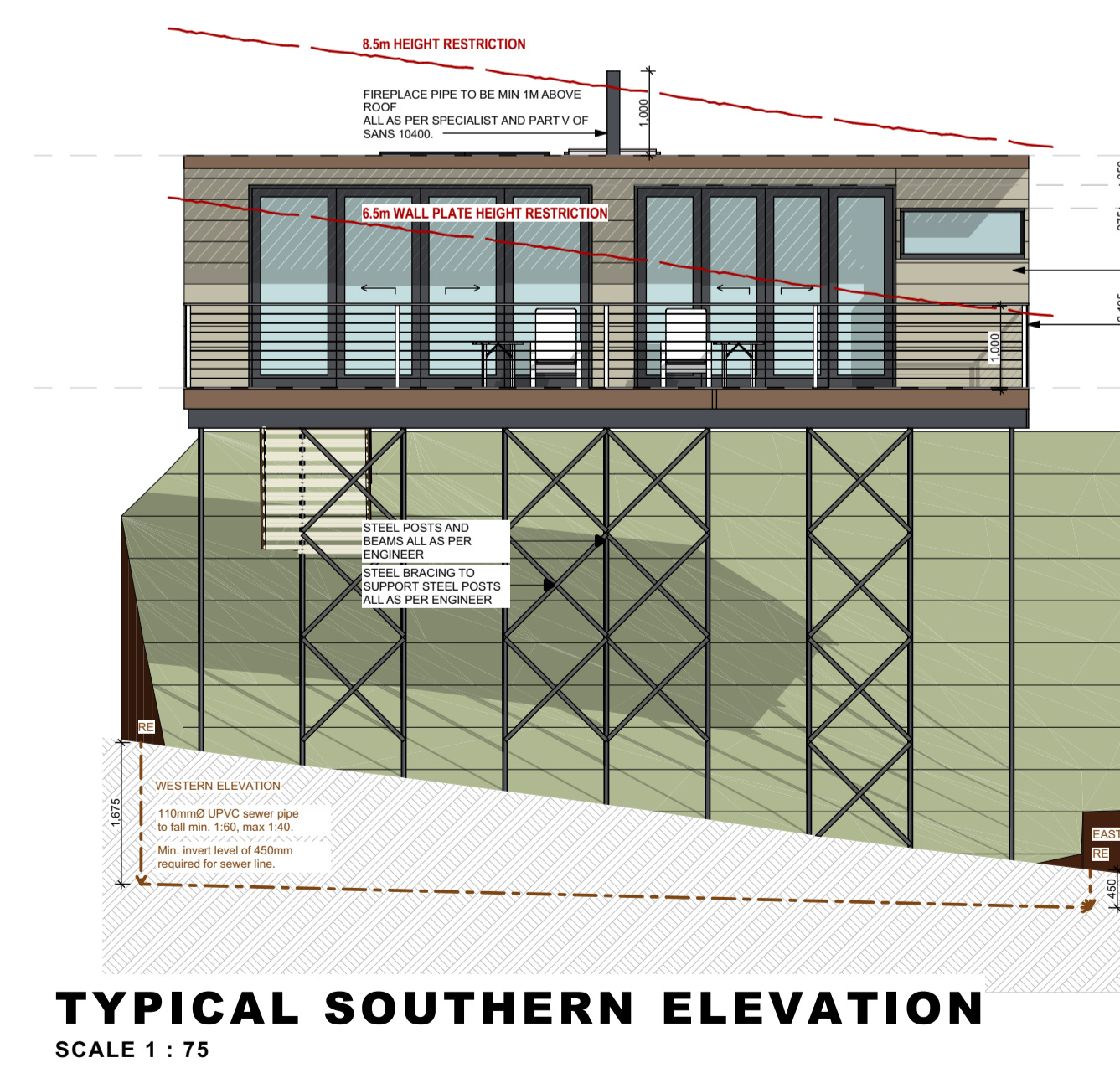
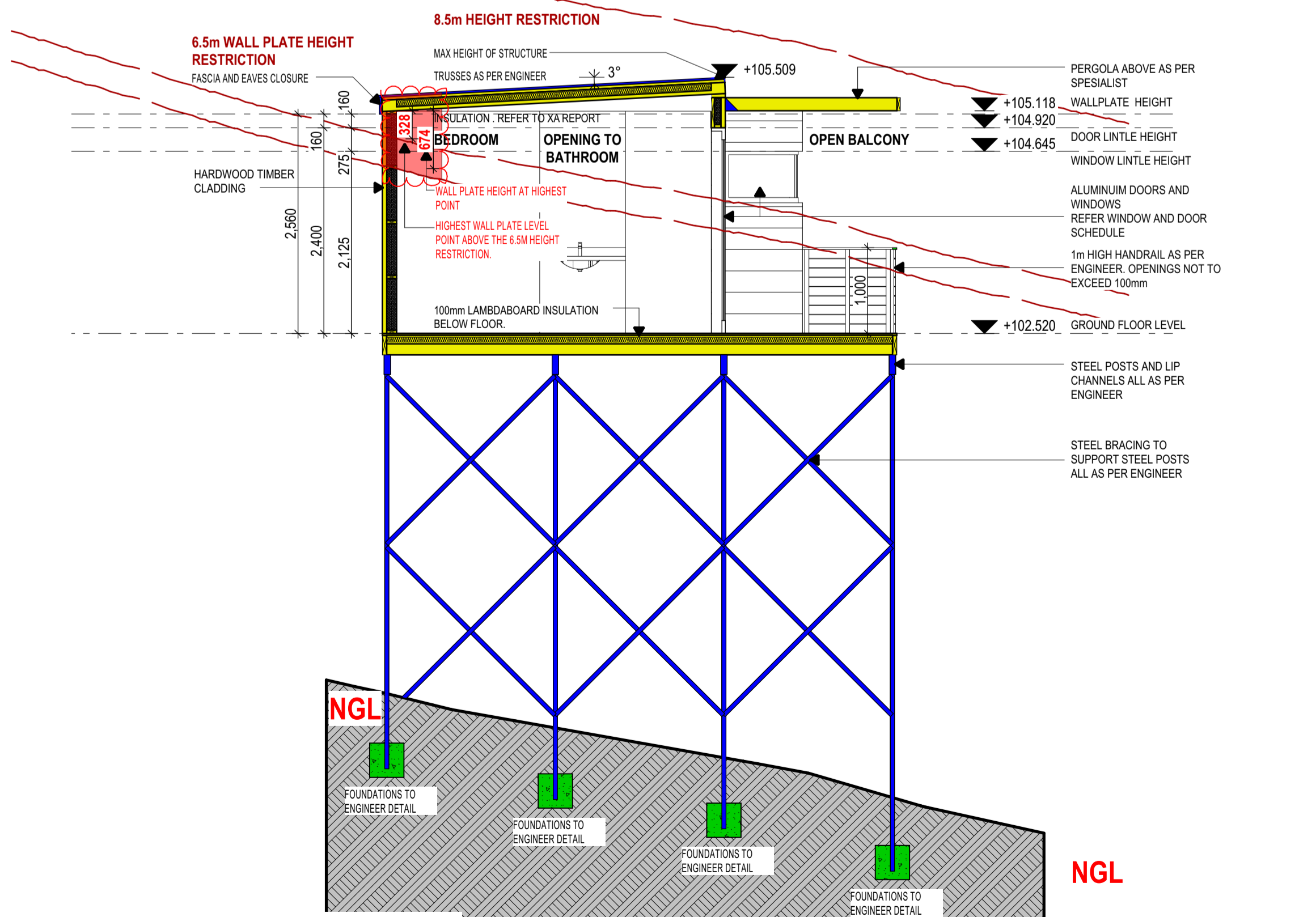
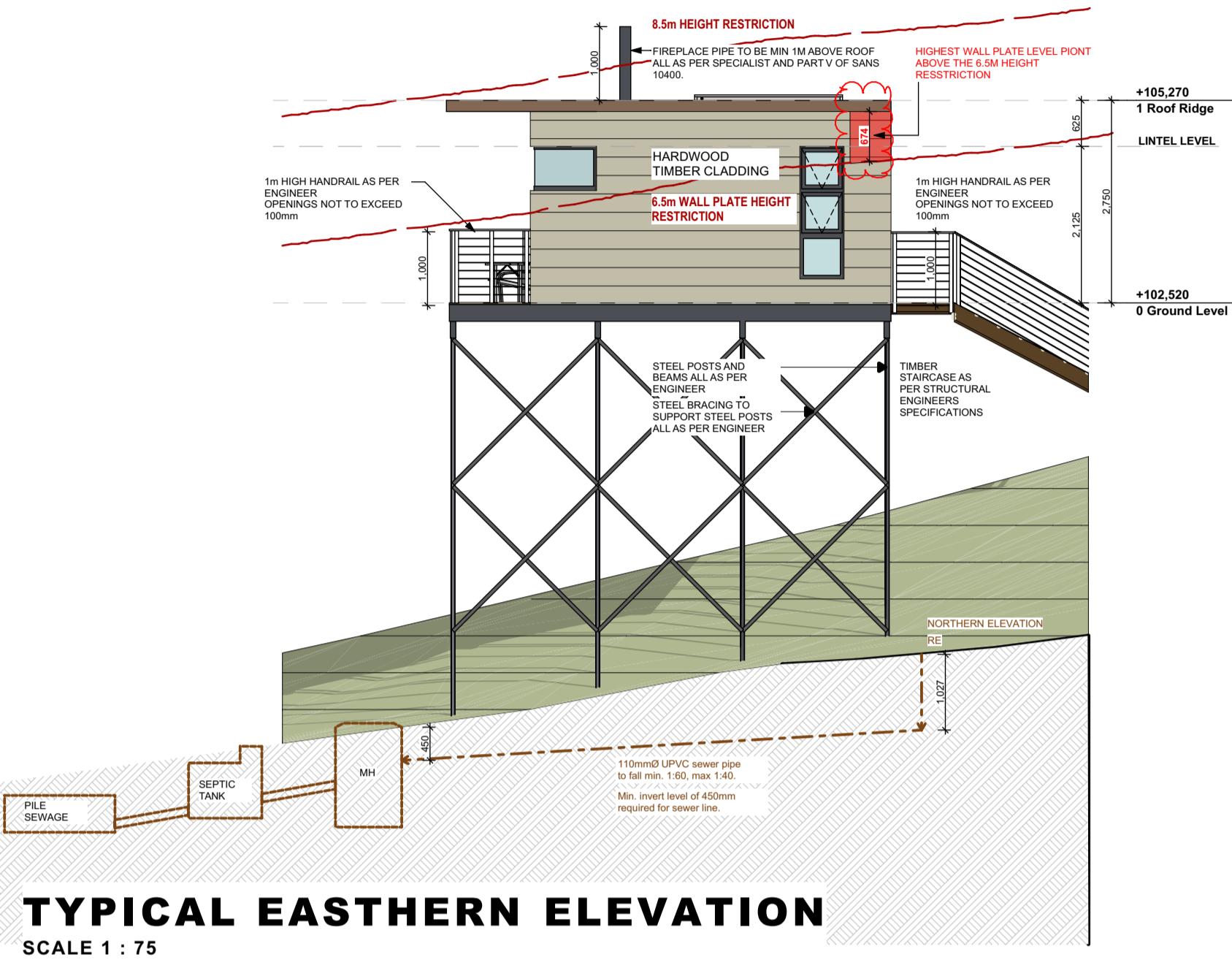
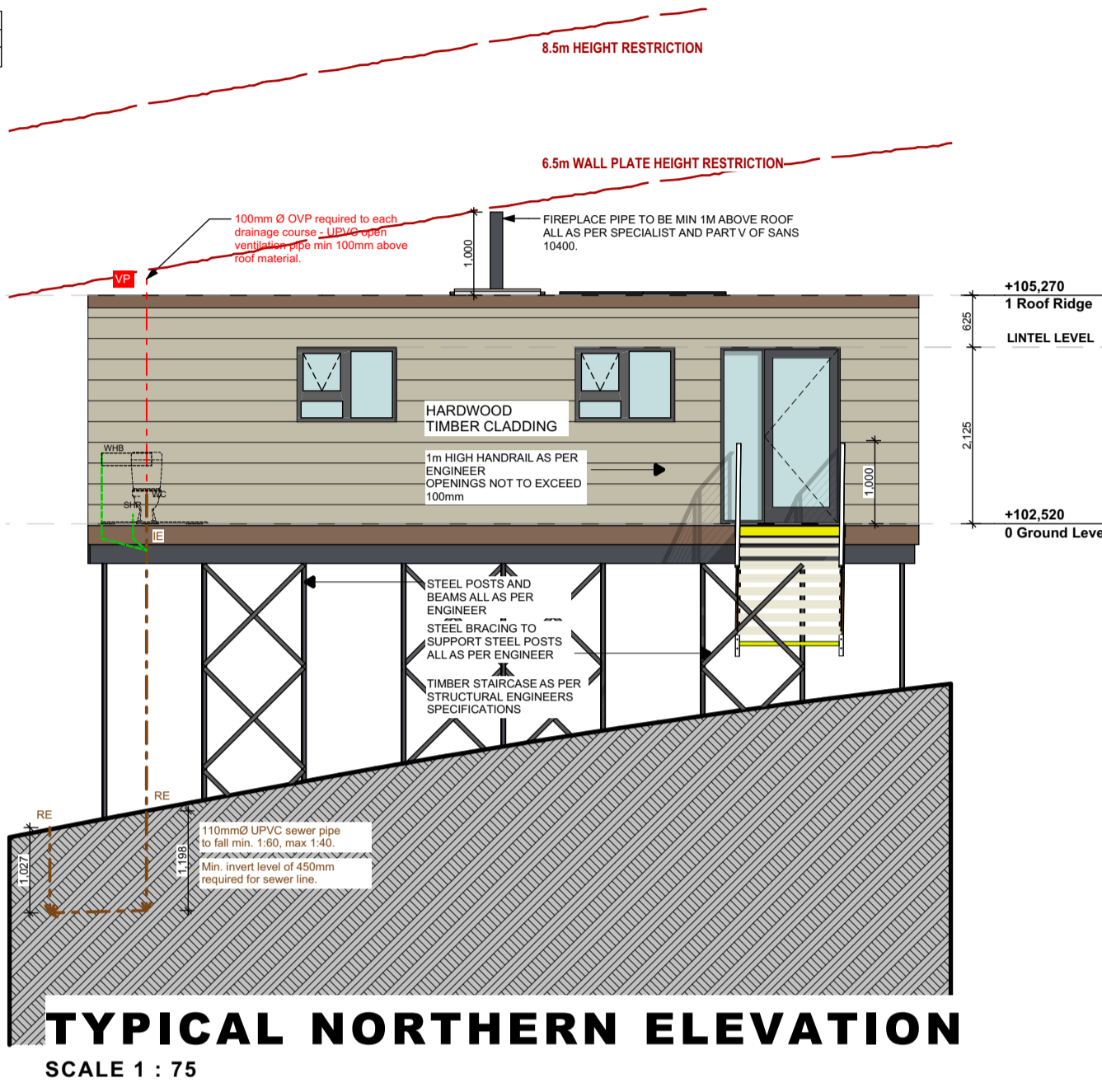
**LEGEND:**

- GREEN — 63mm Ø HDPE Pipe
- BROWN — 110mm Ø HDPE Pipe
- Blue arrow — Main water supply to building as per engineers masterplan
- Blue circle — Sleeve for site water points - points to be confirmed.
- IE — Inspection Eye
- RE — Rooding Eye
- ss — Sub stack
- vp — Vent pipe

Timber staircase as per Structural Engineers specifications.  
Riser: 172mm  
Tread: 230 with min 25mm overlap to comply with SANS 10400 Part M.  
1m high balustrade and handrail along both sides - refer notes.



**SECOND DWELLING UNIT: GROUND FLOOR**  
SCALE 1 : 50



- GENERAL NOTES**
- \* All building work to comply with SABS 0400
  - \* No dimensions to be scaled or scanned from drawing
  - \* All dimensions to be checked on site before any work is put to hand.
  - \* Where applicable the contractor is to check on site the size of components to be manufactured prior to installation
  - \* Contractor is responsible for correct setting out of the buildings, all external and internal walls with particular reference to boundaries, building lines, etc.
  - \* Contractor to verify all levels, heights and dimensions on site and to check the same against the drawings before putting any work in hand.
  - \* Contractor is to locate and identify existing services on the site and protect these from damage throughout the duration of the works.
  - \* Any errors, discrepancies or omissions to be reported immediately.
  - \* Contractor is to build in approved 4 ply D.P.C. weather or not these are shown on drawings, to all walls at each floor, beam or parapet level and to all windows, doors, grilles or other openings in external walls.
  - \* Any queries arising from all the above must be reported and clarified before any work is put in hand.
  - \* This drawing is to be read in conjunction with drawings when applicable.

- DRAINAGE NOTES**
- \* All plumbing and drainage work and installation of sanitary fittings to comply with the relevant Local Authority by-laws, regulations and requirements.
  - \* Provide 1:1% to all bends and junctions with suitable markers at ground level and to be fully accessible at all times.
  - \* Minimum 1500 fall to all drain pipes.
  - \* Provide approved reseat traps to all waste fittings
  - \* Provide A.E.'s to foot of all soil stacks.
  - \* All soil pipes passing under buildings or footings to be protected against loads.

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\* The client accept the responsibility of materials, content and statement.  
\* The elements shown on this drawing are prototypical design only. They implemented in part, or in whole, in any structure without notification and written approval being issued by arcl architects.

<b>REGISTERED OWNER DETAILS:</b> GUSTAV LILIENFELD TEL: 075 238 6875	<b>DATE:</b> 05-06-2024 <b>SIGNATURE OF OWNER/CLIENT:</b>
<b>REGISTERED ARCHITECT DETAILS:</b> SORINA VAN DEVENTER ARCL ARCHITECTS SACAP REG NO. 6641 GEORGE MICHELSE BAY PO BOX 13258 Garden Route Mall 6546	<b>DATE:</b> 05-06-2024 <b>SIGNATURE OF ARCHITECT:</b>

REVISIONS	COMMENTS RECEIVED FROM
REV 1 14-10-2024	1. CHANGES MADE AS PER COMMENTS RECEIVED FROM EMAIL ON 10/10/2024.
REV 2 20-10-2024	1. WALLPLATE HEIGHT ADDED.
REV 3 23-10-2024	2. WALLPLATE HEIGHT ADDED.

**DRAWING STATUS**  
**TOWN PLANNING SUBMISSION**

**PROJECT TITLE**  
PROPOSED NEW LOCATION OF DWELLING HOUSE AND NEW GUEST ROOMS FOR G. LILIENFELD ON PORTION 257 OF THE FARM KRAAIBOSCH NO. 195, VICTORIA BAY, GEORGE.

**DRAWING DESCRIPTION**  
**SECOND DWELLING GROUND FLOORPLAN SECTION AA & ELEVATIONS**

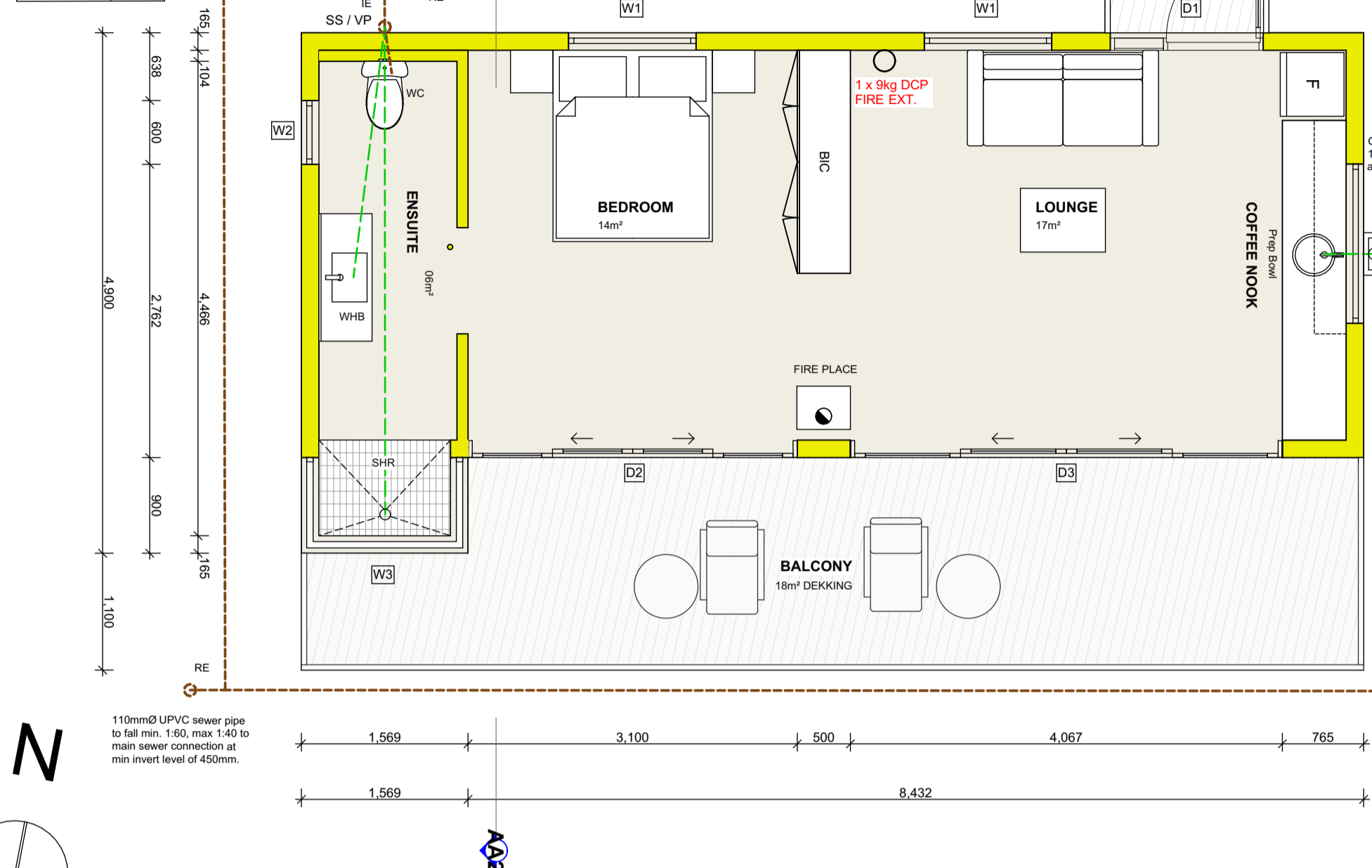
SCALE	AS SHOWN
DATE	DATE OF 1ST ISSUE
ISSUED BY	05-06-2024
DRAWN BY	JE
CHECKED BY	SvD
ARCHITECT	SvD



PROJECT NO:	DRAWING NO:	REVISION
2410	M002	3

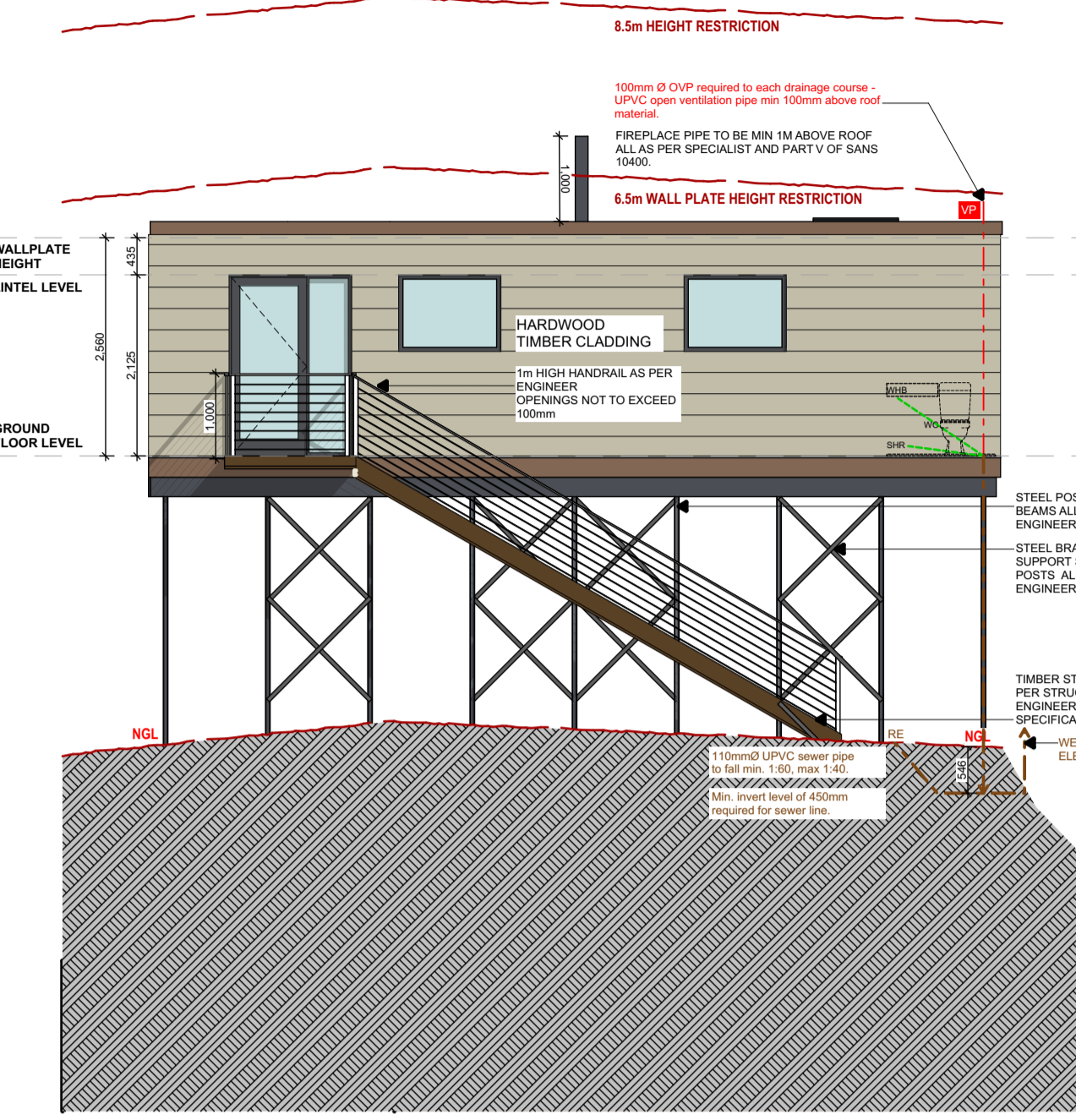
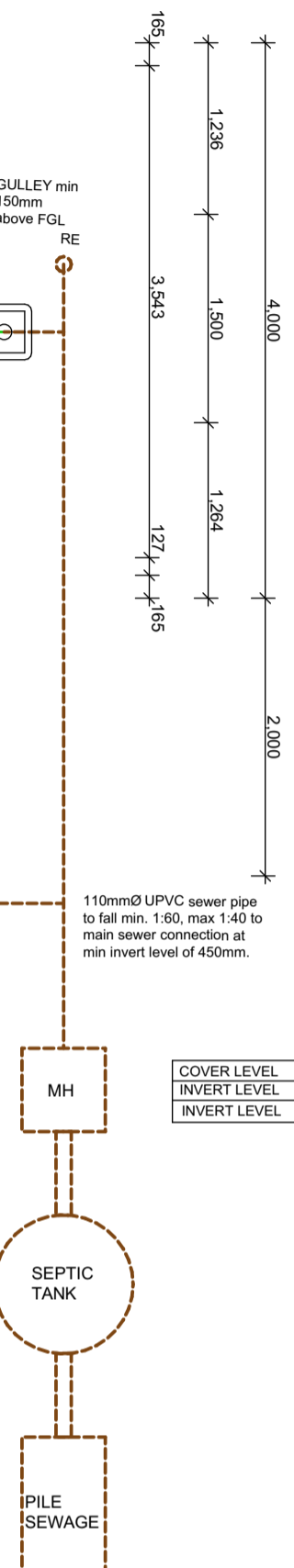
- LEGEND:**
- GREEN — 63mm Ø HDPE Pipe
  - BROWN — 110mm Ø HDPE Pipe
  - Main water supply to building as per engineers masterplan.
  - Sleeve for site water points - points to be confirmed.
  - IE Inspection Eye
  - RE Rooding Eye
  - SS Sub stack
  - VP Vent pipe

COVER LEVEL	10 000
INVERT LEVEL	8 500
INVERT LEVEL	1 500



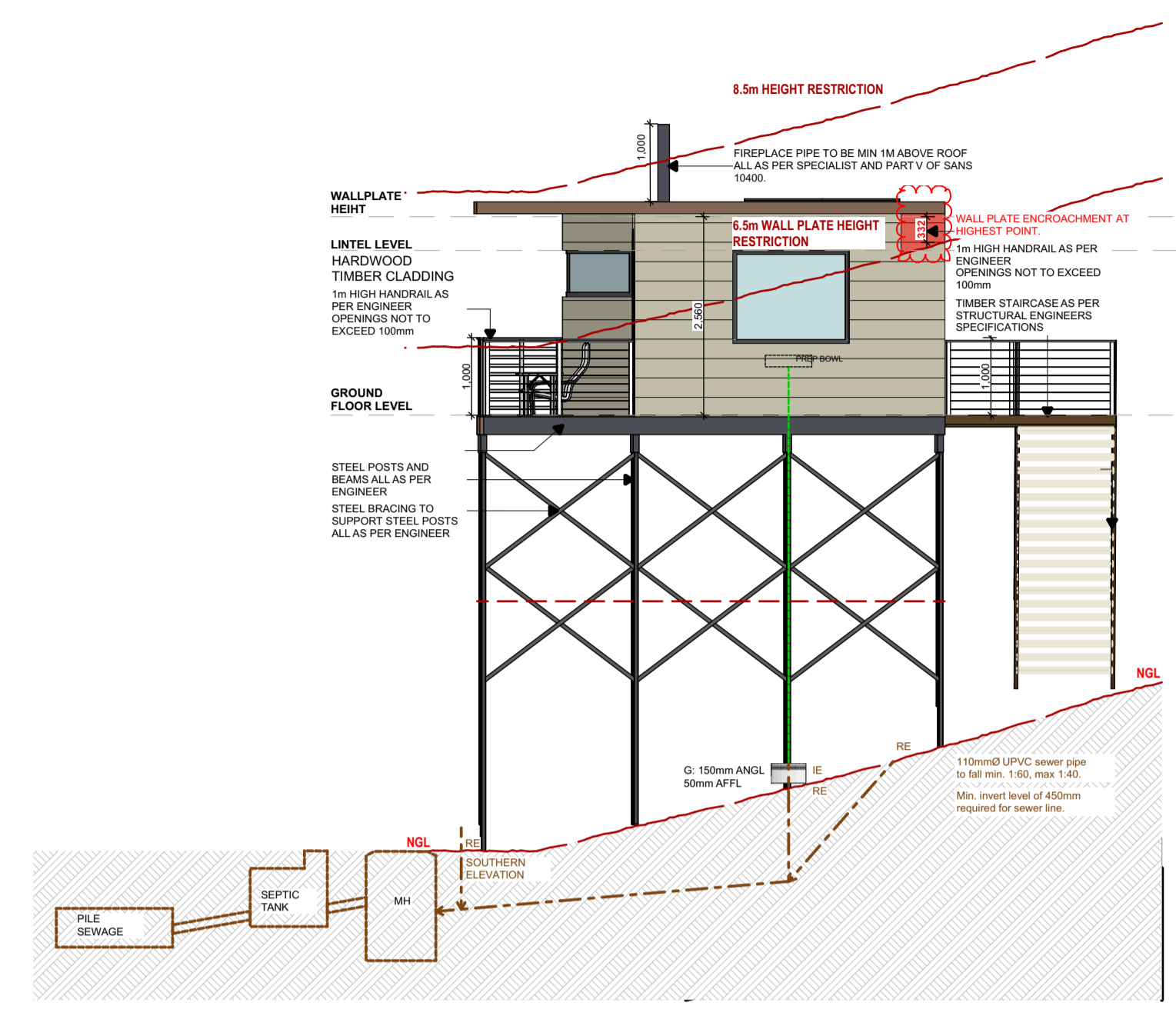
**NON INTERLEADING ROOM 01: GROUND FLOOR**

SCALE 1 : 50



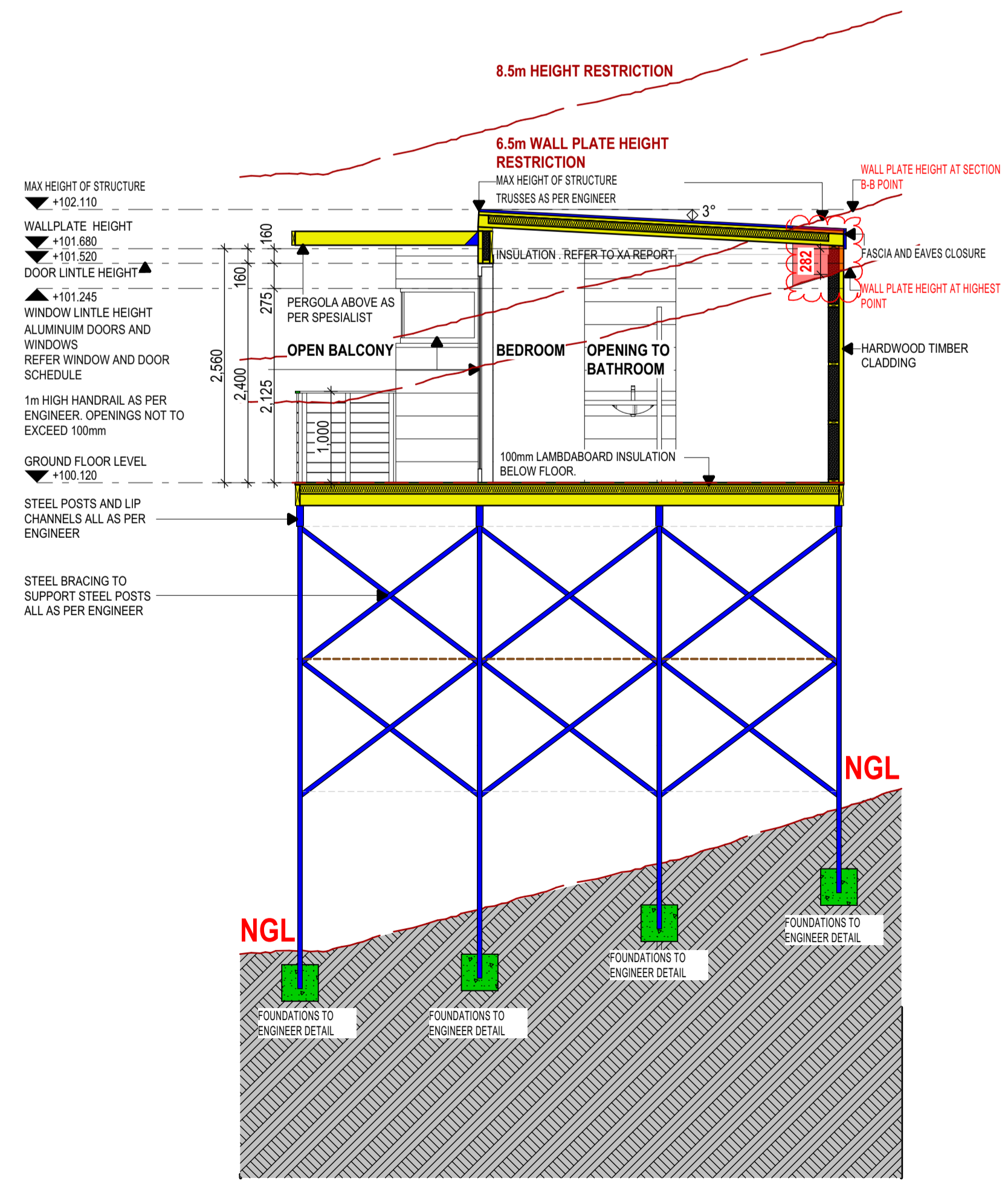
**TYPICAL NORTHERN ELEVATION**

SCALE 1 : 75



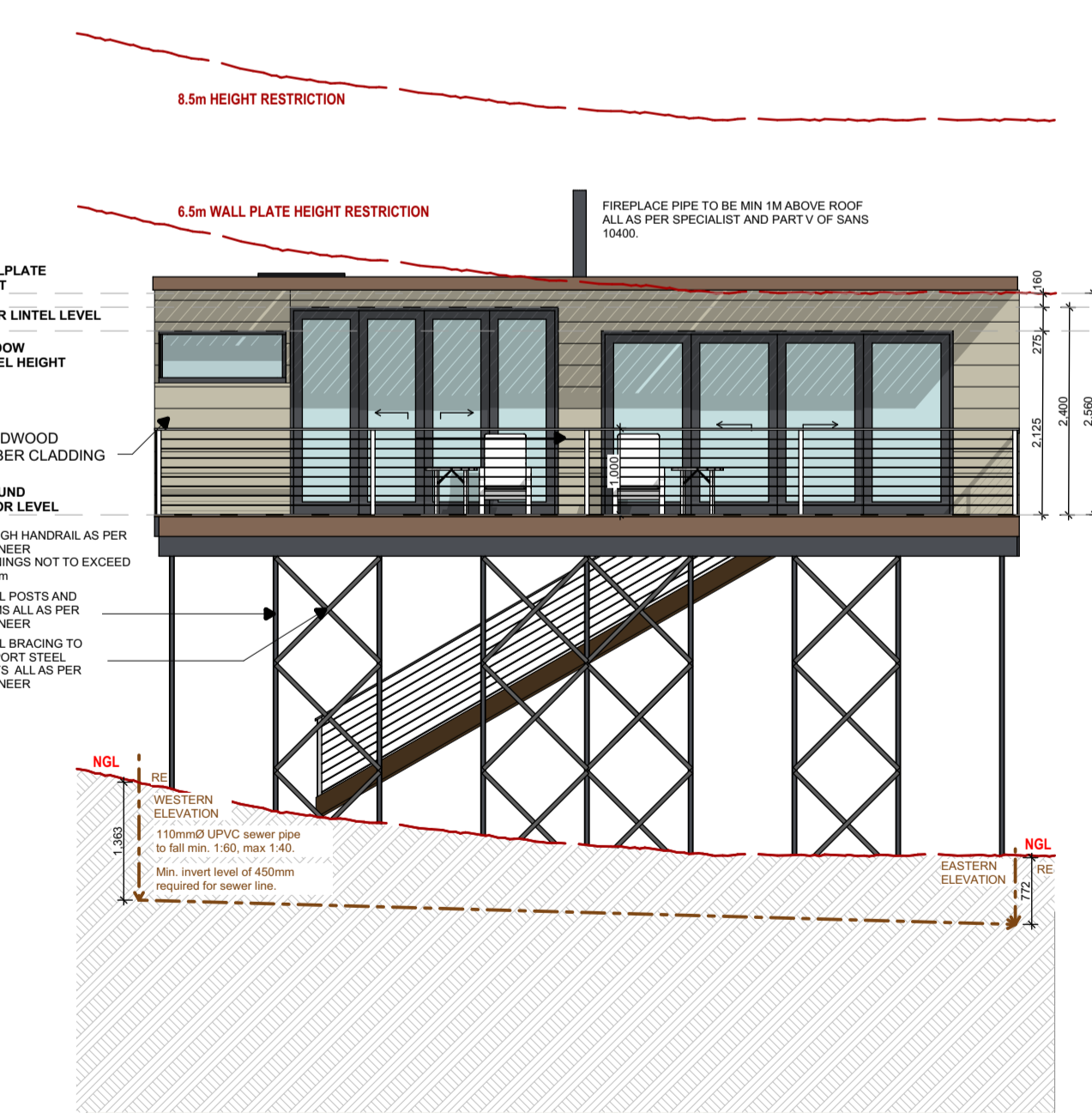
**TYPICAL EASTERN ELEVATION**

SCALE 1 : 75



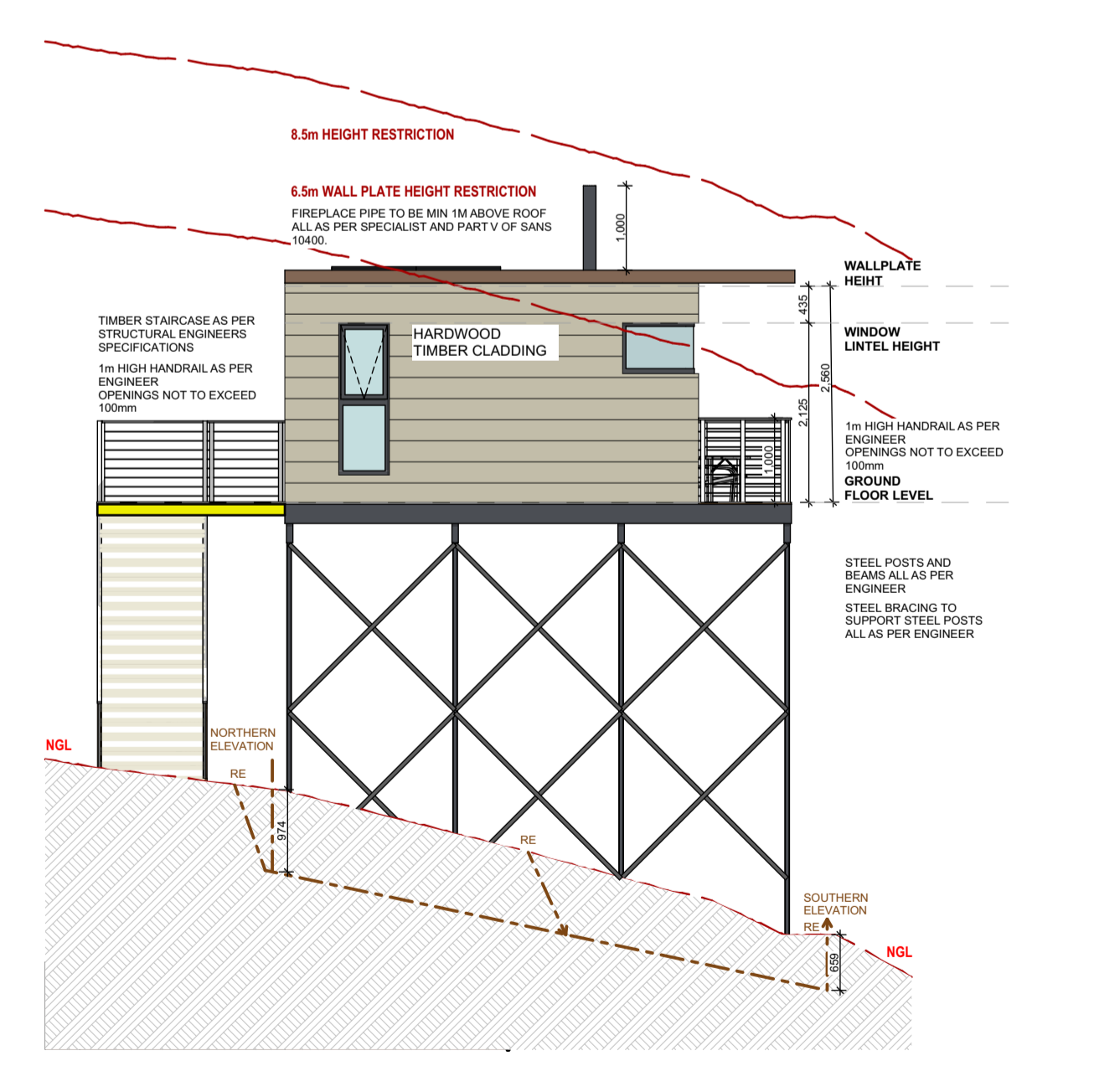
**TYPICAL SECTION BB**

SCALE 1 : 50



**TYPICAL SOUTHERN ELEVATION**

SCALE 1 : 75



**TYPICAL WESTERN ELEVATION**

SCALE 1 : 75

**GENERAL NOTES**

- \* All building work to comply with SABS 0400
- \* No dimensions to be scaled or scanned from drawing
- \* All dimensions to be checked on site before any work is put to hand.
- \* Where applicable the contractor is to check on site the size of components to be manufactured prior to installation
- \* Contractor is responsible for correct setting out of the buildings, all external and internal walls with particular reference to boundaries, building lines, etc.
- \* Contractor to verify all levels, heights and dimensions on site and to check the same against the drawings before cutting any work in hand.
- \* Contractor is to locate and identify existing services on the site and protect these from damage throughout the duration of the works.
- \* Any errors, discrepancies or omissions to be reported immediately.
- \* Contractor is to build in approved 4 ply D.P.C. weather or not these are shown on drawings, to all walls at each floor, beam or parapet level and to all windows, doors, grilles or other openings in external walls.
- \* Any queries arising from all the above must be reported and clarified before any works is put in hand.
- \* This drawing is to be read in conjunction with drawings when applicable.

**DRAINAGE NOTES**

- \* All plumbing and drainage work and installation of sanitary fittings to comply with the relevant Local Authority by-laws, regulations and requirements.
- \* Provide 1% to all bends and junctions with suitable markers at ground level and to be fully accessible at all times.
- \* Minimum 1500 fall to all drain pipes.
- \* Provide approved resal traps to all waste fittings
- \* Provide A.E.'s to foot of all soil stacks.
- \* All soil pipes passing under buildings or footings to be protected against loads.

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- \* The client accept the responsibility of materials, content and statement.
- \* The elements shown on this drawing are prototypical design only. They implemented in part, or in whole, in any structure without notification and written approval being issued by arcxl architects.

<b>REGISTERED OWNER DETAILS:</b> GUSTAV LILIENFELD TEL: 075 258 6875	<b>DATE:</b> 05-06-2024 <b>SIGNATURE OF OWNER/CLIENT:</b>
<b>REGISTERED ARCHITECT DETAILS:</b> SORINA VAN DEVENTER ARCXL ARCHITECTS SACAP REG NO. 6641 66 GROENE MOESSEL BAY PO BOX 13258 Garden Route Mall 6646	<b>DATE:</b> 05-06-2024 <b>SIGNATURE OF ARCHITECT:</b>

**REVISIONS**

REV	DATE	DESCRIPTION
REV 1	14-10-2024	1. CHANGES MADE AS PER COMMENTS RECEIVED FROM EMAIL ON 10/10/2024.
REV 2	20-10-2024	1. WALLPLATE HEIGHT ADDED.
REV 3	23-10-2024	2. WALLPLATE HEIGHT ADDED.

**DRAWING STATUS**

**TOWN PLANNING SUBMISSION**

**PROJECT TITLE**  
PROPOSED NEW LOCATION OF DWELLING HOUSE AND NEW GUEST ROOMS FOR G. LILIENFELD ON PORTION 257 OF THE FARM KRAAIBOSCH NO. 195, VICTORIA BAY, GEORGE.

**DRAWING DESCRIPTION**

SCALE	AS SHOWN
DATE	DATE OF 1ST ISSUE
ISSUED	05-06-2024
DRAWN BY	JE
CHECKED BY	SvD
ARCHITECT	SvD



<b>PROJECT NO:</b>	<b>DRAWING NO:</b>	<b>REVISION</b>
2410		3



## NEIGHBOURS CONSENT/ COMMENT FORM

TO WHOM IT MAY CONCERN


Application is being made for the following permanent departures in terms of Section 15.(2)(b) of the By-Law on Municipal Land Use Planning of George Municipality to allow for the following height relaxations:

1. Relaxation of the maximum height of the wall plate from 6,5m to 7,174m for the Second Dwelling Unit as shown on Site Development Plan No. M001 Revision 3 of Project No. 2410 by ARCXL Architects; and
2. Relaxation of the maximum height of the wall plate from 6,5m to 6,832m for non-interleading room 01 as shown on Site Development Plan No. M001 Revision 3 of Project No. 2410 by ARCXL Architects; and

**NATURE OF CONSENT GIVEN (Tick whichever is applicable)**

I/We the undersigned owner/s of the adjoining property as described below, hereby confirm that I/we have seen the building plans/ site development plans relating to the above application (my neighbour's development proposal). I/we have no objections thereto and I/we would not make any further claims with regard to view obstruction resulting from the approval of said building plans.	<input checked="" type="checkbox"/>
I/We the undersigned owner/s of adjoining properties hereby confirm that I/we have seen the building plans / site development plans relating to the above application (my neighbour's development proposal). I/we have no objections thereto subject to the following:	<input checked="" type="checkbox"/>
Comment / Conditions   	

**ADJACENT OWNER'S DETAILS**

OWNER/S NAME/S	GARTH ROELOFFZE	ID NUMBER	8201055762081
ERF NUMBER	PTN 367 (A1 PTN OF 366) OF FARM KRAAI BOSCH 1915	EXTENSION AREA	
E-MAIL ADDRESS	garth@multithread.co.za	TELEPHONE NUMBER	+27 827241189
SIGNATURE OF OWNER		DATE	1/11/2024

*Reminder: Adjacent owners must also sign and date the related building plan / site development plan*

**FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:**

IS THE SIGNATORY THE OWNER OF THE PROPERTY (CONFIRMED ON SAMRAS)?	YES	NO
---	-----	----

CHECKED BY	DATE
------------	------





# NEIGHBOURS CONSENT/ COMMENT FORM

TO WHOM IT MAY CONCERN


Application is being made for the following permanent departures in terms of Section 15.(2)(b) of the By-Law on Municipal Land Use Planning of George Municipality to allow for the following height relaxations:

1. Relaxation of the maximum height of the wall plate from 6,5m to 7,174m for the Second Dwelling Unit as shown on Site Development Plan No. M001 Revision 3 of Project No. 2410 by ARCXL Architects; and
2. Relaxation of the maximum height of the wall plate from 6,5m to 6,832m for non-interleading room 01 as shown on Site Development Plan No. M001 Revision 3 of Project No. 2410 by ARCXL Architects; and

## NATURE OF CONSENT GIVEN (Tick whichever is applicable)

I/We the undersigned owner/s of the adjoining property as described below, hereby confirm that I/we have seen the building plans/ site development plans relating to the above application (my neighbour's development proposal). I/we have no objections thereto and I/we would not make any further claims with regard to view obstruction resulting from the approval of said building plans.	
I/We the undersigned owner/s of adjoining properties hereby confirm that I/we have seen the building plans / site development plans relating to the above application (my neighbour's development proposal). I/we have no objections thereto subject to the following:	
<p>Comment / Conditions</p> <p style="text-align: center;"><b>No OBJECTIONS</b></p>	

## ADJACENT OWNER'S DETAILS

OWNER/S NAME/S	G C GROBLER	ID NUMBER	590218 5085 083
ERF NUMBER	PORTION 254 (PORTION OF PORTION 82)	EXTENSION AREA	
E-MAIL ADDRESS	gcgrobenetactive.co.za	TELEPHONE NUMBER	082 554 3232
SIGNATURE OF OWNER		DATE	31 OCTOBER 2024

Reminder: Adjacent owners must also sign and date the related building plan / site development plan

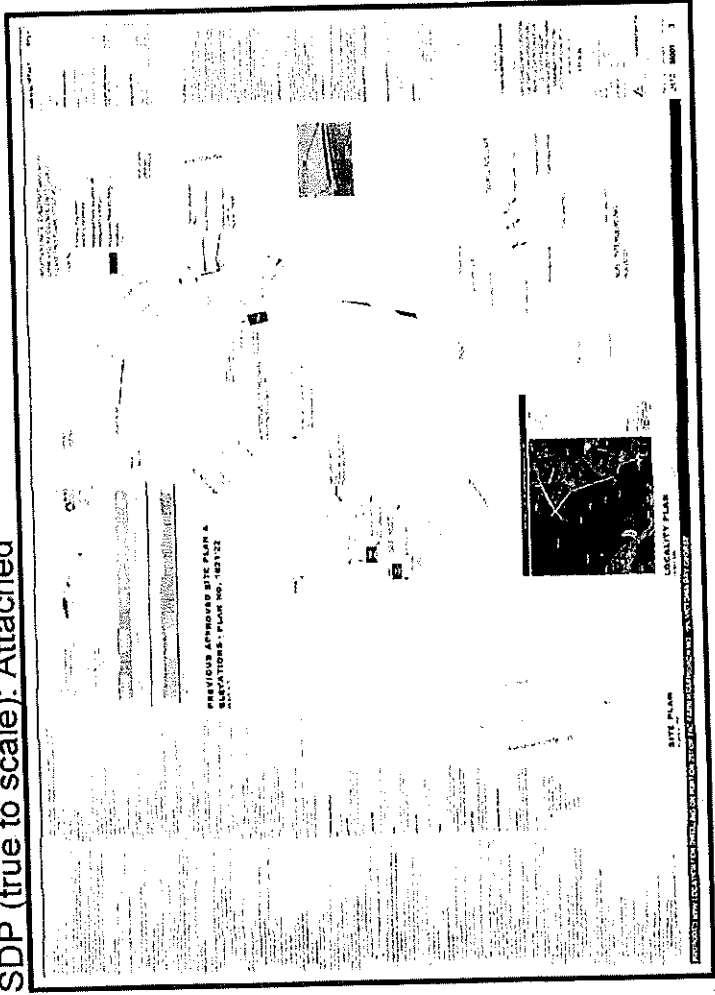
## FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

IS THE SIGNATORY THE OWNER OF THE PROPERTY (CONFIRMED ON SAMRAS)?	YES	NO
CHECKED BY		DATE

Locality Map: 1: 10 000 (A3)



SDP (true to scale): Attached



*[Handwritten signature]*

**PROPOSED PERMANENT DEPARTURES IN TERMS OF SECTION 15.(2)(b) OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING OF GEORGE MUNICIPALITY, 2023, FOR PORTION 257 OF THE FARM KRAAI BOSCH No. 195, VICTORIA BAY, GEORGE**

Application is being made for the following permanent departures in terms of Section 15.(2)(b) of the By-Law on Municipal Land Use Planning of George Municipality to allow for the following height relaxations:

- Relaxation of the maximum height of the wall plate from 6,5m to 7,174m for the Second Dwelling Unit as shown on the SDP; and
- Relaxation of the maximum height of this wall plate from 6,5m to 6,832m for non-intermediate room 01 as shown on the SDP.

**Remarks:**

- The owner submitted building plans for submission on his property which were approved in 2020. Upon implementation of the new zoning scheme, the applicant has submitted the proposed building plans to the Municipality's attention. The Municipality's attention is drawn to the fact that the structures exceed the maximum wall plate height as per the development parameters of the zoning scheme, which part due to this application.
- An OGCSA Permit was issued on 2 November 2022 for the proposed development, and approved building plans.
- The proposed occupancies will be discussed with the neighbours before submission of the application.

**Notes:**

- Locality Map obtained from CapeFarmsSupport
- Site Development Plan No. A0001 Revision 3 of Project No. 2410 by AIRCZL Architects is attached hereto

**PORTION 257 (PORTION OF PORTION 15) OF THE FARM KRAAI BOSCH No. 195, VICTORIA BAY, GEORGE**

**ddk** & **Stads - en Streekeplanners**  
 Town and Regional Planners  
 Yolandeaf 56 York Street Tel: (044) 874 5207  
 Prinsloo 1186 / P O Box 1186 Fax: (044) 875 0554  
 E-pos: E-mail: info@ddkweb.co.za  
 George 6530

SKAAL	1:5000 (A3)	SCALE
BEPLAN	D.N.	PLAN
PLANNED		G/H/221-1
GETEKEN		NO
DRAWN	A.H.	
DATUM	October 2024	
DATE		

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# NEIGHBOURS CONSENT/ COMMENT FORM

TO WHOM IT MAY CONCERN

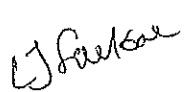
Application is being made for the following permanent departures in terms of Section 15.(2)(b) of the By-Law on Municipal Land Use Planning of George Municipality to allow for the following height relaxations:

1. Relaxation of the maximum height of the wall plate from 6,5m to 7,174m for the Second Dwelling Unit as shown on Site Development Plan No. M001 Revision 3 of Project No. 2410 by ARCXL Architects; and
2. Relaxation of the maximum height of the wall plate from 6,5m to 6,832m for non-interleaving room 01 as shown on Site Development Plan No. M001 Revision 3 of Project No. 2410 by ARCXL Architects; and

**NATURE OF CONSENT GIVEN (Tick whichever is applicable)**

<p>I/<del>We</del> the undersigned owner/s of the adjoining property as described below, hereby confirm that I/<del>we</del> have seen the building plans/ site development plans relating to the above application (my neighbour's development proposal). I/<del>we</del> have no objections thereto and I/<del>we</del> would not make any further claims with regard to view obstruction resulting from the approval of said building plans.</p>	
<p>I/<del>We</del> the undersigned owner/s of adjoining properties hereby confirm that I/<del>we</del> have seen the building plans / site development plans relating to the above application (my neighbour's development proposal). I/<del>we</del> have no objections thereto subject to the following:</p>	
<p>Comment / Conditions</p>   	

**ADJACENT OWNER'S DETAILS**

<b>OWNER/S NAME/S</b>	LINDA JEAN SOEKOE	<b>ID NUMBER</b>	5801220026088
<b>ERF NUMBER</b>	253 195/253	<b>EXTENSION AREA</b>	
<b>E-MAIL ADDRESS</b>	linsoekoe@gmail.com	<b>TELEPHONE NUMBER</b>	+27 (64) 903 3026
<b>SIGNATURE OF OWNER</b>		<b>DATE</b>	06-11-2024

**Reminder: Adjacent owners must also sign and date the related building plan / site development plan**

**FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:**

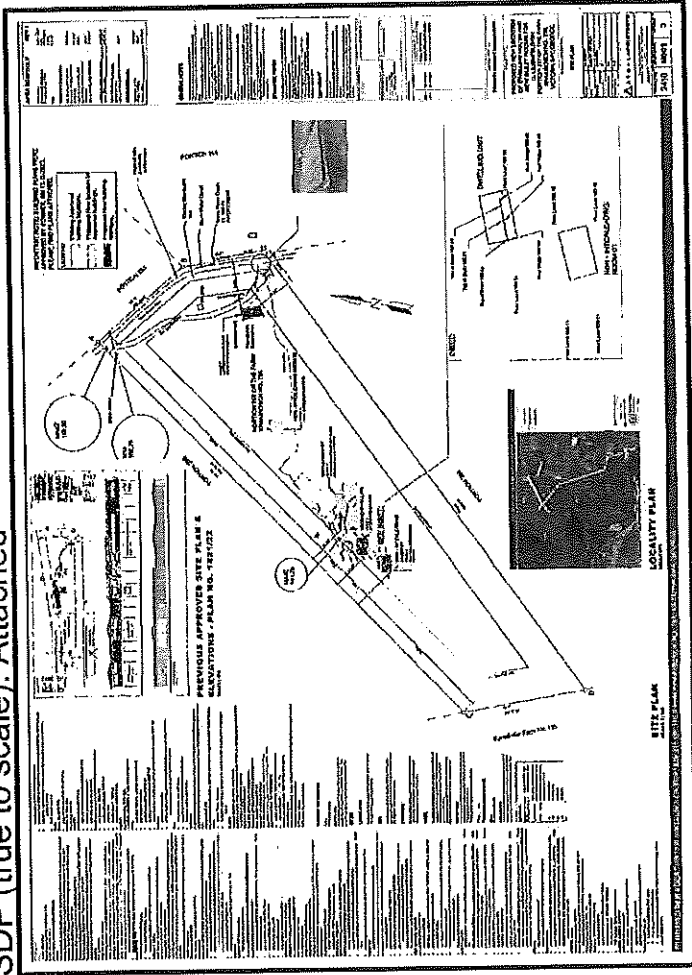
<b>IS THE SIGNATORY THE OWNER OF THE PROPERTY (CONFIRMED ON SAMRAS)?</b>	YES	NO
--	-----	----

<b>CHECKED BY</b>		<b>DATE</b>	
-------------------	--	-------------	--

Locality Map: 1: 10 000 (A3)



SDP (true to scale): Attached



**PROPOSED PERMANENT DEPARTURES IN TERMS OF SECTION 15.(2)(b) OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING OF GEORGE MUNICIPALITY, 2023, FOR PORTION 257 OF THE FARM KRAAI BOSCH NO. 195, VICTORIA BAY, GEORGE**

Application is being made for the following permanent departures in terms of Section 15.(2)(b) of the By-Law on Municipal Land Use Planning of George Municipality to allow for the following height relaxations:

- Relaxation of the maximum height of the wall from 6.5m to 7.174m for the Second Building Unit as shown on the SDP; and
- Relaxation of the maximum height of the wall from 6.5m to 6.832m for non-interleaving room 04 as shown on the SDP.

**Remarks:**

- The owner submitted building plans for annexes on his property which were approved on 13 December 2023. Upon implementation of the approved building plans it seems to be that the maximum height for the development parameters of the Zoning Scheme within gave rise to this application.
- An OSCA Permit was issued on 2 November 2022 for the proposed development, see approval attached.
- The proposed departures will be discussed with the neighbours before submission of the application.

*Handwritten signature*

**Notes:**

- Locality Map obtained from City of George.
- AS2024 Architects is attached hereto.

**PORTION 257 (PORTION OF PORTION 15) OF THE FARM KRAAI BOSCH NO. 195, VICTORIA BAY, GEORGE**



G. Stads - an Streetsplanners  
Town and Regional Planners  
Voorstraat 58, York Street, Tol: (044) 874 5207  
Postbus 1188 / P.O. Box 1188, Fax: (044) 879 8854  
George 6530  
E-pos / E-mail: info@gstads.co.za

SKAAL	1:3000 (A3)	SCALE	
BEPLAN	D.N.	PLAN	G/H/221-1
GETEKEN	A.E.	DRAWN	NO
DATUM	October 2024	DATE	

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# NEIGHBOURS CONSENT/ COMMENT FORM

TO WHOM IT MAY CONCERN


Application is being made for the following permanent departures in terms of Section 15.(2)(b) of the By-Law on Municipal Land Use Planning of George Municipality to allow for the following height relaxations:

1. Relaxation of the maximum height of the wall plate from 6,5m to 7,174m for the Second Dwelling Unit as shown on Site Development Plan No. M001 Revision 3 of Project No. 2410 by ARCXL Architects; and
2. Relaxation of the maximum height of the wall plate from 6,5m to 6,832m for non-interleading room 01 as shown on Site Development Plan No. M001 Revision 3 of Project No. 2410 by ARCXL Architects; and

**NATURE OF CONSENT GIVEN (Tick whichever is applicable)**

I/We the undersigned owner/s of the adjoining property as described below, hereby confirm that I/we have seen the building plans/ site development plans relating to the above application (my neighbour's development proposal). I/we have no objections thereto and I/we would not make any further claims with regard to view obstruction resulting from the approval of said building plans.	
I/We the undersigned owner/s of adjoining properties hereby confirm that I/we have seen the building plans / site development plans relating to the above application (my neighbour's development proposal). I/we have no objections thereto subject to the following:	
<u>Comment / Conditions</u>   	

**ADJACENT OWNER'S DETAILS**

<b>OWNER/S NAME/S</b>	Ross Anthony Petersen	<b>ID NUMBER</b>	6503095089089
<b>ERF NUMBER</b>	195/258	<b>EXTENSION AREA</b>	
<b>E-MAIL ADDRESS</b>	ross@dekon.co.za	<b>TELEPHONE NUMBER</b>	0825688770
<b>SIGNATURE OF OWNER</b>		<b>DATE</b>	05/11/2024

*Reminder: Adjacent owners must also sign and date the related building plan / site development plan*

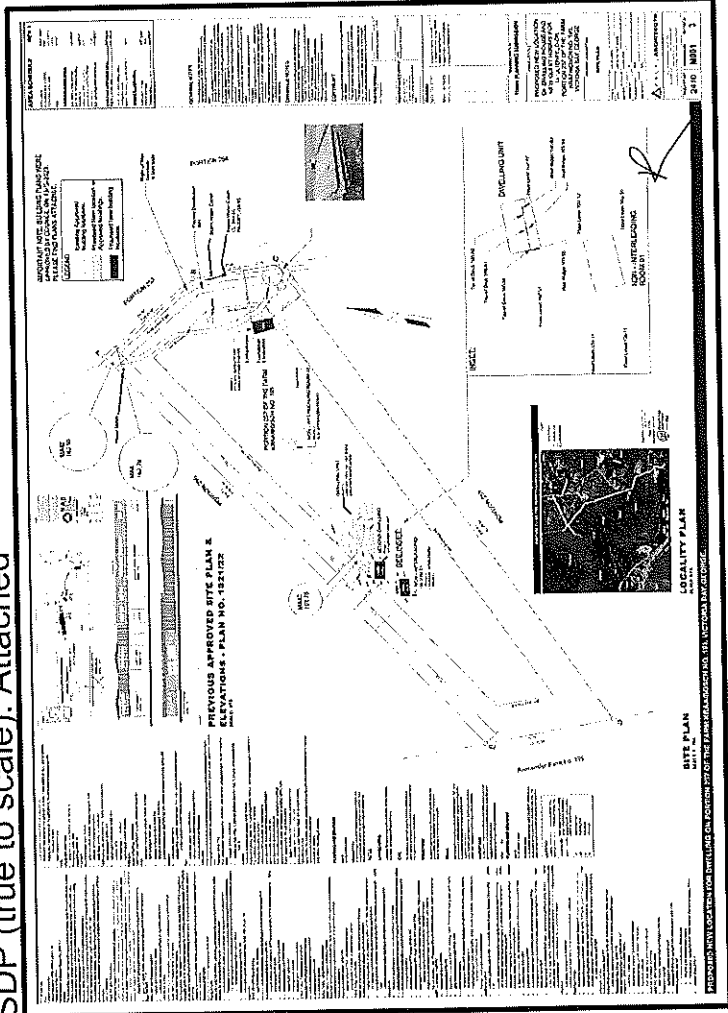
**FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:**

<b>IS THE SIGNATORY THE OWNER OF THE PROPERTY (CONFIRMED ON SAMRAS)?</b>	YES	NO	
<b>CHECKED BY</b>		<b>DATE</b>	

Locality Map: 1: 10 000 (A3)



SDP (true to scale): Attached



**PROPOSED PERMANENT DEPARTURES IN TERMS OF SECTION 15.(2)(b) OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING OF GEORGE MUNICIPALITY, 2023, FOR PORTION 257 OF THE FARM KRAAI BOSCH NO. 195, VICTORIA BAY, GEORGE**

Application is being made for the following permanent departures in terms of Section 15.(2)(b) of the By-Law on Municipal Land Use Planning of George Municipality to allow for the following height relaxations:

- Relaxation of the maximum height of the wall plate from 6,5m to 7,174m for the Second Dwelling Unit as shown on the SDP; and
- Relaxation of the maximum height of the wall plate from 6,5m to 6,832m for non-interlocking room 01 as shown on the SDP.

**Remarks:**

- The owner submitted building plans for structures on his property which were approved on 13 December 2023. Upon application for the proposed permanent departures, the applicant requested that the maximum wall plate height be relaxed to the development parameters of the Zoning Scheme which gave rise to this application.
- An OSCA Permit was issued on 2 November 2023 for the proposed development, see approval attached.
- The proposed departures will be discussed with the neighbours before submission of the application.

**Notes:**

- Locality Map obtained from CapeFarmMapper.
- Site Development Plan No. M001 Revision 3 of Project No. 2410 by AFCKL Architects is attached hereto.

**PORTION 257 (PORTION OF PORTION 15) OF THE FARM KRAAI BOSCH NO. 195, VICTORIA BAY, GEORGE**

**Stads - en Sreekkeplanners**  
Town and Regional Planners

**Rock**

Yoketriet 65 York Street  
Tel: (044) 874 5207  
Fax: (044) 873 6354  
E-pos: E-mail: info@rweb.co.za  
George 6520

SKAAL	1:3000 (A3)		SCALE
BEPLAN	D.N.	PLAN	G/H/221-1
GETEKEN	A.H.	DRAWN	NO

DATUM	October 2024
DATE	

KOPIEREG VOORBEHOUD / COPYRIGHT RESERVED



## **NOTIFICATION OF PAYMENT**

To Whom it may Concern:

First National Bank hereby confirms that the following payment instruction has been received:

---

Date Actioned : 2025/01/09  
Time Actioned : 09:40:12  
Trace ID : CZ7W9S3M

### **Payer Details**

Payment From : MR GUSTAV A LILIENFELD  
Cur/Amount : ZAR9119.50

### **Payee Details**

Recipient/Account no : 5002643  
Name : GEORGE MUNICIPALITY FNB  
Bank : FNB  
Branch Code : 250655  
Reference : LUA498

*END OF NOTIFICATION*

---

To authenticate this Payment Notification, please visit the First National Bank website at [fnb.co.za](http://fnb.co.za), select the "Verify Payments" link and follow the on-screen instructions.

Our customer (the payer) has requested First National Bank Limited to send this notification of payment to you. Should you have any queries regarding the contents of this notice, please contact the payer. First National Bank Limited does not guarantee or warrant the accuracy and integrity of the information and data transmitted electronically and we accept no liability whatsoever for any loss, expense, claim or damage, whether direct, indirect or consequential, arising from the transmission of the information and data.

### **Disclaimer:**

The information contained in this email is confidential and may contain proprietary information. It is meant solely for the intended recipient. Access to this email by anyone else is unauthorised. If you are not the intended recipient, any disclosure, copying, distribution or any action taken or omitted in reliance on this is prohibited and may be unlawful. No liability or responsibility is accepted if information or data is, for whatever reason corrupted or does not reach its intended recipient. No warranty is given that this email is free of viruses. The views expressed in this email are, unless otherwise stated, those of the author and not those of First National Bank Limited or its management. First National Bank Limited reserves the right to monitor, intercept and block emails addressed to its users or take any other action in accordance with its email use policy. Licensed divisions of FirstRand Bank Limited are authorised financial service providers in terms of the Financial Advisory and Intermediary Services Act 37 of 2002.

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222

MILTONS MATSEMELA INC  
Studio 110  
Palmyra Junction  
Palmyra Road  
Claremont  
7700

Prepared by me

CONVEYANCER  
PAUL WOLTER STELLING (82666)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 1 980 000,00	R. 1283,00
Reason for exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....

DATA / CAPTURE  
14 -06- 2021  
LINDA NCAPAI

DATA / VERIFY  
14 -06- 2021  
NOLUVO MTYATYAMBA

T 000028704 / 2021

## DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

**ELBE YOUNG - LPCM 98021**

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

**DAVID JOHN BRADFIELD**  
**Identity Number 550519 5061 08 3**  
**Married out of community of property**

which said Power of Attorney was signed at GEORGE on 24<sup>th</sup> April 2021

And the appearer declared that his/her said principal had, on 14 April 2021, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

**GUSTAV ALEXANDER LILIENFELD**  
**Identity Number 930625 5118 08 7**  
**Unmarried**

His Heirs, Executors, Administrators or Assigns,

PORTION 257 (A PORTION OF PORTION 15) OF FARM KRAAI BOSCH 195  
IN THE MUNICIPALITY AND DIVISION OF GEORGE  
PROVINCE OF THE WESTERN CAPE

IN EXTENT: 2,9849 (TWO COMMA NINE EIGHT FOUR NINE) Hectares

**FIRST REGISTERED** by Certificate of Registered Title No. T19014/2000 with Diagram SG No. 2892/1999 annexed thereto and held by Deed of Transfer No. T71087/2004

- A. SUBJECT** to the conditions referred to in Deed of Transfer No. T12511/1967.
- B. SUBJECT FURTHER** to the special condition contained in Certificate of Amended Title dated 23<sup>rd</sup> April 1913 (George Quitrents Volume 13 No 11), which condition reads as follows:

"The said land being subject moreover, to all such duties and regulations as either are already or shall in future be established respecting lands held on similar tenure."

- C. SUBJECT FURTHER** to the terms of the servitude referred to in the endorsement dated the 14<sup>th</sup> December 1940 on Deed of Transfer No. T1258/1928, which endorsement reads as follows:

"By Not. Deed No 357/40 dated 11/4/39, 15/4/39, 1/5/39, 3/6/39 the owner of the said property held hereunder has granted a water servitude over the within mentioned property in favour of the Municipality of George with certain rights ancillary thereto, subject to conditions, as will more fully appear on reference to the said Notarial Deed."

- D. SUBJECT FURTHER** to the terms of the servitude referred to in the endorsement dated the 12<sup>th</sup> of June 1967 on Deed of Transfer No. T12511/1967, which endorsement reads as follows:

"By Notarial Deed No 337/1967 dated 10<sup>th</sup> May 1967, the within properties viz. Portion 83 and the Remainder of Lot N of the farm Kraaibosch measuring 25.7487 Morgen held hereunder, together with Portions 80, 81 and 82 of Lot N of the farm Kraaibosch held by Deed of Partition Transfer No 12510/67 are reciprocally subject and/or entitled to a 30 ft wide right of way which servitude is represented by the figure A.x.y. on diagram No 3059/66 annexed hereto, and the centre lines a.b., a.b. and the Eastern side thereof by the line A.B.C.D.J.K.L.M.N.O.P.Q.R.S. on diagrams Nos 3056/66, 3057.66 and 3058/66 respectively, annexed to Deed of Partition Transfer No 12510/1967 and the said owners are jointly responsible for the maintenance thereof.

4

As will more fully appear from the said Notarial Deed.

- E. SUBJECT FURTHER** to the terms of an endorsement dated the 7<sup>th</sup> of January 1972 on Deed of Transfer No. T31928/1969, which endorsement reads as follows:

"The within described land is subject to a servitude with regard to apportionment of water in terms of Order of the Water Court (Water Court District Cape) dated 26/5/71 as will more fully appear on reference to the copy of the said Order annexed hereto Serwituut 15/72."

- F. SUBJECT FURTHER** to the terms of an endorsement dated the 7<sup>th</sup> of June 1973 on Deed of Transfer No. T31928/1969, which endorsement reads as follows:

"The within described land is subject to a servitude with regard to apportionment of water in terms of an order of the Water Court (Water Court District Cape) dated 3/6/77 as will more fully appear on reference to the copy of the said Order annexed hereto Serwituut K493/77S."

- G. SUBJECT FURTHER** to the terms of the servitude referred to in the endorsement dated 22 February 1985, on Deed of Transfer No. T59546/1984, which endorsement reads as follows:

"By Notarial Deed Nr K153/85S dated 7.1.85 the within mentioned property is entitled to a servitude right of way 9,45 square metres wide represented by the figures ABCD on Diagram No 4609/83 over Portion 82 (portion of portion 15) meas. 21,5023 hectares, as will more fully appear on reference to the Notarial Deed, a copy whereof is hereunder annexed.

- H. SUBJECT FURTHER** to the terms of the servitude referred to in the endorsement dated 13 March 2000 on Certificate of Registered Title No. T19014/2000 reading as follows:

"By virtue of Deed of Transfer No. T19015/2000 the withinmentioned properties are subject to the following servitude in favour of the remaining extent of Portion 15 of the Farm Kraai Bosch 195 and held by Deed of Transfer No. T19015/2000.

In respect of Portion 257

To a servitude right of way 9,45 metres wide as indicated by the lines A B and B C representing north eastern and eastern boundaries on diagram SG No. 2892/99 annexed to Certificate of Registered title No. T19014/2000.

As will more fully appear from the said Deed of Transfer."

|

17



WHEREFORE the said Appearer, renouncing all rights and title which the said

**DAVID JOHN BRADFIELD, Married as aforesaid**

heretofore had to the premises, did in consequence also acknowledge him to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

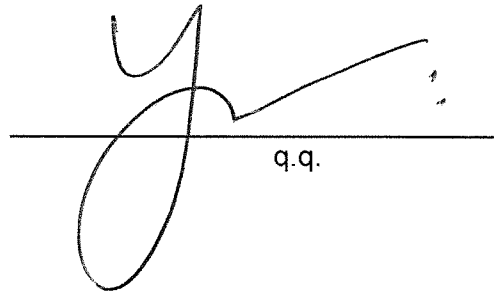
**GUSTAV ALEXANDER LILIENFELD, Unmarried**

his Heirs, Executors, Administrators or Assigns, now are and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 980 000,00 (ONE MILLION NINE HUNDRED AND EIGHTY THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

10 JUN 2021

  
\_\_\_\_\_  
q.q.

In my presence



\_\_\_\_\_  
REGISTRAR OF DEEDS



**CONVEYANCERS CERTIFICATE**

I, the undersigned,

**HERMAN JOSIAS SWANEPOEL (44409)**

Conveyancer practising in GREAT BRAK RIVER, hereby certifies from enquiries made by me that:-

**PORTION 257 (A PORTION OF PORTION 15) OF FARM KRAAI BOSCH 195  
IN THE MUNICIPALITY AND DIVISION OF GEORGE  
PROVINCE OF THE WESTERN CAPE  
IN EXTENT: 2,9849 (TWO COMMA NINE EIGHT FOUR NINE) Hectares**

**and held in terms of Deed of transfer no. T28704/2021**

**is subject to:**

1. special condition contained in Certificate of Amended Title dated 23/4/1913 namely:  
  
“The said land being subject moreover, to all such duties and regulations as either are already or shall be established respecting lands held on similar tenure.”
2. the terms of a water servitude referred to in endorsement dated 14/12/1940 on Deed of Transfer no T 1258/1928 in favour of the George Municipality with certain ancillary rights.
3. the terms of a servitude referred to in endorsement dated 7/1/1972 on Deed of Transfer no T 31928/1969, regarding to the apportionment of water in terms of the Water Court District Cape dated 26/5/71.
4. the terms of a servitude referred to in endorsement dated 7/6/1973 on Deed of Transfer no T 31928/1969, regarding to the apportionment of water in terms of the Water Court District Cape dated 3/6/77.
5. To a servitude right of way 9,45 metres wide as indicated by the lines AB and BC representing north eastern and eastern boundaries on diagram SG No.2892/99 annexed to Certificate of Registered Title No. T 19014/2000.

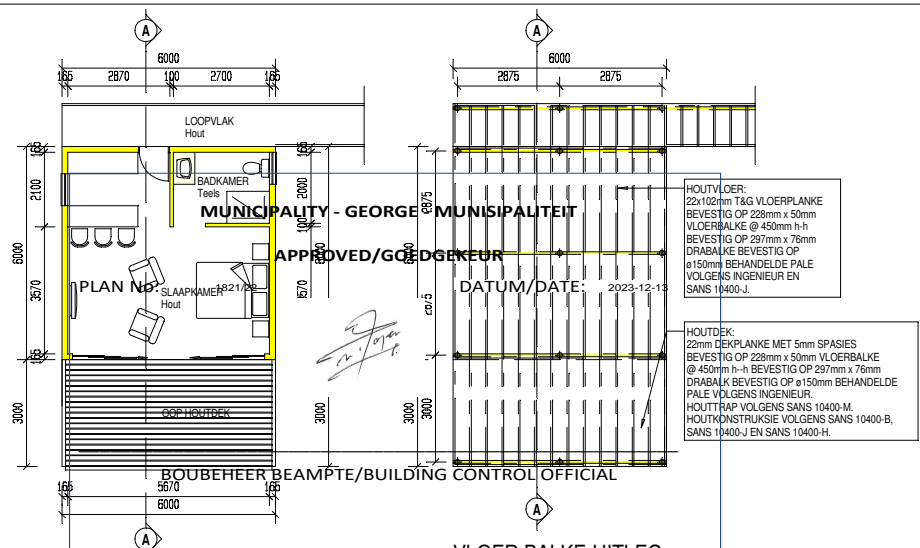
The Deed has been examined and no further restrictive conditions have been noted which are applicable to the abovementioned property.

Signed at Great Brak River on 6 November 2024



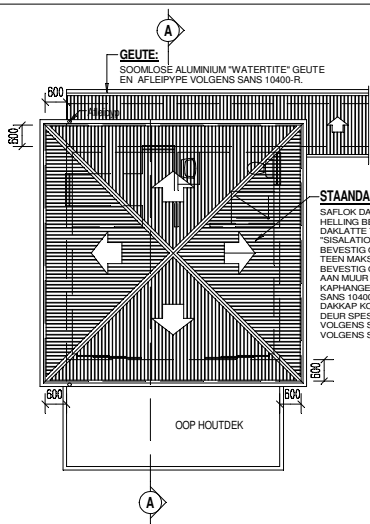
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**CONVEYANCER  
HERMAN JOSIAS SWANEPOEL (44409)**

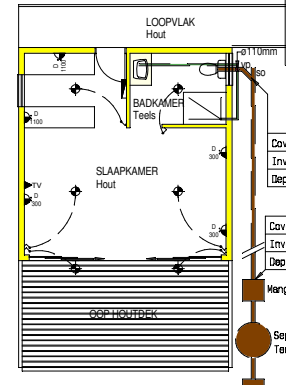


VLOERPLAN - GASTE KAMER  
SKAAL 1:100

VLOER BALKE-UITLEG  
GASTE KAMER  
SKAAL 1:100



DAKPLAN - GASTE KAMER  
SKAAL 1:100

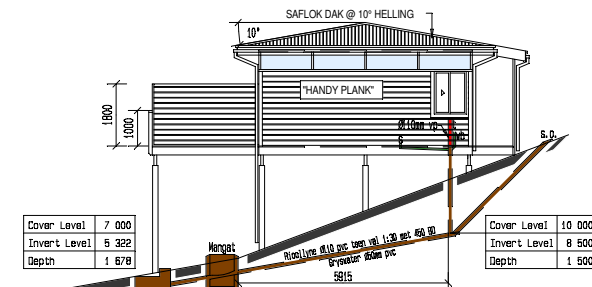


ELEKTRIES & RIOOLPLAN  
GASTE KAMER  
SKAAL 1:100

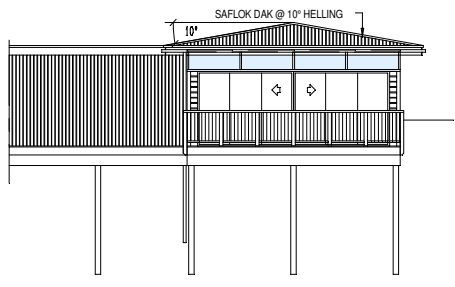
**LET WEL:**  
ALLE MATERIAAL EN WERK MOET VOLGENS SANS 204, SANS 10400 EN BOUREGULASIES WEES. GEEN AFMETINGS MOET AFGESKAAL WORD VAN TEKENING NIE SLEES MATES GETOON MOET GEBRUIK WORD. KONTRAKTEUR MOET SEKER MAAK DAT ALLE GEBOUW UITGESTI WORD VOLGENS PLAN, SODAT SOLLE NIE OORSEY WORD NIE. KONTRAKTEUR MOET ALLE AFMETINGS EN VLAKKE NAGAAN OP TERREIN. ENIGE TEENSTRYDIGHED MOET ONDER DIE AANDA VAN N.A.D. GEBING WORD.

\*APPOINTED AS ARCHITECTURAL PROFESSIONAL TO WORK STAGE 4.1 DOCUMENTATION TO ACHIEVE MUNICIPAL APPROVAL ONLY. NO LIABILITY WILL BE ACCEPTED FOR WORK DURING CONSTRUCTION. FULL LIABILITY AND RESPONSIBILITY WILL BE FOR THE OWNER OR BUILDER.\*

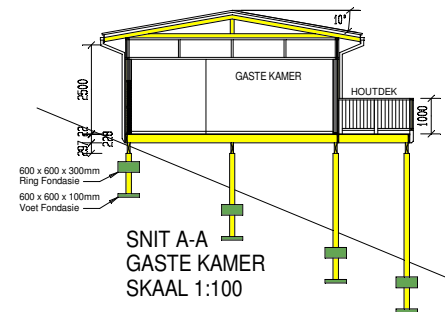
Cover Level	10 000	OPPERVLAKTES:	
Invert Level	8 500	NOODNET	182,85m²
Depth	1 500	NOODNET MET HOUTDEK	58,97m²
		GASTE KAMER 1	36,00m²
		GASTE KAMER 2	36,00m²
		NOODHUIS & STOOP	170,68m²
		LOOPSANG	37,60m²
		TOTAL	523,10m²
		ERF OPPERVLAKTE	29847,32m²
		VOETSPOOR	523,10m²
		DEKING	1,75%



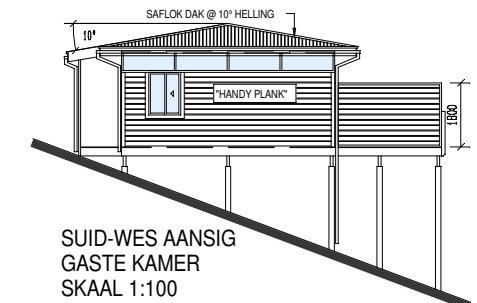
NOORD-OOS AANSIG  
GASTE KAMER  
SKAAL 1:100



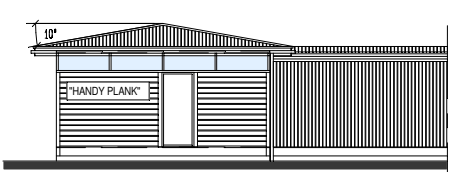
SUID-OOS AANSIG - GASTE KAMER  
SKAAL 1:100



SNIT A-A  
GASTE KAMER  
SKAAL 1:100



SUID-WES AANSIG  
GASTE KAMER  
SKAAL 1:100



NOORD-WES AANSIG - GASTE KAMER  
SKAAL 1:100

**SPESIFIKASIES**

**PLATDAK:**  
SAFLOK DAKBEDEKING @ 10° HELLING BEVESTIG OP 76x50mm DAKLATTE TEEN 900mm h-h, OP "SISALATION" OF SOORTGELYK, BEVESTIG OP 152x50mm DAKBALKE TEEN MAKSIMUM 900mm h-h, BEVESTIG OP MUURPLAAT EN AAN MUUR GEHEG MET KAPHANGERS VOLGENS SANS 10400-K, DAKKAP KONSTRUKSIE MOET DEUR SPESIALIS ONTWERP WERD VOLGENS SANS 10400-L EN VOLGENS SANS 10400-T

**PLAFON:**  
6.5mm VESELBORD PLAFON BEVESTIG AAN 38x38mm LATTE TEEN 400mm h-h, KROONLISSTE VOLGENS EENVAAR SE KEUSE, BEHEI VOOR EN VERT MET TWEE LAE PVA VOLGENS EENVAAR SE KEUSE HITTE ISOLASIE KOMBERS MOET VOLDOEN AAN DIE VEREISTES VAN SANS 10400-L, SANS 10400-T EN SANS 10177-5.

**GEUTE:**  
SOOMLOSE ALUMINIUM "WATERTITE" GEUTE EN AFLEIPIE VOLGENS SANS 10400-R.

**MURE:**  
"HANDY PLANK" TEEN VERTIKALE SISALATION HF2(WATERDICTING) TEEN 6mm LAAGHOOT TEEN 114x38mm GESKAAFTE SA DENNE RAAMWERK, BINNEKANT VAN BUITEMURE: 12.5mm "RHINO BOARD" BEKLEDING TEEN BUITERAME: 12.5mm "RHINO BOARD" BEKLEDING TEEN GESKAAFDE 38x76mm SA DENNE RAAMWERK, ALLE LASTE MOET MET RHINOLITE GERLESTER EN AFGERWEEK WORD, BINNEMURE TWEE LAE PVA, KLEUR VOLGENS EENVAAR SE KEUSE.

**VENSTERS:**  
STANDAARD ALUMINIUM VENSTERS VOLGENS SANS 10400-N EN BOUREGULASIES.

**DEURE:**  
STANDAARD ALUMINIUM DEURE VOLGENS SANS 10400-N EN BOUREGULASIES.

**STRUKTURELE WERK:**  
ALLE STRUKTURELE WERK MOET STRENG VOLGENS INGENIEUR SE ONTWERP GEDOEN WORD EN GOEDGEKEUR.

**BUIE TRAPPE**  
BUIE TRAPPE WAAR NODIG. POSISIES EN HOEVEHEDE MOET OP TERREIN BEPAAL WORD. LOOPSTUKKE 275mm, STYGTUKKE 175mm.

**HANDELING & BALUSTRADE:**  
BALUSTRADE 1m HOOG MET MAKSIMUM 100mm OPENINGE VOLGENS SANS 10400-H.

**HOUT DEK:**  
22mm DEKPLANKE MET 5mm SPASIES BEVESTIG OP 228mm x 50mm VLOERBALKE @ 450mm h-h BEVESTIG OP 297mm x 76mm DRABALK BEVESTIG OP e150mm BEHANDELE PALE VOLGENS INGENIEUR, HOUTTRAP VOLGENS SANS 10400-M, HOUTKONSTRUKSIE VOLGENS SANS 10400-B, SANS 10400-J EN SANS 10400-H.

**VLOER:**  
22x102mm T&G VLOERPLANKE BEVESTIG OP 228mm x 50mm VLOERBALKE @ 450mm h-h BEVESTIG OP 297mm x 76mm DRABALK BEVESTIG OP e150mm BEHANDELE PALE VOLGENS INGENIEUR EN SANS 10400-J.

**ELEKTRIESE LEGENDE**

□	DUBBEL MUURPROP 300mm HOOG
□	PLAFONING
□	MUURIG: WATERDIG INDIEN BUITELIG
□	LIGSKAKELAAR: 1150mm BO AVV
□	DISTRIBUSIE BORD
□	TV PUNT
□	200 LITER SOLAR GEYSER

**N.A.D.**  
NEW ARCHITECTURAL DESIGN  
LEON LANGEVOLD (PSAT) AND CO-WORKERS  
SACAP ST2025 SMAAT 31141  
1st FLOOR, EAGLES VIEW BUILDING  
5 PROGRESS STREET, GEORGE  
TEL: 083 310 346  
E-MAIL: leonard4477@gmail.com

Projek: **VOORGESTELDE WOONHUIS VIR G.LILJENFELD OP ERF 195-257 VICTORIAABAAI GEORGE**

Ontwerp: Designd: L.L.	Date: 9 Nov 2022
Geteken: Drawn: CL	Skale: 1:100
Nagagaan: Checked: L.L.	Oppervlakte: 523,10m²
Eienaar: Owner:	Plan No: CL 892/17



OPPERVLAKTES:	
WOONHUIS	192,88m <sup>2</sup>
WOONSTEL MET HOUTDEK	95,97m <sup>2</sup>
GASTE KAMER 1	36,00m <sup>2</sup>
GASTE KAMER 2	36,00m <sup>2</sup>
MOTORHUIS & STOOER	170,68m <sup>2</sup>
LOOPGANG	37,60m <sup>2</sup>
TOTAAL	523,10m <sup>2</sup>
ERF OPPERVLAKTE	29847,32m <sup>2</sup>
VOETSPOOR	523,10m <sup>2</sup>
DEKKNING	1,75%

PLAN No:

MUNICIPALITY GEORGE - MUNISIPALITEIT

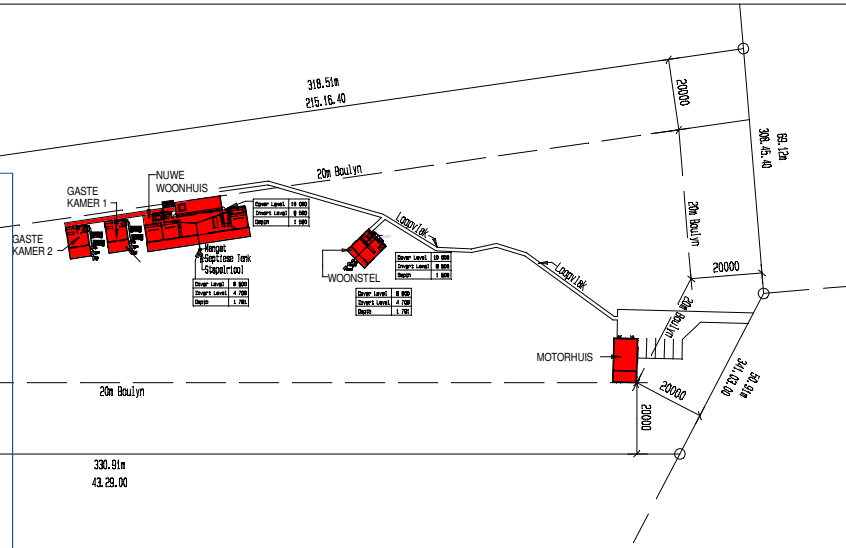
APPROVED/GOEDGEKEUR

DATUM/DATE: 2023-12-13

GEDEELTE 257 VAN DIE PLAAS KRAALBOSCH 195

BOUBEHEER BEAMTTE/BUILDING CONTROL OFFICIAL

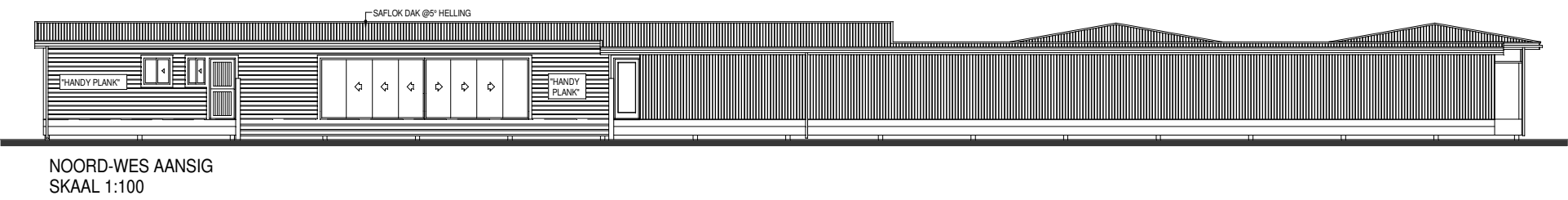
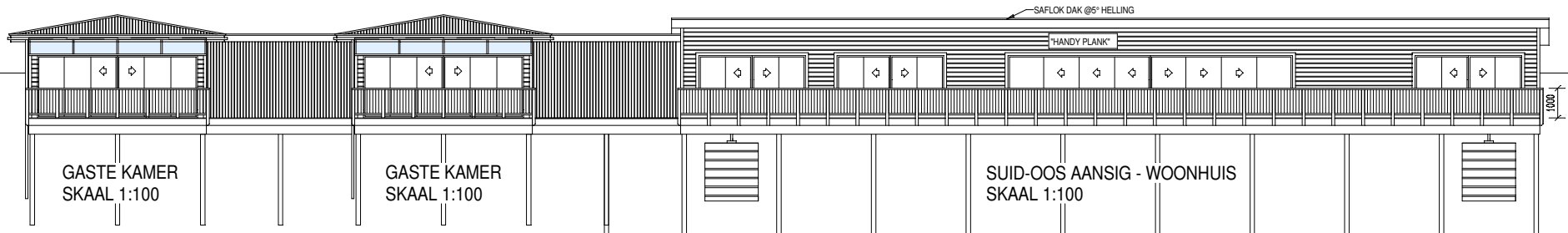
TERREINPLAN  
SKAAL 1:1000

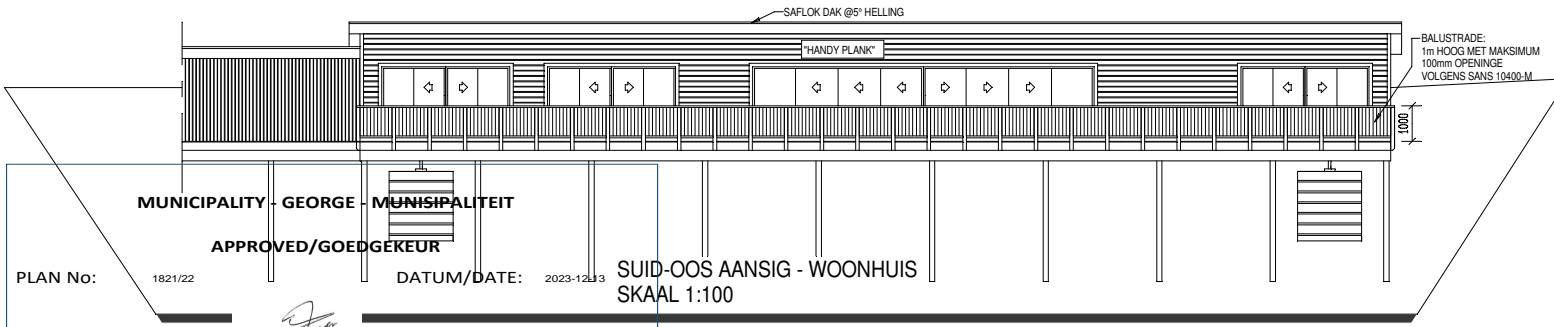


**LET WEL:**  
 ALLE MATERIAAL EN WERK MOET VOLGENS SANS 204, SANS 10400 EN BOUREGULASIES WEES. GEEN AFMETINGS MOET AFGESKAAAL WORD VAN TEKENING NIE SLEES MATES GETOON MOET GEBRUIK WORD. KONTRAKTEUR MOET SEKER MAAK DAT ALLE GEBOUE UITGESIT WORD VOLGENS PLAN, SODAT SOUWYNE NIE OORSGRY WORD NIE. KONTRAKTEUR MOET ALLE AFMETINGS EN VLAKKE NAGAAN OP TERREIN. ENIGE TEENSTRYDIGHED MOET ONDER DIE AANDAG VAN N.A.D. GEBRING WORD.  
 \*APPOINTED AS ARCHITECTURAL PROFESSIONAL TO WORK STAGE 4.1 (DOCUMENTATION TO ACHIEVE MUNICIPAL APPROVAL ONLY) NO LIABILITY WILL BE ACCEPTED FOR WORK DURING CONSTRUCTION. FULL LIABILITY AND RESPONSIBILITY WILL BE FOR THE OWNER OR BUILDER.\*

**N.A.D.**  
 NEW ARCHITECTURAL DESIGN  
 LEON LANGEVELDT (PSAT) AND CO-WORKERS  
 SACAP STUDIO | SAJAT 31141  
 1st FLOOR, EAGLES VIEW BUILDING  
 5 PROGRESS STREET, GEORGE  
 TEL: 082 3109 345  
 E-MAIL: leonard477@gmail.com

Project:	VOORGESTELDE WOONHUIS VIR G.LILIENFELD OP ERF 195-257 VICTORIABAAI GEORGE	
Ontwerp:	LL	Datum: 9 Nov 2022
Geteken:	CL	Skaal: 1:100
Nagegaan:	LL	Oppervlakte: 523,10m <sup>2</sup>
Geteken:	CL	Plan No: CL 8921/1





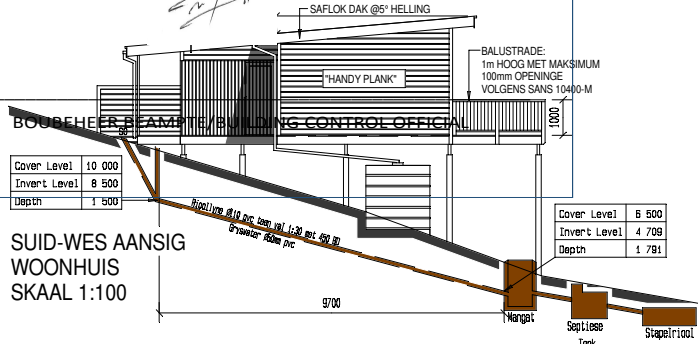
**LET WEL:**  
 ALLE MATERIAAL MOET SANS GOEDGEKEUR WEES. ALLE MATERIAAL EN WERK MOET VOLGENS SANS 204, SANS 10400 EN BOUREGLASIES WEES. GEEN AFMETINGS MOET AFGESKAAL WORD VAN TEKENING NIE SLEES MATES GETOON MOET GEBRUIK WORD. KONTRAKTEUR MOET SEKER MAAK DAT ALLE GEBOUE UITGESSIT WORD VOLGENS PLAN, SODAT SOUWLYNE NIE OORSHRY WORD NIE. KONTRAKTEUR MOET ALLE AFMETINGS EN VLAKKE NAGAAN OP TERREIN. ENIGE TEENSTRYDIGHED MOET ONDER DIE AANDA VAN N.A.D. GEBRINN WORD.  
 \*APPOINTED AS ARCHITECTURAL PROFESSIONAL TO WORK STAGE 4.1 (DOCUMENTATION TO ACHIEVE MUNICIPAL APPROVAL ONLY). NO LIABILITY WILL BE ACCEPTED FOR WORK DURING CONSTRUCTION. FULL LIABILITY AND RESPONSIBILITY WILL BE FOR THE OWNER OR BUILDER.\*

PLAN No: 1821/22  
 DATUM/DATE: 2023-12-13

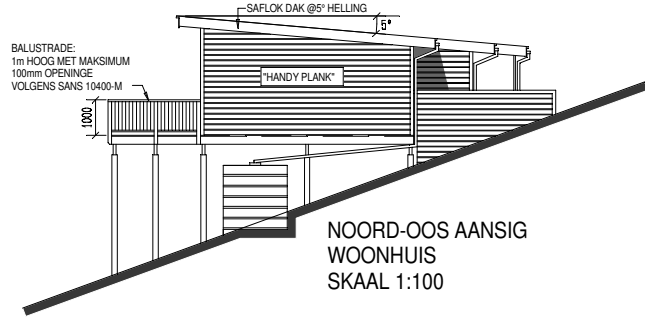
SUID-OOS AANSIG - WOONHUIS  
 SKAAL 1:100

**OPPERVLAKTES:**

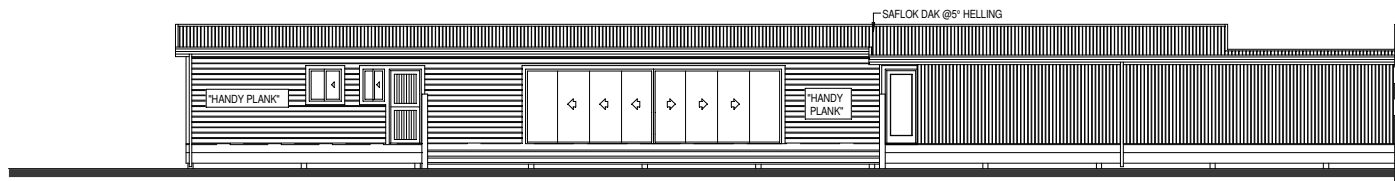
WOONHUIS	182,85m <sup>2</sup>
WOONSTEL MET HOUTDEK	59,97m <sup>2</sup>
GASTE KAMER 1	36,00m <sup>2</sup>
GASTE KAMER 2	36,00m <sup>2</sup>
MOTORHUIS & STOOP	170,88m <sup>2</sup>
LOOPGANG	37,80m <sup>2</sup>
TOTAAL	523,10m <sup>2</sup>
ERF OPPERVLAKTE	29847,32m <sup>2</sup>
VOETSPOR	523,10m <sup>2</sup>
DEK.DING	1,75%



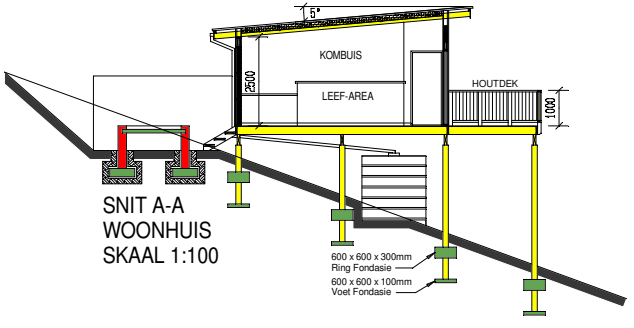
SUID-WES AANSIG  
 WOONHUIS  
 SKAAL 1:100



NOORD-OOS AANSIG  
 WOONHUIS  
 SKAAL 1:100



NOORD-WES AANSIG  
 WOONHUIS  
 SKAAL 1:100



SNIT A-A  
 WOONHUIS  
 SKAAL 1:100

**SPESIFIKASIES**

**PLATDAK:**  
 SAFLOK DAKBEDEKING @ 5° HELLING BEVESTIG OP 70x50mm DAKLATTE TEEN 900mm h-h, OP "SISALATION" OF SOORTGELYK BEVESTIG OP 150x50mm DAKBALKE TEEN MAKSIMUM 900mm h-h. BEVESTIG OP MURPLAAT EN AAN MUUR GEHEG MET KAPWAGERS VOLGENS SANS 10400-K. DAKKAP KONSTRUKSIE MOET DEUR SPESIALIS ONTWERP WORD VOLGENS SANS10400-L EN VOLGENS SANS 10400-T

**PLAFON:**  
 6,5mm VESELBORD PLAFON GEVESTIG AAN 38x38mm LATTE TEEN 400mm h-h. KROONLYSTE VOLGENS EIENAAR SE KEUSE. BEREI VOOR EN VERF MET TWEE LAE PVA VOLGENS EIENAAR SE KEUSE.HITTE ISOLASIE KONBERS MOET VOLGOEN AAN DIE VERISTES VAN SANS 10400-L, SANS 10400-T EN SANS 10177-5.

**GEUTE:**  
 SOOMLOSE ALUMINIUM "WATERTITE" GEUTE EN AFLEIPTYE VOLGENS SANS 10400-R.

**MURE:**  
 "HANDY PLANK" TEEN VERTIKALE SISALATION HF2(WATERDIGHTING) TEEN 6mm LAKHOUT TEEN 11x638mm GESKAAPTE SA DENNE RAAMWERK BINNEKANT VAN BUTEMURE: 12,5mm "RHINO BOARD" BEKLEDING TEEN BUTERAME. 12,5mm "RHINO BOARD" BEKLEDING TEEN GESKAAPTE 38x78mm SA DENNE RAAMWERK. ALLE LASTE MOET MET RHINOLITE GEPLIESTER EN AFGEWERK WORD. BINNEMURE TWEE LAE PVA. KLEUR VOLGENS EIENAAR SE KEUSE.

**VENSTERS:**  
 STANDARD ALUMINIUM VENSTERS VOLGENS SANS 10400-N EN BOUREGLASIES.

**DEURE:**  
 STANDARD ALUMINIUM DEURE VOLGENS SANS 10400-N EN BOUREGLASIES.

**STRUKTURELE WERK:**  
 ALLE STRUKTURELE WERK MOET STRENG VOLGENS INGENIEUR SE ONTWERP GEDOEN WORD. STRUKTURELE WERK MOET OOK DEUR INGENIEUR GOEDGEKUR WORD.

**BUIE TRAPPE**  
 BUIE TRAPPE WAAR NODIG. POSISIE EN HOEVEELHEDE MOET OP TERREIN BEPAAL WORD. LOOPSTUKKE 275mm, STYGSTUKKE 175mm.

**HANDRELING & BALUSTRADE:**  
 BALUSTRADE 1m HOOG MET MAKSIMUM 100mm OPENINGE VOLGENS SANS 10400-M.

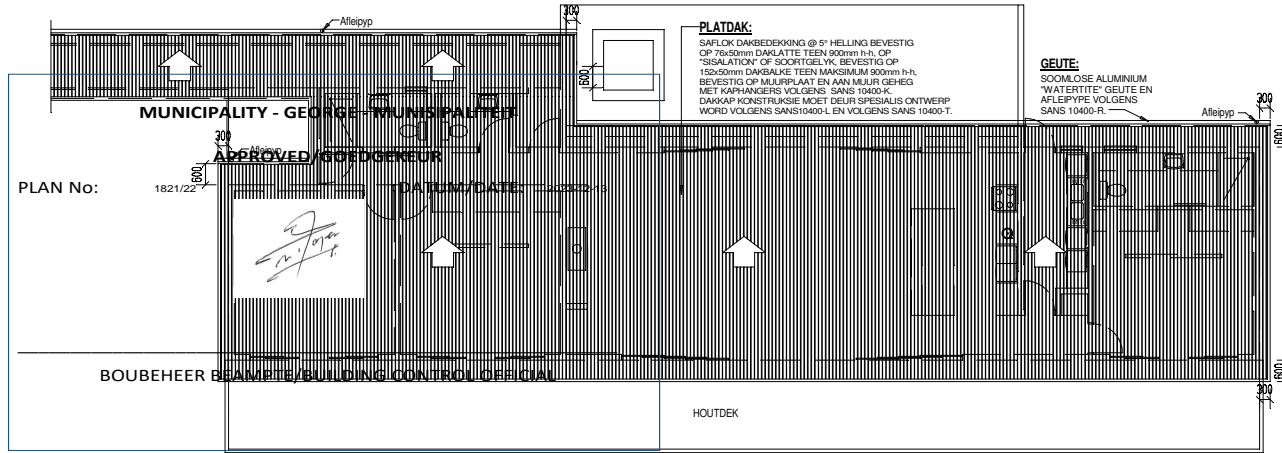
**HOUT DEK:**  
 22mm DEKPLANK MET 5mm SPASIES BEVESTIG OP 228mm x 53mm VLOERBALKE @ 450mm h-h BEVESTIG OP 297mm x 76mm DRABALK BEVESTIG OP a 150mm BEHANDELDE PALE VOLGENS INGENIEUR. HOUTTRAP VOLGENS SANS 10400-M. HOUTKONSTRUKSIE VOLGENS SANS 10400-B, SANS 10400-J EN SANS 10400-H.

**VLOER:**  
 22x102mm T&G VLOERPLANK BEVESTIG OP 228mm x 53mm VLOERBALKE @ 450mm h-h BEVESTIG OP 297mm x 76mm DRABALKE BEVESTIG OP a 150mm BEHANDELDE PALE VOLGENS INGENIEUR EN SANS 10400-J.

**N.A.D.**  
 NEW ARCHITECTURAL DESIGN  
 LEON LANGEVELDT (PSAT) AND CO-WORKERS  
 SACAP 572/25/ SMAAT 31141  
 1st FLOOR, EAGLES VIEW BUILDING  
 6 PROGRESS STREET, GEORGE  
 TEL: 083 3109 346  
 E-MAIL: leonard4477@gmail.com

Projek: **VOORGESTELDE WOONHUIS**  
 Vir G.LILJENFELD  
 OP ERF 195-257  
 VICTORIABAAI  
 GEORGE

Ontwerp:	LL	Date:	9 Nov 2022
Disgned:	LL	Skal:	1:100
Geteken:	CL	Oppervlakte:	523,10m <sup>2</sup>
Drawn:	CL	Area:	
Nagaan:	LL	Plan No:	CL 8921/4
Checked:	LL		
Beoor:			
Owner:			



DAKPLAN - WOONHUIS  
SKAAL 1:100

**LET WEL:**

ALLE MATERIAAL MOET SANS GOEDGEKEUR WEES. ALLE MATERIAAL EN WERK MOET VOLGENS SANS 204, SANS 10400 EN BOUREGULASIES WEES. GEEN AFMETINGS MOET AFGESKAAL WORD VAN TEKENING NIE SLEES MATES GETOON MOET GEBRUIK WORD. KONTRAKTEUR MOET SEKER MAAK DAT ALLE GEBOUE UITGESTI WORD VOLGENS PLAN, SODAT SOLLYNE NIE OORSRY WORD NIE. KONTRAKTEUR MOET ALLE AFMETINGS EN VLAKKE NAGAAN OP TERREIN. ENIGE TEENSTRYDIGHED MOET ONDER DIE KANDAS VAN N.A.D. GEBRUIK WORD.

\*APPOINTED AS ARCHITECTURAL PROFESSIONAL TO WORK STAGE 4.1 DOCUMENTATION TO ACHIEVE MUNICIPAL APPROVAL ONLY. NO LIABILITY WILL BE ACCEPTED FOR WORK DURING CONSTRUCTION. FULL LIABILITY AND RESPONSIBILITY WILL BE FOR THE OWNER OR BUILDER.\*

**OPPERVLAKTES:**

WOONHUIS	162,85m <sup>2</sup>
WOONSTEL MET HOUTDEK	68,97m <sup>2</sup>
GASTE KAMER 1	36,00m <sup>2</sup>
GASTE KAMER 2	36,00m <sup>2</sup>
MOTORHUIS 6 STOOR	170,68m <sup>2</sup>
LOOPSANG	37,60m <sup>2</sup>
TOTAAL	523,10m <sup>2</sup>
ERF OPPERVLAKTE	2887,32m <sup>2</sup>
VOETSPOR	523,10m <sup>2</sup>
DEKking	1,72%

STORMWATER NOTA:  
ALLE STORMWATER VOLGENS  
INGENIEUR EN SANS 10400-R

**RIOOL VOLGENS SANS 10400-P**

1a	Inspeksieoog
6a	Streekoog
mg	Mangat
mep	Munisipale aansluitpunt
vp	Ventilasieoep
rp	Rioolput

Rioollynne  $\varnothing$  110 pvc teen  
val 1:40 met 450 BD  
Grywater  $\varnothing$  50mm pvc

**ELEKTRIESE LEGENDE**

	DUBBEL MUURPROP 300mm HOOG
	PLAFONLIG
	MUURLIG WATERDIG INDIEN BUITELIG
	LIGSKAKELLAAR: 1150mm BO AVV
	DISTRIBUSIE BORD
	TV PUNT
	200 LITER SOLAR GEYSER

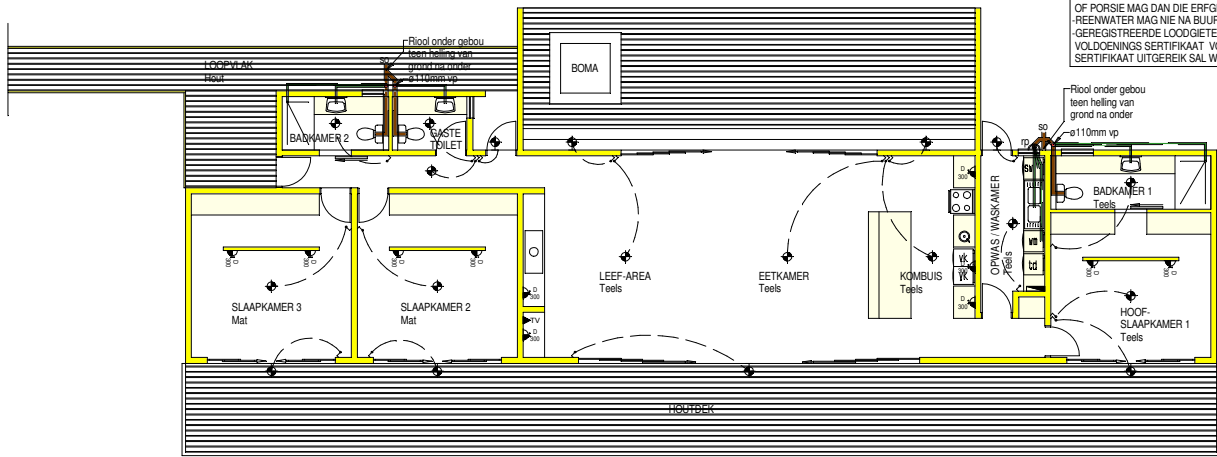
**N.A.D.**  
NEW ARCHITECTURAL DESIGN  
LEON LANGEVELD (PSAT)  
AND CO-WORKERS  
SAGAP ST2125 SMAAT 31141  
1st FLOOR, EAGLES VIEW BUILDING  
5 PROGRESS STREET, GEORGE  
TEL: 083 318 346  
E-MAIL: leonard447@gmail.com

Projek:  
Project: **VOORGESTELDE WOONHUIS  
VIR G.LILIENFELD  
OP ERF 195-257  
VICTORIABAAI  
GEORGE**

Ontwerp: Designed:	LL	Date: Date:	9 Nov 2022
Geteken: Drawn:	CL	Skaal: Scale:	1:100
Nagegaan: Checked:	LL	Oppervlakte: Area:	523,10m <sup>2</sup>
Beoordeel: Owner:		Plan No:	CL 8921/3

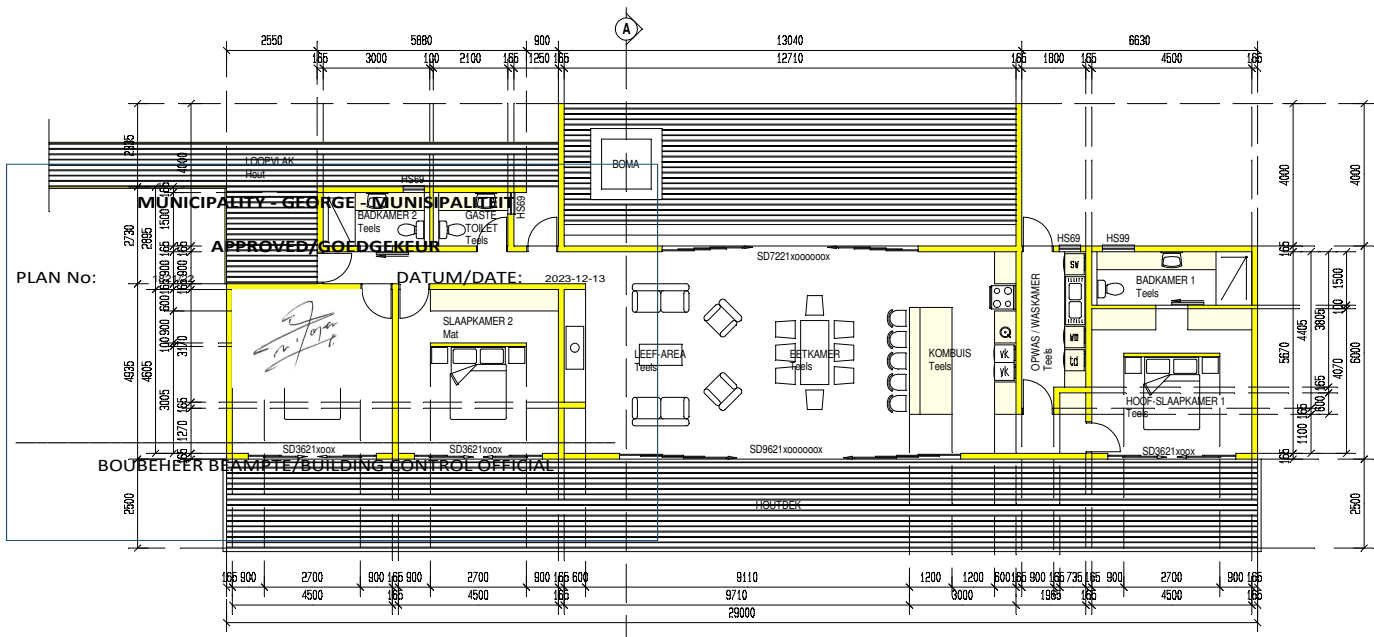
LOODGIETERS NOTA:  
ALLE LOODGIETER NARE VOLGENS  
SANS 10252-1 EN SANS GENAARMERK

LOODGIETERS NOTA:  
-DREINERING INSTALLASIE MOET VOLDOEN AAN SANS 10400-P  
-DREINERING INSTALLASIE ONDER BOUWERK MOET GEIINSTALLEER  
WORD IN TERME VAN SANS 10400-P (4.19.4)  
-DREINERING INSTALLASIE ONDER BOUWERK MOET BESKERM  
WORD IN TERME VAN SANS 10400-P (4.22.2) GEEN STRUKTUUR  
OF PORSIE MAG DAN DIE ERFGRENS OORSKRY NIE  
-REENWATER MAG NIE NA BUUR ERF AFGELEI WORD NIE  
-GEPREGISTREERDE LOODGIETER EN ELEKTRISIEN MOET N  
VOLDOENINGS SERTIFIKAAT VOORSIEN ALVORENS OKKUPASIE  
SERTIFIKAAT UITGEREIK SAL WORD



ELEKTRIES EN RIOOLPLAN - WOONHUIS  
SKAAL 1:100



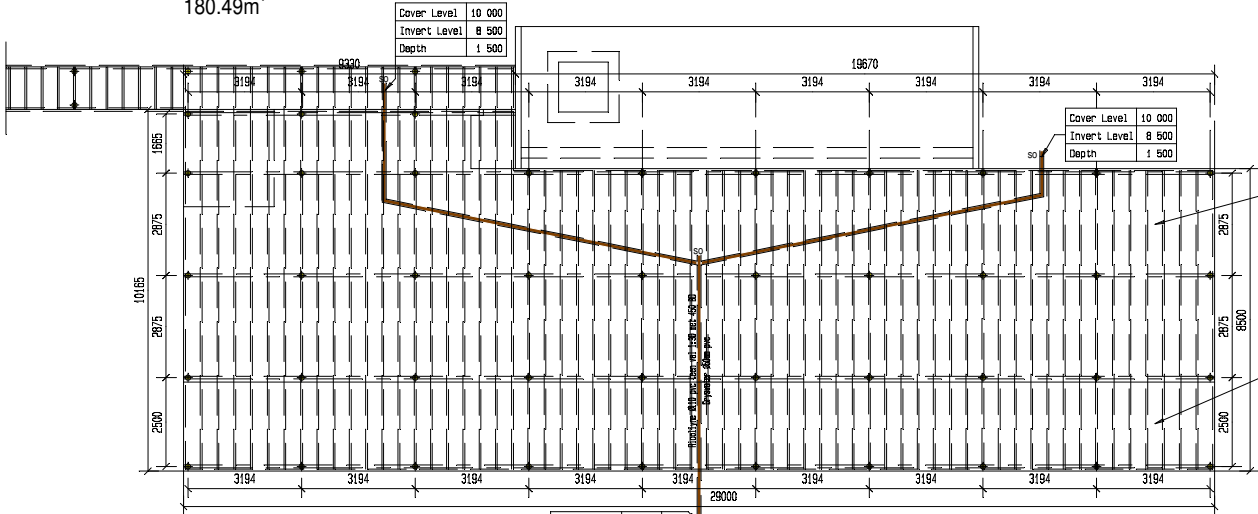


**LET WEL:**  
 ALLE MATERIAAL MOET SANS GOEDGEKEUR WEES. ALLE MATERIAAL EN WERK MOET VOLGENS SANS 204, SANS 10400 EN BOUREGLASIES WEES. GEEN AFMETINGS MOET AFGESKAAL WORD VAN TEKENING NIE SLEES MATES GETOON MOET GEBRUIK WORD. KONTRAKTEUR MOET SEKER MAAK DAT ALLE GEBOUE UITGESIT WORD VOLGENS PLAN, SODAT SOUWYNE NIE OORSHRY WORD NIE. KONTRAKTEUR MOET ALLE AFMETINGS EN VLAKKE NAGAAN OP TERREIN. ENIGE TEENSTRYDIGHED MOET ONDER DIE AANDAAS VAN N.A.D. GEBRINK WORD.  
 \*APPOINTED AS ARCHITECTURAL PROFESSIONAL TO WORK STAGE 4.1 (DOCUMENTATION TO ACHIEVE MUNICIPAL APPROVAL ONLY). NO LIABILITY WILL BE ACCEPTED FOR WORK DURING CONSTRUCTION. FULL LIABILITY AND RESPONSIBILITY WILL BE FOR THE OWNER OR BUILDER.\*

**OPPERVLAKTES:**

WOODHUIS	182,85m <sup>2</sup>
WOODSTEL MET HOUTDEK	59,07m <sup>2</sup>
GASTE KAMER 1	36,00m <sup>2</sup>
GASTE KAMER 2	36,00m <sup>2</sup>
MOTORHUIS & STUOR	170,88m <sup>2</sup>
LOOPGANG	37,80m <sup>2</sup>
TOTAAL	523,10m <sup>2</sup>
ERF OPPERVLAKTE	29947,32m <sup>2</sup>
VOETSPOR	523,10m <sup>2</sup>
DEKING	1,76%

VLOERPLAN - WOONHUIS  
 SKAAL 1:100  
 180.49m<sup>2</sup>



**HOUTVLOER:**  
 22x110mm T&G VLOERPLANK BEVESTIG OP 228mm x 50mm VLOERBALKE @ 450mm h-h BEVESTIG OP 297mm x 76mm DRABALKE BEVESTIG OP @150mm BEHANDELDE PALE VOLGENS INGENIEUR EN SANS 10400-J.

**HOUTDEK:**  
 22mm DEKPLANK MET 5mm SPASIES BEVESTIG OP 228mm x 50mm VLOERBALKE @ 450mm h-h BEVESTIG OP 297mm x 76mm DRABALKE BEVESTIG OP @150mm BEHANDELDE PALE VOLGENS INGENIEUR. HOUTTRAP VOLGENS SANS 10400-M. HOUTKONSTRUKSIE VOLGENS SANS 10400-B, SANS 10400-J EN SANS 10400-H.

VLOER BALKE-UITLEG  
 WOONHUIS  
 SKAAL 1:100

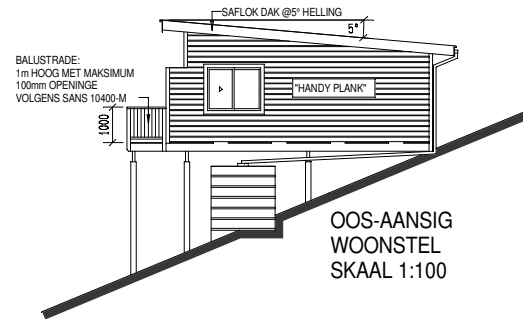
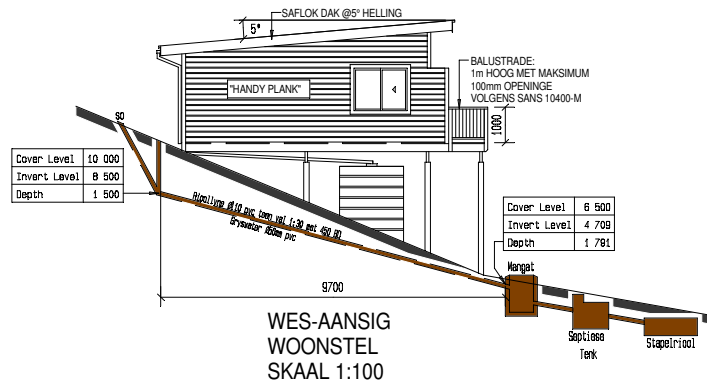
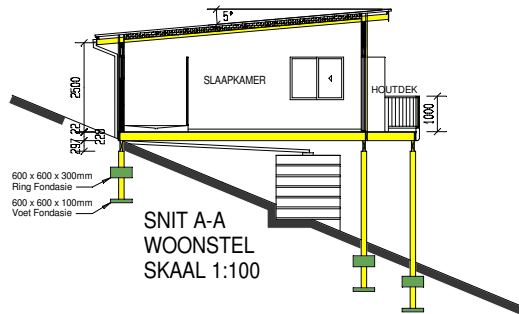
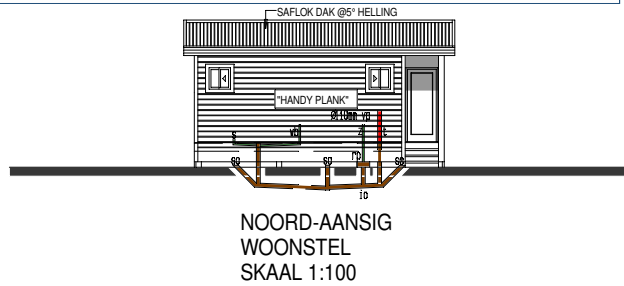
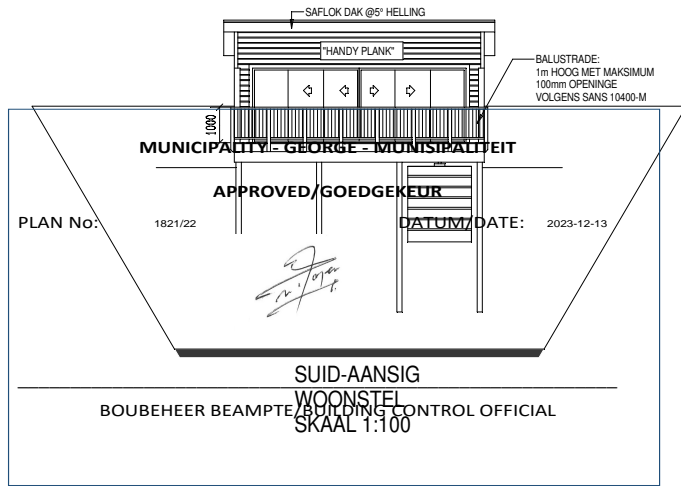
Cover Level	6 500
Invert Level	4 709
Depth	1 791

Mangot  
 Septiese Tokk  
 Stapel riool

**N.A.D.**  
 NEW ARCHITECTURAL DESIGN  
 LEON LANGEVELDT (PSAT) AND CO-WORKERS  
 SACAP 572/25/ SMAAT 31141  
 1st FLOOR, EAGLES VIEW BUILDING  
 5 PROGRESS STREET, GEORGE  
 TEL: 083 310 340  
 E-MAIL: leonard447@gmail.com

Projek: **VOORGESTELDE WOONHUIS VIR G.LILIENFELD OP ERF 195-257 VICTORIABAAI GEORGE**

Ontwerp: Designed:	L.L.	Datum: Date:	9 Nov 2022
Geteken: Drawn:	CL	Skaal: Scale:	1:100
Nagegaan: Checked:	L.L.	Oppervlakte: Area:	523,10m <sup>2</sup>
Etter: Owner:		Plan No:	CL 8921/2



**LET WEL:**  
 ALLE MATERIAAL EN WERK MOET VOLGENS SANS 204, SANS 10400 EN BOUREGULASIES WEES. GEEN AFMETINGS MOET AFGESKAAL WORD VAN TEKENING NIE SLEES MATES GETOON MOET GEBRUIK WORD. KONTRAKTEUR MOET SEKER MAAK DAT ALLE GEBOUE UITGESTI WORD VOLGENS PLAN, SODAT SOLLYNIE NIE OORSHRY WORD NIE. KONTRAKTEUR MOET ALLE AFMETINGS EN VLAKKE NAGAAN OP TERREIN. ENIGE TEENSTRYDIGHED MOET ONDER DIE AANDA VAN N.A.D. GEBRINK WORD.  
 \*APPONTED AS ARCHITECTURAL PROFESSIONAL TO WORK STAGE 4.1 DOCUMENTATION TO ACHIEVE MUNICIPAL APPROVAL ONLY. NO LIABILITY WILL BE ACCEPTED FOR WORK DURING CONSTRUCTION. FULL LIABILITY AND RESPONSIBILITY WILL BE FOR THE OWNER OR BUILDER.\*

OPPERVLAKTES:	
WOODHUIS	182,85m <sup>2</sup>
WOODSTEL MET HOUTDEK	59,97m <sup>2</sup>
GASTE KAMER 1	36,00m <sup>2</sup>
GASTE KAMER 2	36,00m <sup>2</sup>
MOTORHUIS & STUOR	170,88m <sup>2</sup>
LOOPGANG	37,80m <sup>2</sup>
TOTAAL	523,10m <sup>2</sup>
ERF OPPERVLAKTE	29847,32m <sup>2</sup>
VOETSPOR	523,10m <sup>2</sup>
DEKING	1,76%

**SPESIFIKASIES**

**PLATDAK:**  
 SAFLOK DAKBEDEKING @ 5° HELLING BEVESTIG OP 76x50mm DAKLATTE TEEN 900mm h-h, OP "SISALATION" OF SCOORTGELYK BEVESTIG OP 150x50mm DRABALKE TEEN MAKSIMUM 900mm h-h BEVESTIG OP MULURPLAAT EN AAN MULUR GEHEG MET KAPHANGERS VOLGENS SANS 10400-K.  
 DAKKAP KONSTRUKSIE MOET DEUR SPESIALIS ONTWERP WORD VOLGENS SANS 10400-L EN VOLGENS SANS 10400-T

**PLAFON:**  
 6.5mm VESELBORD PLAFON GEVESTIG AAN 38x38mm LATTE TEEN 400mm h-h, KROONLAFTE VOLGENS EIENAAR SE KEUSE. BEREI VOOR EN VERP MET TWEE LAE PVA VOLGENS EIENAAR SE KEUSE. HITTE ISOLASIE KOMBERS MOET VOLDOEN AAN DIE VEREISTES VAN SANS 10400-L, SANS 10400-T EN SANS 10177-5.

**GEUTE:**  
 SOOMLOSE ALUMINIUM "WATERTITE" GEUTE EN AFLEIPPIE VOLGENS SANS 10400-R.

**MURE:**  
 "HANDY PLANK" TEEN VERTIKALE SISALATION HF2(WATERDIGTING) TEEN 6mm LAAGHOUT TEEN 114x38mm GESKAAFTE SA DENNE RAAMWERK.  
 BINNEKANT VAN BUITEMURE: 12.5mm "RHINO BOARD" BEKLEDING TEEN BUITERAME.  
 12.5mm "RHINO BOARD" BEKLEDING TEEN GESKAAFDE 38x76mm SA DENNE RAAMWERK.  
 ALLE LASTE MOET MET RHINOLITE GEPLASTEER EN AFGEWERK WORD. BINNEMURE TWEE LAE PVA. KLEUR VOLGENS EIENAAR SE KEUSE.

**VENSTERS:**  
 STANDAARD ALUMINIUM VENSTERS VOLGENS SANS 10400-N EN BOUREGULASIES.

**DEURE:**  
 STANDAARD ALUMINIUM DEURE VOLGENS SANS 10400-N EN BOUREGULASIES.

**STRUKTURELE WERK:**  
 ALLE STRUKTURELE WERK MOET STRENG VOLGENS INGENIEUR SE ONTWERP GEDOEN WORD. STRUKTURELE WERK MOET OOK DEUR INGENIEUR GOEDGEUR WORD.

**BUIE TRAPPE:**  
 BUIE TRAPPE WAAR NODIG. POSISIE EN HOEVEELHED MOET OP TERREIN BEPAAL WORD.  
 LOOPSTUKKE 275mm, STYGSTUKKE 175mm.

**HANDERELING & BALUSTRADE:**  
 BALUSTRADE 1m HOOG MET MAKSIMUM 100mm OPENINGE VOLGENS SANS 10400-M.

**HOUT DEK:**  
 22mm DEKPLANKE MET 6mm SPASIES BEVESTIG OP 228mm x 50mm VLOERBALKE @ 450mm h-h BEVESTIG OP 297mm x 76mm DRABALK BEVESTIG OP 150mm BEHANDELDE PALE VOLGENS INGENIEUR. HOUTTRAP VOLGENS SANS 10400-M.  
 HOUTKONSTRUKSIE VOLGENS SANS 10400-B, SANS 10400-J EN SANS 10400-H.

**VLOER:**  
 22x103mm T&G VLOERPLANKE BEVESTIG OP 228mm x 50mm VLOERBALKE @ 450mm h-h BEVESTIG OP 297mm x 76mm DRABALK BEVESTIG OP 150mm BEHANDELDE PALE VOLGENS INGENIEUR EN SANS 10400-J.

**N.A.D.**  
 NEW ARCHITECTURAL DESIGN

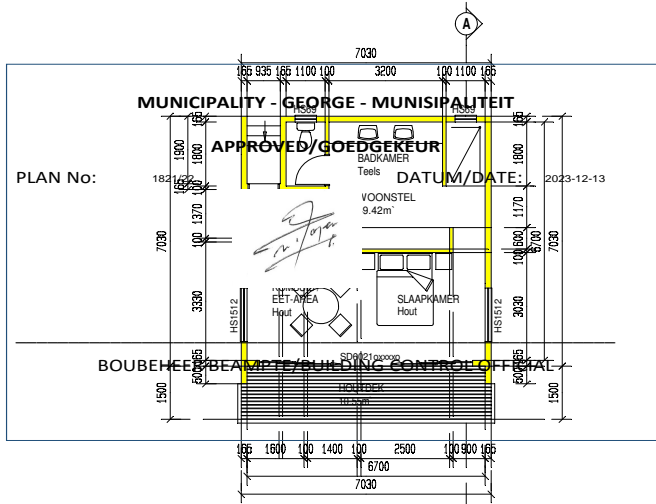
LEON LANGEVELDT (PSAT) AND CO-WORKERS  
 SACAP 572/25/ SMAT 31141  
 1st FLOOR, EAGLES VIEW BUILDING  
 6 PROGRESS STREET, GEORGE  
 TEL: 083 3109 345  
 E-MAIL: leonard4477@gmail.com

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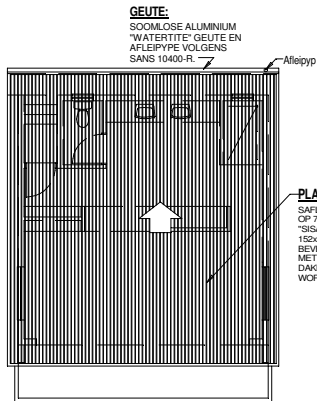
Projek:  
 Project: **VOORGESTELDE WOODHUIS VIR G.LILIENFELD OP ERF 195-257 VICTORABAAI GEORGE**

---

Ontwerp: L.L.	Datum: 9 Nov 2022
Geteken: CL	Skaal: 1:100
Negegaan: L.L.	Oppervlakte: 523,10m <sup>2</sup>
Geteken: L.L.	Area: 523,10m <sup>2</sup>
Ontwerp: L.L.	Plan No: CL 8921/6

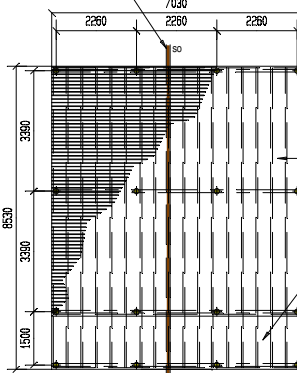


**VLOERPLAN - WOONSTEL**  
 SKAAL 1:100  
 59.97m<sup>2</sup>



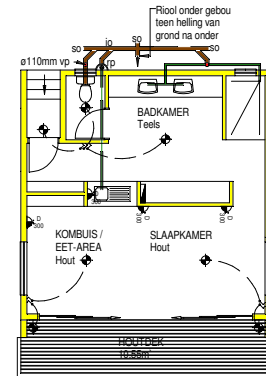
**DAKPLAN - WOONSTEL**  
 SKAAL 1:100

Cover Level	10 030
Invert Level	8 500
Depth	1 500



Cover Level	6 500
Invert Level	4 709
Depth	1 791

**VLOER BALKE-UITLEG**  
 WOONSTEL  
 SKAAL 1:100



**ELEKTRIES EN RIOOLPLAN**  
 WOONSTEL  
 SKAAL 1:100

**LOODGIETERS NOTA:**  
 ALLE LOODGIETER WARE  
 VOLGENS SANS 10252-1  
 EN SABS GENAAMERK

**LOODGIETERS NOTA:**  
 -DREINERING INSTALLASIE MOET  
 VOLDOEN AAN SANS 10400-P  
 -DREINERING INSTALLASIE ONDER  
 BOUWERK MOET GEINSTALLEER  
 WORD IN TERME VAN SANS 10400-P (4.19.4)  
 -DREINERING INSTALLASIE ONDER  
 BOUWERK MOET BESKERM WORD  
 IN TERME VAN SANS 10400-P (4.22.2)  
 GEEN STRUKTUUR OF PORSIE MAG  
 DAN DIE ERFGRENS OORSKRY NIE  
 -REENWATER MAG NIE NA BUUR  
 ERF AFGELEI WORD NIE  
 -GEREGISTREERDE LOODGIETER  
 EN ELEKTRISIEEN MOET N  
 VOLDOENINGS SERTIFIKAAT VOORSIEN  
 ALVORENS OKKUPASIE SERTIFIKAAT  
 UITGEREIK SAL WORD

**LET WEL:**

ALLE MATERIAAL MOET SABS GOEDGEKEUR WEES.  
 ALLE MATERIAAL EN WERK MOET VOLGENS SANS 204,  
 SANS 10400 EN BOUREGULASIES WEES.  
 GEEN AFMETINGS MOET AFGESKAAL WORD VAN  
 TEKENING NIE SLESS MATES GETOON MOET GEBRUIK  
 WORD. KONTRAKTEUR MOET SEKER MAAK DAT ALLE  
 GEBOUE UITGESTI WORD VOLGENS PLAN, SODAT  
 SOUWLYNE NIE OORSKRY WORD NIE. KONTRAKTEUR  
 MOET ALLE AFMETINGS EN VLAKKE NAGAAN OP  
 TERREIN. ENIGE TEENSTRYDIGHED MOET ONDER DIE  
 AANDA VAN N.A.D. GEBRING WORD.  
 \*APPOINTED AS ARCHITECTURAL PROFESSIONAL  
 TO WORK STAGE 4.1 DOCUMENTATION TO ACHIEVE  
 MUNICIPAL APPROVAL ONLY. NO LIABILITY WILL  
 BE ACCEPTED FOR WORK DURING CONSTRUCTION.  
 FULL LIABILITY AND RESPONSIBILITY WILL BE FOR  
 THE OWNER OR BUILDER.\*

**OPPERVLAKTES:**

WOONHUIS	182.85m <sup>2</sup>
WOONSTEL MET HOUTDEK	58.97m <sup>2</sup>
GASTE KAMER 1	36.00m <sup>2</sup>
GASTE KAMER 2	36.00m <sup>2</sup>
MOTOROLIS & STOOR	170.69m <sup>2</sup>
LOOPWEG	37.60m <sup>2</sup>
TOTAAL	523.10m <sup>2</sup>
ERF OPPERVLAKTE	23847.32m <sup>2</sup>
VOETSPOOR	523.10m <sup>2</sup>
BEKING	1.75%

**STORMWATER NOTA:**  
 ALLE STORMWATER VOLGENS  
 INGENIEUR EN SANS 10400-R

**RIOOL VOLGENS SANS 10400-P**

ia	Inspeksieoog
sa	Steekkoog
mg	Mangot
mep	Munisipale aansluit punt
vp	Ventilasiepyp
rp	Rioolput

Rioollynne Ø 110 pvc teen  
 val 1:30 met 450 BD  
 Gryswater Ø 50mm pvc

**ELEKTRIESE LEGENDE**

	DUBBEL MUURPROP 300mm HOOG
	PLAFONDIG
	MUURIG WATERDIG INDIEN BUITELIG
	LIGSKAKELLAAR: 1150mm BO AVV
	DISTRIBUSIE BORD
	TV PUNT
	200 LITER SOLAR GEYSER

**N.A.D.**  
 NEW ARCHITECTURAL DESIGN  
 LEON LANGEVELDT (PSAT)  
 AND CO-WORKERS  
 SACAP ST2125/25 SAAT 31141  
 1st FLOOR, EAGLES VIEW BUILDING  
 5 PROGRESS STREET, GEORGE  
 TEL: 083 310 246  
 E-MAIL: leonard4477@gmail.com

Projek:  
 Project: **VOORGESTELDE WOONHUIS**  
**VIR G.LILIENFELD**  
**OP ERF 195-257**  
**VICTORIABAAI**  
**GEORGE**

Ontwerp:	LL	Date:	9 Nov 2022
Geteken:	CL	Skala:	1:100
Negegaan:	LL	Oppervlakte:	523.10m <sup>2</sup>
Beheer:		Plan No:	CL 8921/5

Mr. Gustav Lilienfeld  
Number 582 Lake Road  
Wilderness East  
**GEORGE**  
6530

[E-MAIL gaigherchristo@gmail.com](mailto:gaigherchristo@gmail.com)

**APPLICATION FOR AN OSCA PERMIT: DISTURBANCE OF VEGETATION AND EARTHWORKS ON PORTION 257 OF FARM KRAAIBOSCH 195, DIVISION GEORGE**

The abovementioned bears reference.

**A. DESCRIPTION OF THE ACTIVITY**

The proposed activity entails the building of a single residential dwelling, two guest rooms, a flat and a garage and driveway on Portion 257 of Farm Kraaibosch 195, Division George currently a vacant property. There will be a total of **878 m<sup>2</sup> of vegetation removed** and an expected **28 m<sup>3</sup> of earthworks** around the dwelling to accommodate the building of the dwelling (from OSCA application).

Activities that will be triggered relate to:

1. Earthworks, through excavation, moving of soil, sand or rock;
2. Disturbance of vegetation, by cutting and the removal of vegetation (other than protected forest and trees).

**B. PURPOSE OF APPLICATION**

To ensure that the management of various actions in the construction of the dwelling together with environmental impacts associated with the building are managed and are reduced to the minimum, thus protecting the surrounding sensitive environment.

**C. APPLICANT**

Mr. Gustav Lilienfeld  
Number 582 Lake Road  
Wilderness East  
**GEORGE**  
6530

**D. CONSULTANT**

Christo Gaigher  
CODEV CC  
P.O. Box 100  
WILDERNESS  
6560

**E. SITE VISIT**

Portion 257 of Kraaibosch 195, Division George is situated on slopes overlooking the valley of Victoria Bay. and comprises 2,9849 ha in extent, zoned as Agricultural Zone II. The entire property comprises very steep slopes facing south-west, and it is therefore of paramount importance that all slopes are stabilized to preventing slope collapse to the West.

A site visit was done on the 19<sup>th</sup> of October 2022 to determine the environmental parameters on the property and a desktop study was used to ground-truth the environmental layers present. The vegetation on the property using Vegmap (2018) comprises Garden Route Shale Fynbos (Status **Endangered**). Using Vlok's Vegmap data which is much more finely scaled for the Garden Route area, the vegetation of the erf is classified as Wolwedans Thicket Fynbos. Vegetation observed on site comprises thicket species such as *Buddleja saligna*, (False Olive), *Diospyros dichrophylla*, (Poison Star-apple), *Searsia lucida*, (Glossy Current Rhus), *Pittosporum viridiflorum* (Cheesewood), and *Sideroxylon inerme* trees (Milkwood), are present. **Critical Biodiversity Areas** (CBA1; terrestrial) are present on the entire property. The control of run-off water due to the steep slopes is especially important in the case of this property.

The vegetation on all surrounding properties comprise large tracts of pristine vegetation which form corridors for wildlife to utilize. Properties in this area have single dwellings and no farming is practiced.

Due to the owners of the property exercising developmental rights by constructing a primary dwelling unit, the natural habitat will be lost however, Duty of Care principles dictate that any remaining habitat outside of the development footprint is retained and conserved in a natural state, while all alien invasive species that may be present will be controlled over time

#### F. PUBLIC PARTICIPATION PROCESS

Relevant interested and affected parties (IAP's) have delivered their comments on the application and no objections have been lodged. The following were approached for comments:

- CapeNature

#### G. COMMENTS ON THE OSCA APPLICATION

Concerns raised by the I&AP's is summarized as follows:

- (i). **CapeNature**: notes that according to the Western Cape Biodiversity Spatial Plan (WCBSP) entire property comprises Critical Biodiversity Areas (CBA 1: Terrestrial). Minimal habitat loss is acceptable and ecological functioning must not be compromised and remaining vegetation needs to be conserved. The Kleinbaai Private Nature Reserve abuts the southern boundary of the property. A non-perennial river flows from 257/195 and along the southern boundary of the property. The property falls within the National Strategic Water Source Area for surface water for the Outeniqua region and serves as a Watercourse protection for the South Eastern Coastal Belt and water source protection for the Kaaimans. The vegetation is Garden Route Shale Fynbos which is listed as Vulnerable. Indigenous forest vegetation must not be disturbed or removed without obtaining comments from the Department of Forestry, Fisheries and Environment (DFFE). If fences are to be erected, then these should be animal permeable. These fences must be visible to wildlife, including birds, by fitting reflective or colourful weather-resistant flags (e.g., aluminium, or plastic strips) to the wire. An adequate firebreak must be prepared and maintained around the property to reasonably prevent the spread of unwanted fires in the area. Furthermore, the owner, if not registered yet, should apply for membership with the Southern Cape Fire Protection Association (SCFPA). Any action that causes wilful degradation of the environment may therefore constitute a breach of this Duty of Care and the penal provisions of NEMA will apply. An Environmental Control Officer (ECO) must be appointed to ensure environmental issues are dealt with and identifying any harmful activities to the environment.

All comments and concerns noted have been addressed satisfactorily by the applicant. The application is **approved with conditions (Section J)**.

#### H. DECISION

As authorized thereto by virtue of Sub-Delegation 4.5.8 from the Municipal Manager, dated 08 September 2022, and in terms of Section 21 the Environmental Conservation Act, 1989 (Act 73 of 1989) regarding identified activities concerning the Outeniqua Sensitive Coastal Area Extension, the George Municipality (as defined in terms of Government Gazette No. R. 880 dated 1996 Environment

Conservation Act, 1998 (Act No. 73 of 1989): Identification of activities which may have a detrimental effect on the environment: Outeniqua Sensitive Coastal Area Extension), hereby issue a **permit with conditions (Section J)** for the execution of the activities as described above on Portion 257 of Kraaibosch 195.

This OSCA permit does not constitute permission to cut protected species. Such permission must be obtained from Department of Forestry prior to commencement.

**Note:** This OSCA does not constitute approval of departure from the zoning scheme parameters in respect of height. The building plan will need to be revised to satisfy the development parameters in terms of the zoning scheme.

**I. KEY FACTORS AFFECTING THIS DECISION**

- Primary development rights are being exercised by the owner and proposed activities will take place with the least impact to the surrounding environment.
- There will be no removal of endangered or critically endangered or protected vegetation, protected trees and protected coastal vegetation.

**J. CONDITIONS OF THE PERMIT**

The applicant must adhere to but is not limited to the following:

1. This permit is only applicable to the proposed activities as per the OSCA application and shall not be construed to comply with any other requirement or legal provision. (approved plans pursuant to this permit attached as **Addendum A**.)
2. The applicant shall be responsible for ensuring compliance with the conditions of the permit by any person acting on his/her behalf, including employees, the consultant, the contractor and any person rendering a service to the applicant in relation to the activity.
3. **Municipal officials shall be given access to the property/ site referred to above to assess and monitor compliance with the conditions of this permit at all reasonable times.**
4. **A copy of this permit must be kept on site for the duration of the authorized activity / activities and be presented to municipal officials when needed.**
5. No substantive deviations from this OSCA permit relating to additional earthworks or clearing may take place prior to a revised OSCA application being submitted to the George Municipality for consideration and approval. Deviations will be determined internally within the planning department. No encroaching into adjacent natural habitats will be tolerated.
6. Any other or new activities on the site are subjected to the OSCA Regulations in terms of Government Notice No GN. R. 880 of 1996 and is it the owner/s responsibility to ensure compliance with these regulations.
7. The applicant must appoint an Environmental Control Officer (ECO), who must be knowledgeable with regard to site management, and who must for the duration of construction oversee the clearing, construction and post construction rehabilitation of the site. It is recommended that a staff member of the company doing the application be appointed as ECO for the project as they are familiar with all aspects of the application.
8. The applicant must provide the George Municipality with an appointment letter for the ECO prior to any activities commencing on site.
9. The ECO shall monitor compliance with the OSCA permit conditions and report any contraventions to the applicant and the responsible enforcement authority.
10. The ECO shall provide the George Municipality with a post-construction report confirming compliance with the OSCA permit prior to any occupation certificate for the proposed structures being issued. This does not include landscaping issues.
11. Please note that no Occupation Certificate will be issued by the Building Control Office (George Municipality) before an Environmental Management Report is submitted by the appointed ECO and all conditions have been adhered to by the owner/s.
12. Indigenous/ protected flora must be rescued within the proposed footprint area prior to construction to the satisfaction of the National Department of Forestry, Fisheries and

Environment (Forestry: Knysna). The Garden Route Botanical Garden may be approached to receive and rescue plants for the Garden from the construction site.

13. All areas outside of the development footprint should be maintained in a natural state for biodiversity conservation. Big trees (especially) near to the development footprint must be retained.
14. During the process of vegetation clearing, the applicant shall ensure that the contractor protects areas susceptible to erosion by installing all the necessary temporary and permanent drainage works as soon as possible.
15. A barrier fence (normally shade-cloth but not confined to this) must be erected approx. 2m outside the development footprint of the planned development to preserve and protect the maximum amount of natural vegetation on the property as well as to protect and preserve the natural vegetation occurring on the adjoining property.
16. The disturbance of natural vegetation should be kept to a minimum and restricted to the footprint of the dwellings plus a two meter (2m) working area around the site to prevent access as No-Go areas and to prevent contamination elsewhere. Upon completion the barrier must be removed.
17. Work areas and access routes must be clearly demarcated to minimize environmental damage and soil erosion.
18. The clearing of alien invasive vegetation on the erf must be addressed and should take place in terms of Conservation of Agricultural Resources Act 43 of 1983 (CARA) general duty of care to combat weeds and invader plants, using acceptable methods of cutting (hand-cutting), chipping and ongoing removal of seedlings. Alien invasive vegetation removal must be managed and recorded. Alien plant species that are either prohibited or listed as requiring a permit in terms of the Alien and Invasive Species Regulations, 2014, should be removed.
19. Only locally indigenous vegetation must be used for landscaping and the rehabilitation of the disturbed areas, this includes rescued indigenous/ protected seedlings which must be used for post-construction landscaping and rehabilitation of the property.
20. No gardening is permitted outside the development footprint area; and all worked areas must be rehabilitated to a natural condition, where possible using indigenous plant species.
21. That no lawns be established on the property. If lawns are to be grown that these comprise kweek (*Cynodon dactylon*).
22. No fires may be permitted on site. Adequate fire-fighting equipment must be available on site in good working condition (at least one type ABC-all-purpose 12, 5 kg extinguisher). If in a fire-prone area it is advised that the owner must join the Southern Cape Fire Protection Association Management Unit for the area; with an approved fire management plan compiled in conjunction with the Fire Protection Association.
23. Heavy machine operation must be kept to a minimum to avoid unnecessary soil compaction and erosion.
24. The applicant must appoint a suitably qualified structural engineer to oversee all excavations, earthworks and construction on site. The engineer must ensure that potentially unstable slopes are avoided where possible. All cuts and fills must be effectively stabilized by engineer designed retaining structures.
25. Stormwater run-off from roofs and paved areas must be managed, diverted and dispersed onto stable structures to ensure that erosion problems are not transferred onto adjacent properties. It is suggested that the stormwater is as far as possible controlled by capturing it in rainwater tanks or dissipating it into landscape features and surrounding vegetation.
26. The driveway (not exceeding 4m wide) should be demarcated with temporary fencing during construction. Use of the driveway may not cause stormwater run-off problems or cause mud and debris to wash into adjacent properties.
27. An area must be provided on site for the stockpiling of building materials. A turning and parking area for construction vehicles must be identified in advance and the disturbance limited to this area.
28. Top-soil if present must be removed during construction, stockpiled and re-used in the rehabilitation and landscaping of the property, with different soil horizons stored separately.

29. Waste materials and general refuse must be removed frequently and disposed of at a recognized municipal waste disposal facility.
30. Any building rubble or waste generated during the construction process must be placed in receptacles within a secure designated area to prevent illegal dumping and waste materials being blown or scattered into the surrounding areas or other ecologically sensitive areas. On completion of the proposed activities, all waste material of **any** description, including receptacles, rubble, etc. must be removed entirely from the site and disposed of at a recognized landfill facility. No waste will be allowed to be buried or burned on site.
31. The contractor shall provide suitable chemical toilet facilities or any other approved toilet facilities on-site in such a way that it does not cause water or other environmental pollution. Toilets shall be of a neat construction and shall have doors and locks and shall be secured to prevent them from blowing over. The toilet must be removed, and night soils disposed of upon completion of the construction activities.
32. In the event of non-compliance and resultant damage to the environment, the Municipality reserves the right **to halt construction activities immediately** and require that appropriate remedial measures be implemented to its satisfaction, at the cost of the applicant.
33. The applicant must make use of natural materials and natural paint tones that blend in with the surrounding forest in the design of all exterior elevations, walls and retaining structures. All roofs shall be natural tones, preferably dark greens, greys or neutral tones that blend with the surrounding tree canopy. The structures erected must blend into the receiving environment and therefore make use of natural wood materials or painted in dark neutral tones and colours.
34. The applicant must make all attempts to prevent light pollution on the property and to prevent light spilling over onto surrounding properties and public areas, also areas utilized by fauna. The use of spray or spotlights is not permitted. Only warm coloured lighting with low luminance may be used in external parts of the buildings. Outdoor lighting must be screened and designed to point downwards and may not be directed toward river valley areas. The lighting along pathways and tracks must also point downwards and may not extend more than 500mm above the ground.
35. The excessive use of paving and minimalizing paved or areas covered by concrete is not supported as this leads to heat retention and with predicted climate change scenarios this can have substantive effects when considered cumulatively. When used, paving or solid ground covering should comprise light-coloured tones to reduce heat retention.
36. The design of the dwelling house and outbuildings must incorporate the use of water and energy saving devices such as solar panels, solar geysers, gas stoves, rain-water tanks, greywater harvesting, low flow toilets, aerated taps and shower heads, etc.
37. The applicant will use the most appropriate method of sewerage disposal.
38. That construction activity should be restricted to normal working hours (08h00 to 17h00).

#### **K. DURATION AND DATE OF EXPIRY**

This permit is valid for two (2) years of the date of issue and shall lapse if the activity does not commence within this period.

#### **L. APPEAL**

Notwithstanding the above you have the right to appeal in terms of section 35 (3) of the Environmental Conservation Act, 1989 (Act 73 of 1989). The appeal must be in writing and submitted **within 30 days** from the date on which this decision was made known.

You are obliged to ensure, within 14 days of the date of this Authorization, that all respondents to this application, herein regarded as interested and affected parties ("I&APs") are provided with access to and reasons for the decision, and that all I&APs are notified of their right to appeal.

This appeal must be submitted to the Appeal Administrator at the address listed below:

**By post:** Attention: Marius Venter  
Western Cape Ministry of Local Government, Environmental Affairs & Development  
Planning



Private Bag X9186  
CAPE TOWN, 8000

or;

**By facsimile:** (021) 483 4174

or;

**By hand:** Attention: Mr Marius Venter  
Room 809, 8<sup>th</sup> floor Utilitas Building  
1 Dorp Street  
CAPE TOWN  
8000

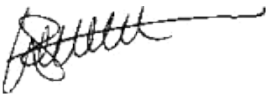
or;

**By e-mail:** [DEADP.Appeals@westerncape.gov.za](mailto:DEADP.Appeals@westerncape.gov.za)

The appeal must set out all facts as well as grounds of appeal and must be accompanied by all relevant documentations or certified copies to the Department of Environmental Affairs and Development Planning (Provincial Government: Western Cape). You are also requested to submit an electronic copy (Microsoft Word format) of the appeal and any supporting documents to the Appeal Administrator.

Your co-operation in the protection and guardianship of the natural environment is appreciated.

Yours Faithfully



**L. WARING**

**DATE: 2 November 2022**

**DIRECTOR: HUMAN SETTLEMENTS, PLANNING & DEVELOPMENT**

OSCA application – Portion 257 of Kraaibosch 195, Division George

