

Our Ref.: 1171/GEO/21

Your Ref.: Erven 20781, 25871, 5950, 28572 and 26209, George

05 September 2024

The Municipal Manager
George Municipality
PO Box 19
GEORGE
6530

ATTENTION: MR. CLINTON PETERSEN

Dear Mr. Petersen,

DEPARTURE ON ERVEN 20781, 25871, 5950, 28572 AND 26209 GEORGE MUNICIPALITY AND DIVISION

1. The above matter refers.
2. Attached hereto find the following:
 - A copy of the required documentation;
 - Complete motivational report with all relevant annexures
3. We hope that you will be able to process the application as soon as possible.

Yours Faithfully
DELPLAN Urban & Regional Planning



DELAREY VIJJOEN Pr. Pln

<https://delplan.sharepoint.com/sites/Delplan/Shared Documents/General/Documents/PROJECTS/2021/1171-GEO-21/Korrespondensie/2024 Departure/b1.doc>

Cc: GARDEN ROUTE SURGICAL (PTY) LTD / THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME

PROPOSED DEPARTURE ON ERVEN 20781, 25871, 5950, 28572 AND 26209
GEORGE MUNICIPALITY AND DIVISION



FOR: GARDEN ROUTE SURGICAL (PTY) LTD / THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME



URBAN & REGIONAL PLANNERS

DEVELOPMENT ENVIRONMENT LINK

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DEPARTURE ON ERVEN 20781, 25871, 5950, 28572 AND 26209 GEORGE
MUNICIPALITY AND DIVISION

Departure: Application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for the existing solar carports over multiple erven requiring building line relaxations as set out below:

- Erf 20781
 - Block A: 5m northern rear common boundary building line to 1.3m
 - Block B: 5m northern rear common boundary building line to 2.1m
 - Block B: 5m northeast rear common boundary building line to 0m

- Erf 25871
 - Block B: 3m southwest – and northern side common boundary building line to 0m
 - Block B: 3m southeast side common boundary building line to 2.3m
 - Block F: 3m northeast – and southeast side common boundary building line to 0m

- Erf 26209
 - Block C: 3m northeast side common boundary building line to 0m
 - Block B: 3m southern side common boundary building line to 0m

- Erf 5950
 - Block F: 3m southwest and northwest side common boundary building line to 0m

- Erf 28572
 - Block C: 3m southwest – and northwest side boundary building line to 0m
 - Block F: 3m southern side common boundary building line to 0m

Property Description:	Erven 20781, 25871, 5950, 28572 & 26209, George
Physical Address:	38 C.J. Langenhoven Road, George
Owner:	<i>Redwood View Trading (Pty) Ltd</i> <i>The Body Corporate of The Outeniqua Eye Clinic Scheme</i>
Title Deed No:	20781 – 27088/23 25871 – Article 11 (3)(b) certificate 5950 – 34974/17 28572 – 19114/20 26209 – 27476/15
Bond Holder:	No
Size of the property:	Various

Table 1: Property details

1. Introduction

The owners of the various erven as contained above, have appointed DELPLAN Consulting to prepare and submit the required departure application. The properties are all part of the same development and are notorially tied. *Garden Route Surgical (Pty) Ltd*, represented by *The Body Corporate of The Outeniqua Eye Clinic Scheme*, holds ownership of all the properties except Erf 5950 which is owned by *Redwood View Trading (Pty) Ltd*. The directors/members of **both** institutions are the same as can be seen in the CIPC documents. The company resolution for both *Redwood View Trading (Pty) Ltd* and *The Body Corporate of The Outeniqua Eye Clinic Scheme* designates power of attorney to **Ian Colquhoun Mc Gibbon**, who has provided DELPLAN with power of attorney.

A copy of the power of the attorney to submit this land use application is attached as **Annexure 1** with the relevant CIPC documents attached as **Annexure 2**.

2. Ownership/Title Deed

The properties are all part of the same development and are notorially tied. As stated in section 1, *Garden Route Surgical (Pty) Ltd*, represented by *The Body Corporate of The Outeniqua Eye Clinic Scheme* and *Redwood View Trading (Pty) Ltd* hold ownership of the properties. The title deeds are set out on page 2 of this report and attached as **Annexure 3**. The notarial tie deeds are attached along with **Annexure 3**. **Note that Erf 25871 is held under an article 11 (3)(b) certificate** as it does not have its own deed with regards to the land register. The deeds search attached herewith as **Annexure 3** confirms that it is also under the ownership of the client.

There are no title deed restrictions prohibiting the application, this is also confirmed with the attached conveyancer certificate (**Annexure 4**). The SG Diagram attached herewith as **Annexure 5**.

3. Locality

The subject property is located at 38 C.J. Langenhoven Road in George CBD. Figure 1 below shows the subject property in relation to other surrounding properties, the rest of George Central as well as George, and the N9 (C.J. Langenhoven). A locality plan is attached hereto as **Annexure 6**.



Figure 1: The location of the subject property (indicated in red) in relation to surrounding areas



Figure 2: Detailed view of subject property and immediate surrounding land uses

4. Proposed development

The development currently already exists as the property owners converted the existing carports to solar carports, which contain solar panels, in addition to adding solar carports over existing open parking bays. As can be seen, the carports are indicated with the red highlighted areas spanning over several of the properties which are noterially tied. No proposal is made over the boundaries to external properties that are not under the ownership as designated in section 1 of this report. No street building lines are influenced on any of the subject erven.

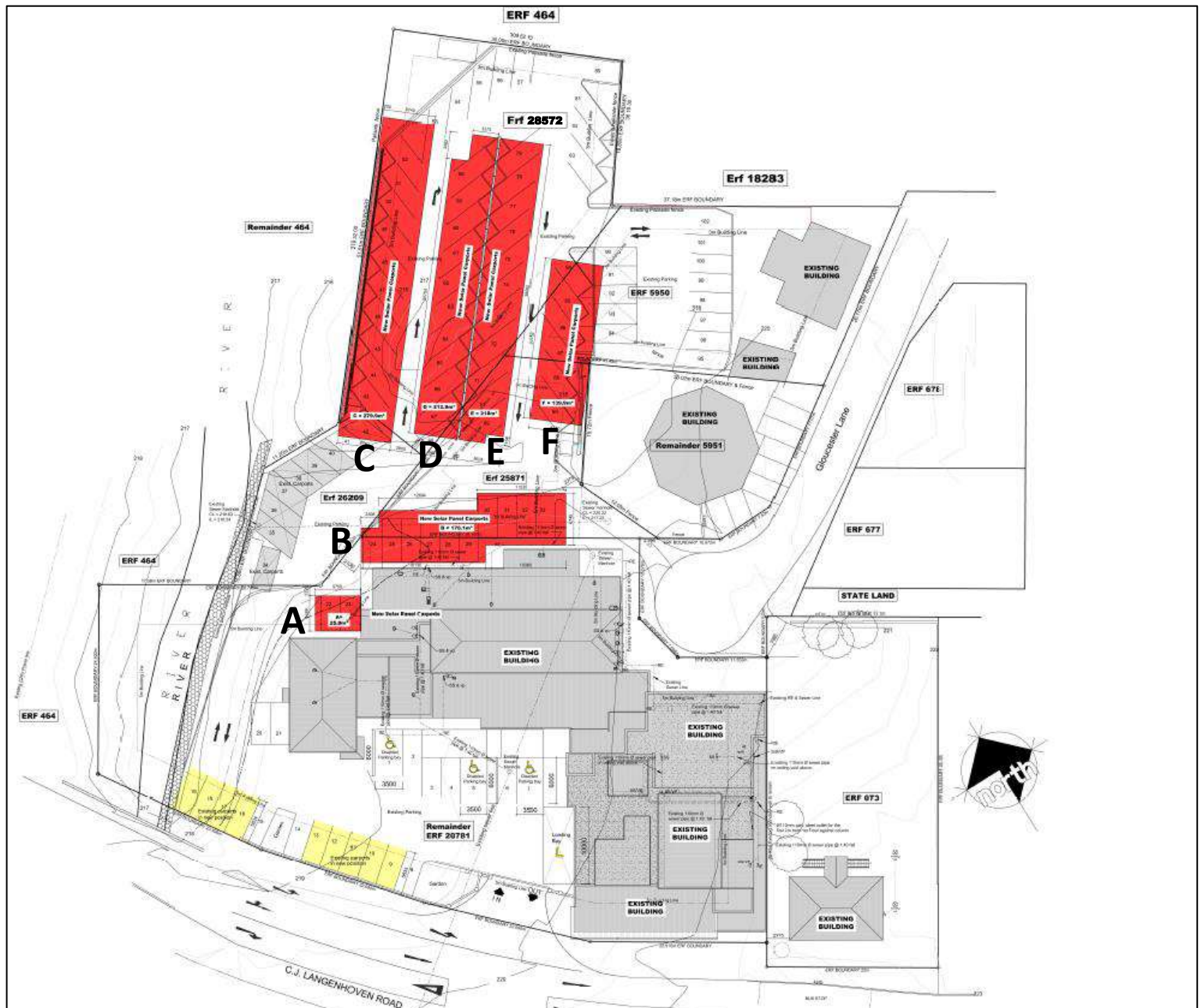


Figure 3: Site Plan extract

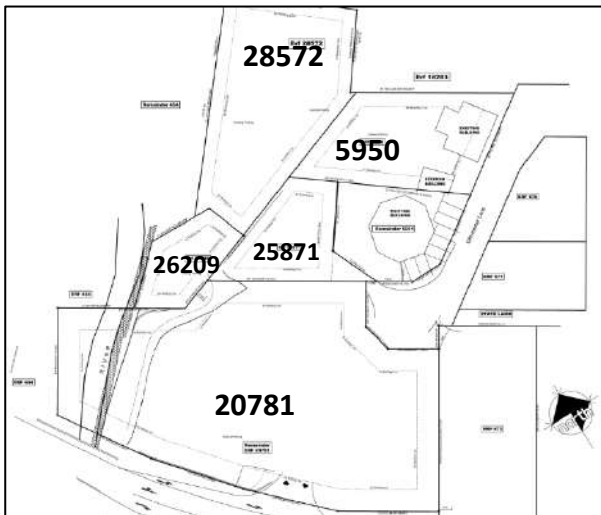


Figure 4: Erf number layout



Figure 5: Zoning

The solar carports are divided into blocks from A to F, for which departures are then set out per erf, per building line and per block. The outline of the blocks can be seen in the figure 3 with the respective erven and building lines in figure 4. The zonings of the properties are indicated in figure 5. The zoning of Erf 20781 (Community Zone III) has different building lines compared to all the other erven which are zoned for Business Zone IV. This property contains several departures for solar carports A and B as carports are not allowable within any of the building lines for this erf.

The zoning of *Business Zone IV* allows carports within the common boundary building line up to a maximum height of 4m. Several departures are therefore required for solar carport Blocks B, C & F over several of the *Business Zone IV* erven as these carports are over the maximum allowable height. All other carports are within the height requirements and therefore do not require departure applications. The comparison of carport blocks and heights can be seen in table 2.

The complete Site Plan is attached hereto as **Annexure 7**. The detailed plans with sections indicating the carport heights are attached as **Annexure 8**. Note that the block numbers on this plan corresponds to table 2 below.

Site Plan	Building Plan	Max Height (m)
Block A	Block 7	3.841
Block B	Block 8 & 9	4.493 - Depart

Block C	Block 1	4.127 - Depart
Block D	Block 2	3.781
Block E	Block 3	3.781
Block F	Block 4	4.127 - Depart

Table 2: Height indications of respective carports

5. Natural Environment

The development is located on an already developed property, over existing parking bays. The natural environment will remain intact and no critical vegetation will be cleared from the property.

6. Heritage

The subject property is not located in a heritage area and none of the buildings are older than 60 years, therefore no heritage impact assessment is necessary.

7. Traffic and Pedestrian Movement

The property gains access off C.J. Langenhoven (service entrance only) as well as Gloucester Lane (entrance and exit) to the north. The access remains unchanged and no additional impact on pedestrians or traffic is prevalent. No parking bays are lost as existing bays will be covered or converted to solar parking bays, thus parking requirements remain unchanged.

8. Impact on Neighbouring properties

The development is constructed on the same footprint of the existing carport developments and open parking bays. The new development therefore sets no precedent as a new development in the area or a development that can negatively affect its character as it is merely a conversion of existing developments. The new development will have no additional impact on neighbouring properties as

all neighbouring properties that are not in the ownership of our clients are fenced in behind boundary walls.

The only surrounding developments abutting the carport development is a business (rondavel structure) in Gloucester Lane and a new block of flats facing away from the built solar panels. The business is fenced in behind a boundary wall and is located at a sufficient distance from the existing developments. Vegetation between the two properties can also be seen in the aerial photos thus adding privacy and protecting views. The carport abutting this property ("block 4" Building Plans and "Block F" on the Site Plan) is measured at a maximum height of 4.12m thus having very little noticeable effect on sunlight or views as it is only 100mm over the maximum allowable height. A building line departure is being applied for due to the total height of the structure. Developments to the north and north-west are located next to the river or "dead space" thus having no influence on any neighbours. Other building lines that are encroached are internal building lines between the respective properties of our clients.

9. Public Participation

Formal Public Participation Process will be followed by sending notice letters to the surrounding property owners informing them of the existing development. A site notice will also be erected.

10. Need and Desirability

Desirability in the land use planning context may be defined as the degree of acceptability of a proposed development on the land unit concerned. This section expresses the desirability of the building line relaxations, taken in conjunction with the development principles and criteria set out through the policies and planning framework, as well as the degree to which this proposal for existing development may be considered within the context of broader public interest. It is our view that the initial investigation into the desirability of the proposal reveals no obvious negative impacts.

The current need for further development is structured around the increased independence from ESKOM and municipal power sources as well as the need for covered parking on open parking bays,

which would provide better protection from weather elements. Desirability in this sense includes the fact that the development suits the existing business use as a portion of the solar carports were converted from existing shade netting carports and the rest from existing open parking bays. The carport use thus does not set a new precedent compared to existing uses on the property. The new carports also support sustainable energy uses. This is therefore considered a desired development. Furthermore, the application is not considered to be in contradiction with spatial policies and at no further risk or inconvenience to neighbouring properties.

11. Policies

George Municipal Spatial Development Framework (GMSDF) (2023)



Figure 6: SDP extract (bus routes)



Figure 7: Medium term business development edge, George Municipality GIS viewer



Figure 8: Priority Restructuring Infill Zone

This spatial document does not specifically address the subject property. The GMSDF does however, state that properties situated on public transport routes such as the GoGeorge bus system seen in figure 6, should be densified. The subject property is located along C.J. Langenhoven Road and is thus adjacent to the George Central – Heatherlands

route. Development falls within the urban edge and is not proposed within a discouraged growth area or ecologically sensitive area.

As seen in figure 7, the development also falls within the Medium-Term Business Development Edge as well as the Priority Restructuring Infill Zone (orange outline) seen in figure 8, therefore aligning with the prospects of the SDF. This development promotes the optimal use of the currently available space whilst providing increased energy independence and better protection from weather elements.

12. Conclusion

As mentioned in this motivation report we believe that the abovementioned principles, considerations and guidelines for this land use application satisfies the applicable legislation. As a result, it is trusted that this application can be finalised successfully.



DELAREY VILJOEN Pr. Pln

September 2024

ANNEXURE 1

COMPANY RESOLUTION

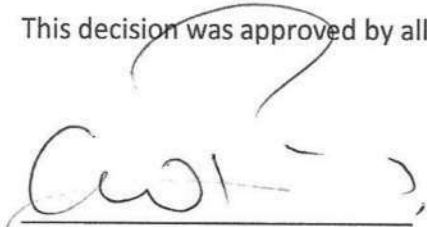
THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME

REDWOOD VIEW TRADING (PTY) LTD

RESOLUTION PASSED ON 03/07/2024

It was resolved that **Ian Colquhoun Mc Gibbon** be appointed as representative for the above entity and can sign documentation on behalf of the company.

This decision was approved by all parties concerned.



Charl Wynand Roux



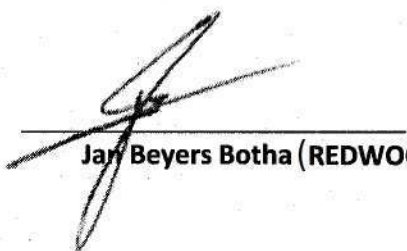
Richard Henry Faul



Johannes Herklaas Meyer



Ian Colquhoun Mc Gibbon



Jan Beyers Botha (REDWOOD VIEW TRADING (PTY) LTD)

I, **Ian Colquhoun Mc Gibbon**, hereby accept my appointment as representative of the above entity without any objections.



IC Mc Gibbon

POWER OF ATTORNEY

I, **Ian Colquhoun Mc Gibbon**, the undersigned and authorised representative of **"THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME"** and **"REDWOOD VIEW TRADING (PTY) LTD"**, the registered owners of Erven 28752, 5950, 25871, 26209 & 20781 George Municipality and Division hereby instruct *DELPLAN Consulting* to submit the land use application with the local authority.

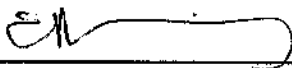


Ian Colquhoun Mc Gibbon


Date: 04/07/2024

Witnesses:

1.



2.



ANNEXURE 2

Certificate issued by the Commissioner of Companies & Intellectual Property Commission on Thursday, April 6, 2023 at 8:40



Companies and Intellectual
Property Commission
a member of the dti group

Registration Number: 2016 / 361398 / 07
Enterprise Name: REDWOOD VIEW TRADING

BOTHA, JAN BEYERS Director 7109015047089 0.00 0.00 18/04/2017 Postal: PO BOX 9757, GEORGE, GEORGE, WESTERN CAPE, 6530
Residential: 11 GLENWOOD AVENUE, GEORGE, GEORGE, WESTERN CAPE, 6529

AUDITOR DETAILS

Auditor Name	Type	Status	Appointment Date	Resignation Date	Email Address
MAZARS	Auditor	Current	2017-04-18	ACTIVE	risk@mazars.co.za
Profession Number: 900222					
DU PLESSIS JACQUES	Designated Auditor	Current	2017-04-18	ACTIVE	jacques.duplessis@mazars.co.za
Profession Number: 704156					

CHANGE SUMMARY

- 19/04/2017 Accounting Officer Change on 19/04/2017.
Notice of change of auditors: DU PLESSIS JACQUES appointed.
- 24/04/2017 Member Change on 24/04/2017.
Director RICHARD HENRY FAUL was added
- 24/04/2017 Member Change on 24/04/2017.
Director IAN COLQUHOUN MC GIBBON was added
- 07/08/2017 Email Notification that Annual Return is due was sent on 07/08/2017.
E-Mail sent to RICHARD HENRY FAUL for 2017
- 07/08/2017 Email Notification that Annual Return is due was sent on 07/08/2017.
E-Mail sent to IAN COLQUHOUN MC GIBBON for 2017
- 13/08/2019 Email Notification that Annual Return is due was sent on 13/08/2019.
E-Mail sent to JOHANNES HERKLAAS MEYER for 2019
- 02/08/2020 Email Notification that Annual Return is due was sent on 02/08/2020.
E-Mail sent to RICHARD HENRY FAUL for 2020
- 02/08/2020 Email Notification that Annual Return is due was sent on 02/08/2020.
E-Mail sent to IAN COLQUHOUN MC GIBBON for 2020
- 27/08/2020 Annual Return completed on 27/08/2020.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5294916934
- 07/12/2021 Registered Address Change on 07/12/2021.
20 GLOUCESTER ROAD GEORGE GEORGE WESTERN CAPE6529
- 04/08/2022 Email Notification that Annual Return is due was sent on 04/08/2022.
E-Mail sent to CHARL WYNAND ROUX for 2022
- 23/08/2022 Annual Return completed on 23/08/2022.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5371712657
- 22/08/2016 Registration of CC/CO on 22/08/2016.
New Company Registration - Web Services : 9999 : Ref No. : 947299620
- 24/04/2017 Member Change on 24/04/2017.
Director CHARL WYNAND ROUX was added

Physical Address
the dti Campus - Block F
77 Meintjies Street
Sunnyside 0001

Postal Address: Companies
P O Box 429
Pretoria
0001

Docex: 256
Web: www.cipc.co.za
Contact Centre: 086 100 2472 (CIPC)
Contact Centre (International): +27 12 394 9573



**Certificate issued by the Commissioner of Companies & Intellectual
Property Commission on Thursday, April 6, 2023 at 8:40**



Companies and Intellectual
Property Commission

a member of the dti group

Registration Number: 2016 / 361398 / 07

Enterprise Name: REDWOOD VIEW TRADING

24/04/2017 Member Change on 24/04/2017.
Director JAN BEYERS BOTHA was added

01/05/2017 Registered Address Change on 01/05/2017.
44 CJ LANGENHOVEN STREET GEORGE GEORGE WESTERN CAPE6529

07/08/2017 Email Notification that Annual Return is due was sent on 07/08/2017.
E-Mail sent to CHARL WYNAND ROUX for 2017

07/08/2017 Email Notification that Annual Return is due was sent on 07/08/2017.
E-Mail sent to JAN BEYERS BOTHA for 2017

23/08/2017 Annual Return completed on 23/08/2017.
Company / Close Corporation AR Filing - Web Services : Ref No. : 581529043

23/08/2018 Annual Return completed on 23/08/2018.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5135778297

13/08/2019 Email Notification that Annual Return is due was sent on 13/08/2019.
E-Mail sent to RICHARD HENRY FAUL for 2019

13/08/2019 Email Notification that Annual Return is due was sent on 13/08/2019.
E-Mail sent to IAN COLQUHOUN MC GIBBON for 2019

02/08/2020 Email Notification that Annual Return is due was sent on 02/08/2020.
E-Mail sent to CHARL WYNAND ROUX for 2020

02/08/2020 Email Notification that Annual Return is due was sent on 02/08/2020.
E-Mail sent to JAN BEYERS BOTHA for 2020

04/08/2021 Email Notification that Annual Return is due was sent on 04/08/2021.
E-Mail sent to JOHANNES HERKLAAS MEYER for 2021

04/08/2021 Email Notification that Annual Return is due was sent on 04/08/2021.
E-Mail sent to IAN COLQUHOUN MC GIBBON for 2021

04/08/2021 Email Notification that Annual Return is due was sent on 04/08/2021.
E-Mail sent to CHARL WYNAND ROUX for 2021

04/08/2021 Email Notification that Annual Return is due was sent on 04/08/2021.
E-Mail sent to JAN BEYERS BOTHA for 2021

04/08/2022 Email Notification that Annual Return is due was sent on 04/08/2022.
E-Mail sent to JOHANNES HERKLAAS MEYER for 2022

19/04/2017 Accounting Officer Change on 19/04/2017.
Notice of change of auditors: MAZARS appointed.

24/04/2017 Member Change on 24/04/2017.
Director JOHANNES HERKLAAS MEYER was added

24/04/2017 Member Change on 24/04/2017.
Director ANDREW TAYLOR JEFFERY details was Changed

12/05/2017 Status changed to Unknown.

07/08/2017 Email Notification that Annual Return is due was sent on 07/08/2017.
E-Mail sent to JOHANNES HERKLAAS MEYER for 2017

13/08/2019 Email Notification that Annual Return is due was sent on 13/08/2019.
E-Mail sent to CHARL WYNAND ROUX for 2019

13/08/2019 Email Notification that Annual Return is due was sent on 13/08/2019.
E-Mail sent to JAN BEYERS BOTHA for 2019

26/08/2019 Annual Return completed on 26/08/2019.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5201674337

Physical Address

the dti Campus - Block F
77 Meintjies Street
Sunnyside 0001

Postal Address: Companies

P O Box 429
Pretoria
0001

Docex: 256

Web: www.cipc.co.za

Contact Centre: 086 100 2472 (CIPC)

Contact Centre (International): +27 12 394 9573



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Property Commission
a member of **the dti** group

Disclosure Certificate: Companies and Close Corporations

Registration Number: **2016 / 361398 / 07**
Enterprise Name: **REDWOOD VIEW TRADING**

02/08/2020 Email Notification that Annual Return is due was sent on 02/08/2020.
E-Mail sent to JOHANNES HERKLAAS MEYER for 2020

04/08/2021 Email Notification that Annual Return is due was sent on 04/08/2021.
E-Mail sent to RICHARD HENRY FAUL for 2021

26/10/2021 Annual Return completed on 26/10/2021.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5355464560

04/08/2022 Email Notification that Annual Return is due was sent on 04/08/2022.
E-Mail sent to RICHARD HENRY FAUL for 2022

04/08/2022 Email Notification that Annual Return is due was sent on 04/08/2022.
E-Mail sent to IAN COLQUHOUN MC GIBBON for 2022

04/08/2022 Email Notification that Annual Return is due was sent on 04/08/2022.
E-Mail sent to JAN BEYERS BOTHA for 2022



Physical Address

the dti Campus - Block F
77 Meintjies Street
Sunnyside 0001

Postal Address: Companies

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Web: www.cipc.co.za

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Property Commission
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Disclosure Certificate: Companies and Close Corporations

Registration Number: 2002 / 021065 / 07
Enterprise Name: GARDEN ROUTE SURGICAL

ENTERPRISE INFORMATION

Registration Number: 2002 / 021065 / 07
Enterprise Name: GARDEN ROUTE SURGICAL (PTY) LTD
Registration Date: 29/08/2002
Business Start Date: 29/08/2002
Enterprise Type: Private Company
Enterprise Status: In Business
Compliance Notice Status: NONE
Financial Year End: February
TAX Number: 9480400143

Addresses	<u>POSTAL ADDRESS</u>	<u>ADDRESS OF REGISTERED OFFICE</u>
	PO BOX 10383 GEORGE GEORGE WESTERN CAPE 6530	44 CJ LANGENHOVEN ROAD GEORGE GEORGE WESTERN CAPE 6529

ACTIVE MEMBERS / DIRECTORS

Surname and First Names	Type	ID Number / Date of Birth	Contrib. (R)	Interest (%)	Appoint. Date	Address
MC GIBBON, IAN COLQUHOUN	Director	5211295186082	0.00	0.00	29/08/2002	Postal: P O BOX 1254, GEORGE, 6530 Residential: 10 HAMMERKOP STREET, GEORGE, 6529
ROUX, CHARL WYNAND	Director	5908305099086	0.00	0.00	29/08/2002	Postal: P O BOX 6575, GEORGE, 6530 Residential: 13 HAMMERKOP STREET, GEORGE, 6529
FAUL, RICHARD HENRY	Director	6409255019082	0.00	0.00	29/08/2002	Postal: P O BOX 10383, GEORGE, 6530 Residential: 32 ERICA ROAD, GEORGE, 6529
MEYER, JOHANNES HERKLAAS	Director	7011105245088	0.00	0.00	02/08/2005	Postal: P O BOX 10383, GEORGE, 6530 Residential: 44 LANGENHOVEN AVENUE, GEORGE, 6529



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Property Commission
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Disclosure Certificate: Companies and Close Corporations

Registration Number: 2002 / 021065 / 07
Enterprise Name: GARDEN ROUTE SURGICAL

AUDITOR DETAILS

Auditor Name	Type	Status	Appointment Date	Resignation Date	Email Address
--------------	------	--------	------------------	------------------	---------------

Profession Number:

CHANGE SUMMARY

30/08/2002 Registration of CC/CO on 29/08/2002.

20/02/2003 Member Change on 14/11/2002.
Add Record
Surname = ROUX
First Names = CHARL WYNAND
Status = Active

02/08/2005 Member Change on 02/08/2005.
Surname=FAUL
Full ForeNames=RICHARD HENRY
Id No=6409255019082
Status :ACTIVENature of Change=NONE

11/10/2007 Registered Address Change on 01/11/2007.
132 MITCHELL STREET
GEORGE
6530

05/08/2016 Email Notification that Annual Return is due was sent on 05/08/2016.
E-Mail sent to CHARL WYNAND ROUX for 2016

10/08/2017 Email Notification that Annual Return is due was sent on 10/08/2017.
E-Mail sent to CHARL WYNAND ROUX for 2017

24/04/2018 Member Change on 24/04/2018.
DATA MAINTENANCE : UPDATE RESIGNATION DATE OF FAUL RICHARD HENRY

24/04/2018 Member Change on 24/04/2018.
DATA MAINTENANCE : UPDATE RESIGNATION DATE OF ROUX CHARL WYNAND

03/09/2018 Annual Return completed on 03/09/2018.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5136195051

12/08/2019 Email Notification that Annual Return is due was sent on 12/08/2019.
E-Mail sent to CHARL WYNAND ROUX for 2019

05/08/2020 Email Notification that Annual Return is due was sent on 05/08/2020.
E-Mail sent to CHARL WYNAND ROUX for 2020

05/10/2021 Annual Return completed on 05/10/2021.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5354447443

03/08/2022 Email Notification that Annual Return is due was sent on 03/08/2022.
E-Mail sent to IAN COLQUHOUN MC GIBBON for 2022

03/08/2022 Email Notification that Annual Return is due was sent on 03/08/2022.
E-Mail sent to JOHANNES HERKLAAS MEYER for 2022

05/12/2002 Principle Business Change on 05/12/2002.
81



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Property Commission on Thursday, April 6, 2023 at 8:40**



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Property Commission
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Disclosure Certificate: Companies and Close Corporations

Registration Number: **2002 / 021065 / 07**
Enterprise Name: **GARDEN ROUTE SURGICAL**

20/02/2003 Member Change on 14/11/2002.
Change Record
Surname = JEFFERY
First Names = ANDREW TAYLOR
Status = Resigned

20/02/2003 Member Change on 14/11/2002.
Add Record
Surname = FAUL
First Names = RICHARD HENRY
Status = Active

02/08/2005 Member Change on 02/08/2005.
Surname=MC GIBBON
Full ForeNames=IAN COLQUHOUN
Id No=5211295186082
Status :ACTIVENature of Change=NONE

02/08/2005 Member Change on 02/08/2005.
Surname=MEYER
Full ForeNames=JOHANNES HERKLAAS
Id No=7011105245088
Status :ACTIVENature of Change=NEW APPOINTMENT - 2/08/2005

11/10/2007 Postal Address Change on 01/11/2007.
P O BOX 963
GEORGE
6530

27/09/2013 Annual Return completed on 27/09/2013.
Company / Close Corporation AR Filing - Web Services : Ref No. : 54615590

05/08/2016 Email Notification that Annual Return is due was sent on 05/08/2016.
E-Mail sent to RICHARD HENRY FAUL for 2016

10/08/2017 Email Notification that Annual Return is due was sent on 10/08/2017.
E-Mail sent to RICHARD HENRY FAUL for 2017

12/08/2019 Email Notification that Annual Return is due was sent on 12/08/2019.
E-Mail sent to RICHARD HENRY FAUL for 2019

06/09/2019 Annual Return completed on 06/09/2019.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5203489157

05/08/2020 Email Notification that Annual Return is due was sent on 05/08/2020.
E-Mail sent to RICHARD HENRY FAUL for 2020

02/09/2020 Annual Return completed on 02/09/2020.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5297618110

03/08/2021 Email Notification that Annual Return is due was sent on 03/08/2021.
E-Mail sent to IAN COLQUHOUN MC GIBBON for 2021

03/08/2021 Email Notification that Annual Return is due was sent on 03/08/2021.
E-Mail sent to RICHARD HENRY FAUL for 2021

03/08/2021 Email Notification that Annual Return is due was sent on 03/08/2021.
E-Mail sent to JOHANNES HERKLAAS MEYER for 2021

30/08/2022 Annual Return completed on 30/08/2022.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5372192617

05/12/2002 Name Change on 05/12/2002.
LITTLE MEADE NO 27

20/02/2003 Member Change on 14/11/2002.
Add Record
Surname = MC GIBBON
First Names = IAN COLQUHOUN
Status = Active

Physical Address

the dti Campus - Block F
77 Meintjies Street
Sunnyside 0001

Postal Address: Companies

P O Box 429
Pretoria
0001

Docex: 256

Web: www.cipc.co.za

Contact Centre: 086 100 2472 (CIPC)

Contact Centre (International): +27 12 394 9573



**Certificate issued by the Commissioner of Companies & Intellectual
Property Commission on Thursday, April 6, 2023 at 8:40**



**Companies and Intellectual
Property Commission**
a member of **the dti** group

Disclosure Certificate: Companies and Close Corporations

Registration Number: **2002 / 021065 / 07**
Enterprise Name: **GARDEN ROUTE SURGICAL**

02/08/2005 Member Change on 02/08/2005.
Surname=ROUX
Full ForeNames=CHARL WYNAND
Id No=5908305099086
Status :ACTIVENature of Change=NONE

15/09/2011 Status changed to Cancellation of De-registration Process on 15/09/2011.
Annual Return Non Compliance - Cancellation of Deregistration

01/09/2014 Annual Return completed on 01/09/2014.
Company / Close Corporation AR Filing - Web Services : Ref No. : 51754250

31/08/2015 Annual Return completed on 31/08/2015.
Company / Close Corporation AR Filing - Web Services : Ref No. : 529005838

05/08/2016 Email Notification that Annual Return is due was sent on 05/08/2016.
E-Mail sent to IAN COLQUHOUN MC GIBBON for 2016

05/08/2016 Email Notification that Annual Return is due was sent on 05/08/2016.
E-Mail sent to JOHANNES HERKLAAS MEYER for 2016

09/09/2016 Annual Return completed on 09/09/2016.
Company / Close Corporation AR Filing - Web Services : Ref No. : 549760492

10/08/2017 Email Notification that Annual Return is due was sent on 10/08/2017.
E-Mail sent to IAN COLQUHOUN MC GIBBON for 2017

10/08/2017 Email Notification that Annual Return is due was sent on 10/08/2017.
E-Mail sent to JOHANNES HERKLAAS MEYER for 2017

18/09/2017 Annual Return completed on 18/09/2017.
Company / Close Corporation AR Filing - Web Services : Ref No. : 584237432

24/04/2018 Member Change on 24/04/2018.
DATA MAINTENANCE : UPDATE RESIGNATION DATE OF MC GIBBON IAN COLQUHOUN

12/08/2019 Email Notification that Annual Return is due was sent on 12/08/2019.
E-Mail sent to IAN COLQUHOUN MC GIBBON for 2019

12/08/2019 Email Notification that Annual Return is due was sent on 12/08/2019.
E-Mail sent to JOHANNES HERKLAAS MEYER for 2019

05/08/2020 Email Notification that Annual Return is due was sent on 05/08/2020.
E-Mail sent to IAN COLQUHOUN MC GIBBON for 2020

05/08/2020 Email Notification that Annual Return is due was sent on 05/08/2020.
E-Mail sent to JOHANNES HERKLAAS MEYER for 2020

03/08/2021 Email Notification that Annual Return is due was sent on 03/08/2021.
E-Mail sent to CHARL WYNAND ROUX for 2021

07/12/2021 Registered Address Change on 07/12/2021.
44 CJ LANGENHOVEN ROAD GEORGE GEORGE WESTERN CAPE6529

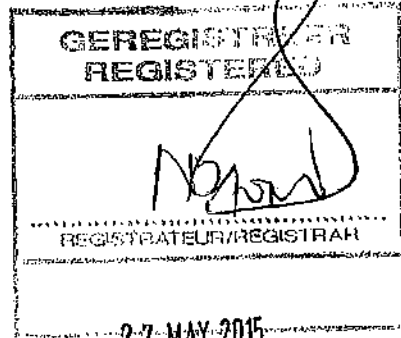
03/08/2022 Email Notification that Annual Return is due was sent on 03/08/2022.
E-Mail sent to CHARL WYNAND ROUX for 2022

03/08/2022 Email Notification that Annual Return is due was sent on 03/08/2022.
E-Mail sent to RICHARD HENRY FAUL for 2022

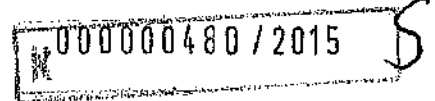


ANNEXURE 3

6-a -30



Fee and/or interest		Date
	Amount	
Purchase price/Value	R. 280,00	27/05/15
Mortgage capital Amount	R.	
Exempt i.t.o		
Cat.	section	Act.



Protocol no. 789

NOTARIAL DEED

KNOW ALL MEN WHOM IT MAY CONCERN:

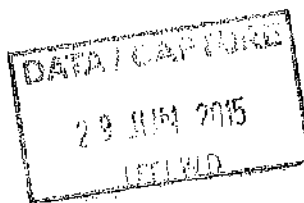
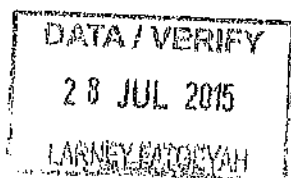
THAT on this 5th day of MARCH in the Year of Our Lord Two Thousand and Fifteen (2015) before me,

WILLEM MUNRO LUTTIG

Notary Public by lawful authority duly sworn and admitted, residing and practising at GEORGE, Western Cape Province, and in the presence of the subscribed witnesses, personally came and appeared

ANNELISE OOSTHUIZEN, she, the said Appearer being duly authorised thereto :

b



Handwritten signatures of witnesses.

- 1. by virtue of a Power of Attorney in her favour signed at GEORGE on the 20th of NOVEMBER 2014 , granted to her by

JOHANNES HERKLAAS MEYER

and

CHARL WYNAND ROUX

in their capacities as Trustees and acting for and on behalf of

**THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME,
NO. SS 41 / 2004**

duly authorised hereto by a unanimous Resolution of the Members of the said Body Corporate dated at George on 14 July 2014

(hereinafter referred to as the **"BODY CORPORATE"**)

which Power of Attorney and certified copy of unanimous resolution remain filed in my protocol

- 2. by virtue of a Power of Attorney in her favour signed at GEORGE on the 11th of NOVEMBER 2014 , granted to her by

TREVOR BOTHA

in his capacity as Municipal Manager of

GEORGE MUNICIPALITY

duly authorised thereto by a resolution of the said Municipality

(hereinafter referred to as **"GEORGE MUNICIPALITY"**)

which Power of Attorney remains filed in my protocol

AND THE APPEARER DECLARED: -

THAT WHEREAS:

The said **BODY CORPORATE** is the owner of

- (i) the property described as -
**ERF 26209 GEORGE IN THE MUNICIPALITY AND DIVISION OF
 GEORGE, WESTERN CAPE PROVINCE;**

**IN EXTENT: 315 (THREE HUNDRED AND FIFTEEN)
 SQUARE METRES**

HELD BY DEED OF TRANSFER NO. T

000027476 / 2015

(hereinafter referred to as "ERF 26209").

AND

- (ii) the property previously known as
**ERF 20781 GEORGE IN THE MUNICIPALITY AND DIVISION OF
 GEORGE, WESTERN CAPE PROVINCE;**

**IN EXTENT: 3497 (THREE THOUSAND FOUR HUNDRED AND NINETY
 SEVEN) SQUARE METRES**

**ON WHICH THE SECTIONAL TITLE SCHEME KNOWN AS
 OUTENIQUA EYE CLINIC, NO. SS41/2004 HAS BEEN REGISTERED**

(hereinafter referred to as "ERF 20781").

B → *erf 26209* *Er 11(3)(b)*
certified

[Handwritten signatures and scribbles]

- I. The **BODY CORPORATE** acquired Erf 26209 from **GEORGE MUNICIPALITY** in terms of an agreement dated 14 July 2014.
- II. It was a condition of the sale that Erf 26209 and Erf 20781 be notarially tied.

NOW THEREFORE:

The Appearer declares that the **BODY CORPORATE** and the **GEORGE MUNICIPALITY** hereby agree that the said properties shall be tied together and be regarded as one property for all intents and purposes and that the property shall not be sold or transferred otherwise than to the same transferee without the written consent of **GEORGE MUNICIPALITY** being first obtained and the **GEORGE MUNICIPALITY** shall have an absolute discretion to grant or withhold such consent.

SUBJECT TO THE FOLLOWING CONDITIONS:

1. This agreement shall be registered against the Title Deeds of Erf 26209 and Erf 20781 and shall be binding on the successors in title of the **BODY CORPORATE**.
2. All costs of preparing, executing and registering this deed shall be paid by the **BODY CORPORATE**.
3. That no compensation or consideration shall pass between the parties hereto in respect of this Notarial Deed.

B

~

[Handwritten signatures]

THUS DONE AND SIGNED at GEORGE, Western Cape Province, on the day, month and year first aforewritten in the presence of the undersigned witnesses and before me, Notary Public.

AS WITNESSES:

1. Wills

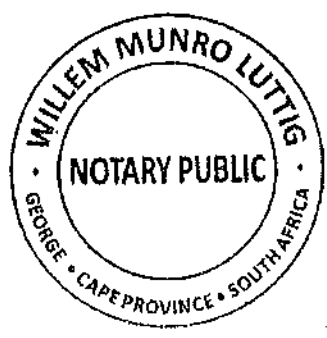
[Signature]
q.q. OUTENIQUA EYE CLINIC
BODY CORPORATE

2. [Signature]

[Signature]
q.q. GEORGE MUNICIPALITY

QUOD ATTESTOR

[Signature]
NOTARY PUBLIC



[Handwritten mark]

12/11

Fee endorsement		Office fee
		371,00
Reason for Exemption	Exempt i.d.o	
Cat	Section	Act



Protocol no. 950

NOTARIAL DEED

KNOW ALL MEN WHOM IT MAY CONCERN:





THAT on this 03rd day of **JUNE** in the Year of Our Lord **Two Thousand and Twenty One (2021)** before me,

WILLEM MUNRO LUTTIG
LPC Membership No. 82292

Notary Public by lawful authority duly sworn and admitted, residing and practising at GEORGE, Western Cape Province, and in the presence of the subscribed witnesses, personally came and appeared

ANNELISE OOSTHUIZEN, she, the said Appearer being duly authorised thereto :

1. by virtue of a Power of Attorney in her favour signed at **GEORGE** on **27 MAY 2021**, granted to her by

JAN BEYERS BOTHA

and

RICHARD HENRY FAUL

in their capacities as Trustees and acting for and on behalf of

THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME,

NO. SS 41 / 2004

duly authorised hereto by a unanimous Resolution of the Members of the Body Corporate dated at George on 27 May 2021

(hereinafter referred to as the "**BODY CORPORATE**")

which Power of Attorney and certified copy of unanimous resolution remain filed in my protocol

2. by virtue of a Power of Attorney in her favour signed at **GEORGE** on **27 MAY 2021**, granted to her by

IAN COLQUHOUN MC GIBBON

in his capacity as DIRECTOR of

REDWOOD VIEW TRADING PROPRIETARY LIMITED

Registration number 2016/361398/07

duly authorised thereto by a resolution of the Directors dated at George on 27 May 2021

(hereinafter referred to as "**REDWOOD**")

C

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3. by virtue of a Power of Attorney in her favour signed at **GEORGE** on **01 JUNE 2021**, granted to her by

LAUREN WARING

in her capacity as Director : Planning and Development of
GEORGE MUNICIPALITY

duly authorised thereto by the Municipality

(hereinafter referred to as "**GEORGE MUNICIPALITY**")

which Power of Attorney remains filed in my protocol

AND THE APPEARER DECLARED THAT WHEREAS:

- (I) The **BODY CORPORATE** is the owner of the property described as -

**ERF 28572 GEORGE IN THE MUNICIPALITY AND DIVISION OF GEORGE,
WESTERN CAPE PROVINCE;**

**IN EXTENT: 1327 (ONE THOUSAND THREE HUNDRED AND TWENTY
SEVEN) SQUARE METRES**

HELD BY DEED OF TRANSFER NO. T19114/2020

(hereinafter referred to as "**ERF 28572**").

AND

B
C
[Handwritten signatures and initials]

(II) **REDWOOD** is the owner of the property described as -

**ERF 5950 GEORGE IN THE MUNICIPALITY AND DIVISION OF GEORGE,
WESTERN CAPE PROVINCE;**

IN EXTENT: 832 (EIGHT HUNDRED AND THIRTY TWO) SQUARE METRES

HELD BY DEED OF TRANSFER NUMBER T34974/2017

(hereinafter referred to as "**ERF 5950**").

(III) The **BODY CORPORATE** has applied for the approval of building plans in respect of Erf 5950;

(IV) The **GEORGE MUNICIPALITY** has agreed to the approval of the plans subject thereto that Erf 5950 and Erf 28572 be notarially tied.

NOW THEREFORE:

The Appearer declares that the **BODY CORPORATE, REDWOOD**, and the **GEORGE MUNICIPALITY** hereby agree that Erf 5950 and Erf 28572 shall be tied together and be regarded as one property for all intents and purposes and that the property shall not be sold or transferred otherwise than to the same transferee without the written consent of **GEORGE MUNICIPALITY** being first obtained and the **GEORGE MUNICIPALITY** shall have an absolute discretion to grant or withhold such consent.


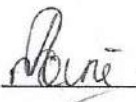

B
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D


SUBJECT TO THE FOLLOWING CONDITIONS:


1. This agreement shall be registered against the Title Deeds of Erf 5950 and Erf 28572 and shall be binding on the successors in title of the **BODY CORPORATE** and **REDWOOD**.
2. All costs of preparing, executing, and registering this deed shall be paid by **REDWOOD**.
3. That no compensation or consideration shall pass between the parties hereto in respect of this Notarial Deed.


THUS DONE AND SIGNED at **GEORGE**, Western Cape Province, on the day, month and year first aforewritten in the presence of the undersigned witnesses and before me, Notary Public.

AS WITNESSES:

1.  _____
2.  _____
3.  _____


- 

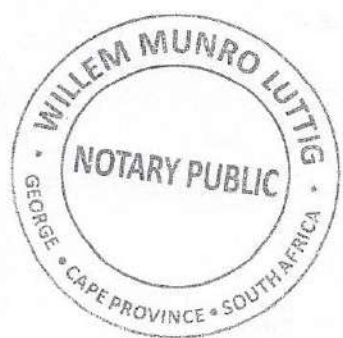
q.q. **OUTENIQUA EYE CLINIC
BODY CORPORATE**
- 

q.q. **REDWOOD**
- 

q.q. **GEORGE MUNICIPALITY**

QUOD ATTESTOR


NOTARY PUBLIC

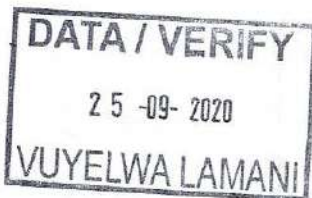


Purchase Price/Val		353,00
Work Done		
Person for Description		Exempt Lt. o

10



Protocol no. 926



NOTARIAL DEED



KNOW ALL MEN WHOM IT MAY CONCERN:

THAT on this 26 day of March 2020 in the Year of Our Lord Two Thousand and Twenty (2020) before me,

WILLEM MUNRO LUTTIG

Notary Public by lawful authority duly sworn and admitted, residing and practising at GEORGE, Western Cape Province, and in the presence of the subscribed witnesses, personally came and appeared



ELIZABETH SUSANNA MCIMBI, she, the said Appearer being duly authorised thereto

[Handwritten signature]

[Handwritten mark]

1. by virtue of a Power of Attorney in her favour signed at GEORGE on the 17th of March 2020 , granted to her by

CHARL WYNAND ROUX

and

IAN COLQUHOUN MCGIBBON

in their capacities as Trustees and acting for and on behalf of

**THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME,
NO. SS 41 / 2004**

duly authorised hereto by a unanimous Resolution of the Members of the said Body Corporate dated at GEORGE on 19th of March 2019

(hereinafter referred to as the "**BODY CORPORATE**")

which Power of Attorney and certified copy of unanimous resolution remain filed in my protocol

2. by virtue of a Power of Attorney in her favour signed at GEORGE on the 17th of March 2020 , granted to her by

TREVOR BOTHA

in his capacity as Municipal Manager of

GEORGE MUNICIPALITY

duly authorised thereto by a resolution of the said Municipality

(hereinafter referred to as "**GEORGE MUNICIPALITY**")

which Power of Attorney remains filed in my protocol

TJ

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A B B

AND THE APPEARER DECLARED: -

THAT WHEREAS:

The said **BODY CORPORATE** is the owner of

- (i) the property described as -
**ERF 28572 GEORGE IN THE MUNICIPALITY AND DIVISION OF
GEORGE, WESTERN CAPE PROVINCE;**

**IN EXTENT: 1327 (ONE THOUSAND THREE HUNDRED AND TWENTY
SEVEN) SQUARE METRES**

(hereinafter referred to as "ERF 28572").

AND

- (ii) the property described as -
**ERF 20781 GEORGE IN THE MUNICIPALITY AND DIVISION OF
GEORGE, WESTERN CAPE PROVINCE;**

**IN EXTENT: 3497 (THREE THOUSAND FOUR HUNDRED AND NINETY
SEVEN) SQUARE METRES**

**ON WHICH THE SECTIONAL TITLE SCHEME KNOWN AS
OUTENIQUA EYE CLINIC, NO. SS41/2004 HAS BEEN REGISTERED**

(hereinafter referred to as "ERF 20781").

T-4

✓ A B B

- I. The **BODY CORPORATE** acquired Erf 28572 from **GEORGE MUNICIPALITY** in terms of an agreement dated 19 March 2019.
- II. It was a condition of the sale that Erf 28572 and Erf 20781 be notarially tied.

NOW THEREFORE:

The Appearer declares that the **BODY CORPORATE** and the **GEORGE MUNICIPALITY** hereby agree that the said properties shall be tied together and be regarded as one property for all intents and purposes and that the property shall not be sold or transferred otherwise than to the same transferee without the written consent of **GEORGE MUNICIPALITY** being first obtained and the **GEORGE MUNICIPALITY** shall have an absolute discretion to grant or withhold such consent.

SUBJECT TO THE FOLLOWING CONDITIONS:

1. This agreement shall be registered against the Title Deeds of Erf 28572 and Erf 20781 and shall be binding on the successors in title of the **BODY CORPORATE**.
2. All costs of preparing, executing and registering this deed shall be paid by the **BODY CORPORATE**.
3. That no compensation or consideration shall pass between the parties hereto in respect of this Notarial Deed.

Tf

~

A JB

FILE IN A MAIN
FILE



BYLAE A TOT VEL NR 1 VAN

VELLE

DEELPLANNE NOMMERS SS41/2004 en SS

NAAM VAN SKEMA: **OUTENIQUA EYE CLINIC**

NUWE SKEDULE VAN VOORWAARDES

(Ingevolge die bepaling van Artikel 11 (3)(b) van Wet Nr 95 van 1986)

Ek, die ondergetekende, **JOHANN FRANCOIS VOS**, in my hoedanigheid as Transportbesorger, behoorlik beëdig en toegelaat om as sulks te praktiseer te Provinsie Wes-Kaap, sertifiseer hiermee as volg:

(i) Die volle naam en adres van die Regspersoon is

OUTENIQUA EYE CLINIC REGSPERSOON

van:

LANGENHOVENSTRAAT 44

GEORGE

6530

welke regspersoon die geregistreerde eienaar is van:

1. **RESTANT ERF 20781 GEORGE, IN DIE MUNISIPALITEIT EN AFDELING VAN GEORGE, PROVINSIE WES-KAAP;**

GROOT: 3 497 (DRIE DUISEND VIER HONDERD SEWE EN NEGENTIG) VIERKANTE METER

GEHOU KRAGTENS TRANSPORTAKTE NR T

Die eiendom is onderhewig aan of word bevoordeel deur die volgende voorwaardes, naamlik:

I. **WAT BETREF** die figuur gemerk B.D.C.s op Kaart SG Nr 662/2003:

A. **ONDERHEWIG** aan voorwaardes vervat in Transportakte Nr T9898/1899.

B. **ONDERHEWIG VERDER** aan die volgende voorwaardes vervat in Transportakte Nr T10805/86 opgelê deur en ten gunste van die Munisipaliteit van George, naamlik:

(a) The owner of this erf shall without compenstion, be obliged to allow electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewerage and drainage, including stormwater of any other erf or erven to be conveyed across this erf, if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include

the right of access to the erf at any reasonable time for the purpose of inspecting any works connected with the above.

- (b) The owner of this erf shall be obliged, without compensation, to receive such material or permit such excavation on the erf, as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority.

II. **WAT BETREF** die figuur A.s.E.m op Kaart SG Nr 622/2003:

- A.
- B. **ONDERHEWIG VERDER** aan die voorwaardes vervat in Transportakte Nr T10805/1986 opgelê deur en ten gunste van die Munisipaliteit van George, soos uiteengesit in voorwaarde I.B. hierbo.
- C. **NIE ONDERHEWIG** aan voorwaarde A op bladsy 2 van die vorige Skedule van Voorwaardes, weens Artikel 53 van die Wysigingswet op Registrasie van Myntitels, Nr 24 van 2003.

III. **WAT BETREF** die restant van die figuur m.u.v.I.H.J.K.L. op Kaart SG Nr 622/2003:

ONDERHEWIG aan die voorwaardes waarna verwys word in Transportakte Nr T5060/1936.

IV. **WAT BETREF** die restant van die figuur u.E.y.l.v. op Kaart SG Nr 622/2003:

ONDERHEWIG aan die voorwaardes waarna verwys word in Sertifikaat van Gekonsolideerde Titel Nr T5059/1936.

V. **WAT BETREF** die figuur E.F.G.y. op Kaart SG Nr 622/2003:

ONDERHEWIG aan die voorwaardes waarna verwys word in Sertifikaat van Verenigde Titel Nr T5059/1936.

VI. **WAT BETREF** die geheel van die eiendom:

ONDERHEWIG aan die volgende endossement gedateer 31 Mei 2010 en aangebring op die Skedule van Voorwaardes gedateer 7 Augustus 2003 van OUTENIQUA EYE CLINIC, naamlik:

"Subject to the following conditions created by Notarial Deed Nr SK1557/2010S, namely:

1. a restriction limiting the use of the abovementioned unit for the operation of a medical or health care practice only, as will more fully appear from the said Notarial Deed.
2. a restriction on the sale or disposal of the unit, save in accordance with the terms and conditions of the tender process, in favour of all registered owners of units in the scheme, as will more fully appear from the said Notarial Deed."

2. **ERF 25871 GEORGE, IN DIE MUNISIPALITEIT EN AFDELING VAN GEORGE, PROVINSIE WES-KAAP;**

GROOT: 488 (VIER HONDERD AGT EN TAGTIG) VIERKANTE METER

GEHOU KRAGTENS TRANSPORTAKTE NR T

Die eiendom is onderhewig aan of word bevoordeel deur die volgende voorwaardes, naamlik:

- A. **ONDERHEWIG** aan die voorwaardes waarna verwys word in Transportakte Nr T5060/1936.
 - B. **ONDERHEWIG VERDER** aan die volgende voorwaardes vervat in Transportakte Nr T30228/1972 opgelê deur die Administrateur kragtens Artikel 9 van Ordonnansie Nr 33 van 1934 by die goedkeuring van die onderverdeling van Erf 680 George, naamlik:
 - (a) The owner of this erf shall without compensation, be obliged to allow electricity cables and/or wires and main and/or other waterpipes and the sewage and drainage, including stormwater of any other erf or erven to be conveyed across this erf, if deemed necessary by the Local Authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above.
 - (b) The owner of this erf shall be obliged, without compensation, to receive such material or permit such excavation on the erf, as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank, owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the Local Authority.
- (ii) Ek sertifiseer verder dat ek die rekords van die Registrateur van Aktes te Kaapstad nagegaan het en ek kon geen voorwaardes vind wat die uitbreiding

van die gemeenskaplike elendom en die registrasie van 'n gewysigde Deelplan
verhinder of belet nie.

- (iii) Geen verdere voorwaardes, behalwe soos hierbo genoem, is deur die
Ontwikkelaar of Plaaslike Owerheid of Premier opgelê nie en geen ander
voorwaardes skuil agter die spijaktes nie.

GEDATEER te GOODWOOD op 16 April 2012



AKTEBESORGER
JF VOS



This report is compiled exclusively from the very latest data directly supplied to WinDeed by the Deeds Office.

Any personal information obtained from this search will only be used as per the Terms and Conditions agreed to and in accordance with applicable data protection laws including the Protection of Personal Information Act, 2013 (POPI), and shall not be used for marketing purposes.

** ASTERISKS INDICATE THE INFORMATION IS ENRICHED FROM THE WINDEED DATABASE.

SEARCH CRITERIA

Search Date	2024/07/04 12:47	Erf Number	25871
Reference	WML/LB	Portion Number	-
Report Print Date	2024/07/04 15:23	Deeds Office	Cape Town
Township	GEORGE	Search Source	Deeds Office

PROPERTY INFORMATION

Property Type	ERF	Diagram Deed Number	T29098/2012
Township	GEORGE	Local Authority	GEORGE MUN
Erf Number	25871	Province	WESTERN CAPE
Portion Number	0	Extent	488.0000SQM
Registration Division	GEORGE RD	LPI Code	C02700020002587100000
Previous Description	-	Co-ordinates (Lat/Long)**	-33.955724 / 22.452579
Suburb / Town**	-		

OWNER INFORMATION

No owner information to display

ENDORSEMENTS (5)

#	Document	Institution	Amount (R)	Microfilm / Scanned Date
1	SUBDIVISION FROM	TOWN GEORGE ,ERF 5951 ,PRTN 0	-	-
2	NOW SCHEME	SS OUTENIQUA EYE CLINIC NO 41/2004	-	-
3	NOW SCHEME	SS OUTENIQUA EYE CLINIC NO 2/2014	-	-
4	NOW SCHEME	SS OUTENIQUA EYE CLINIC NO 3/2014	-	-
5	NOW SCHEME	SS OUTENIQUA EYE CLINIC NO 5/2014	-	-

DISCLAIMER

This report contains information gathered from our suppliers and we do not make any representations about the accuracy of the data displayed nor do we accept responsibility for inaccurate data. Lexis Convey will not be liable for any damage caused by reliance on this report. This report is subject to the terms and conditions of the Lexis Convey End User Licence Agreement (EULA). LexisNexis Risk Management (Pty) Ltd is a registered credit bureau (NCRCB26).

HISTORIC DOCUMENTS (1)

#	Document	Institution	Amount (R)	Microfilm / Scanned Date
1	T29098/2012	BODY CORPORATE OF OUTENIQUA EYE CLINIC	450 000	-

DISCLAIMER

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GW *inc.* Attorneys & Conveyancers

George Whitehead Inc.

Reg. No. 98/19268/21
VAT No. 4840149605

1st Floor
Church Corner Building
Church street
P O Box 9634
Docex 3
George, 6530, South Africa
Tel : +27(0) 44 874 1838
Fax : +27(0) 44 874 1832
Cell : +27(0) 83 629 0160
E-Mail : george@gwinc.co.za

Our Ref:G6104

Your Ref:

1st Floor
Tyger Valley Chambers One
27 Willie van Schoor Drive
Cape Town,
South Africa

Tel : +27(0) 21 917 1177
Fax : +27(0) 86 661 6740
Cell : +27(0) 83 629 0160
Website: www.gwinc.co.za

20 October 2017

per hand

Attention: Dr JB Botha
Redwood View Trading (Pty) Ltd.

44 CJ Langenhoven Road,
George,
6530

Transfer : Cee Jay Trust to Redwood View Trading (Pty) Ltd.
Property : Erf 5950 George

The above refers.

The above matter has been finalized, herewith attached please find :-

1. Original Title Deed T34974/2017.

Thank you,

Kind regards,

GEORGE WHITEHEAD INC


PER
LOREN GILES

DIRECTOR : George A Whitehead
(B.Proc) (UFS) Adv Dipl Corporate Law (UNISA) Adv Dipl BRP (UNISA)
ASSOCIATE : Loren Giles (LLB) (UNISA)
B-BBEE Status : Level Four Contributor

1ST FLOOR,
 CHURCH CORNER BUILDING
 CNR CHURCH AND COURTENAY
 STREETS
 GEORGE
 6530

Prepared by me

[Handwritten Signature]
 CONVEYANCER
 MARYNE CARINE HENNIG

Use Applicable at	
Partise price/value	Office fee
R 1 950 000,00	1050,00
Percentage capital Gains tax	
Reason for exemption	Section 18 Act

DATA / VERIFY
 29 JUN 2017
 OLIVIER YOLANDI

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

T 000034974 / 2017

NICOLE SHANNON MENTOOR

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney which said Power of Attorney was signed at GEORGE on 5 MAY 2017 granted to him by

The Trustees for the time being of
CEE JAY TRUST
 IT453/2002

DATA / CAPTURE
 29 JUN 2017
 KETLEN

[Small handwritten mark]

[Small handwritten mark]

And the appearer declared that his said principal had, on 4 May 2017, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

REDWOOD VIEW TRADING PROPRIETARY LIMITED
Registration Number 2016/361398/07

or its Successors in Title or assigns, in full and free property

ERF 5950 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE
PROVINCE OF THE WESTERN CAPE

IN EXTENT 832 (EIGHT HUNDRED AND THIRTY TWO) Square metres

FIRST TRANSFERRED by Deed of Transfer Number T30227/1972 with Diagram No. 3833/1972 relating thereto and held by Deed of Transfer Number T34506/2002

- A. SUBJECT to the conditions referred in Deed of Transfer No. 5060 dated 10th June, 1936;
- B. SUBJECT FURTHER to the following conditions mentioned in Deed of Transfer No. 30227 dated 28th November 1972, imposed by the Administrator of the Province of the Cape of Good Hope in terms of Section 9 of Ordinance No. 33 of 1934, when approving of the subdivision, namely:-
- "(a) The owner of this erf shall without compensation be obliged to allow electricity cables and/or wires and main and/or other waterpipes and the sewage and drainage, including storm water of any other erf or erven to be conveyed across this erf if deemed necessary by the Local Authority, and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above.
- (b) The owner of this Erf shall be obliged without compensation to receive such material or permit such excavation of the erf as may be required, to allow use of the full width of the street and provide a safe and proper slope to its bank owing to the difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the Local Authority.

WHEREFORE the said Appearer, renouncing all rights and title which the said

**The Trustees for the time being of CEE JAY TRUST
IT453/2002**

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said


**REDWOOD VIEW TRADING PROPRIETARY LIMITED
Registration Number 2016/361398/07**

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 950 000,00 (ONE MILLION NINE HUNDRED AND FIFTY THOUSAND RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

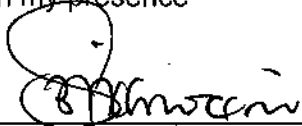
THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

21 June 2017



q.q.

In my presence



REGISTRAR OF DEEDS



Raubenheimers Inc
 PO Box 21
 60 Cathedral Street
 George
 6530

Prepared by me

Purchase price/Value		Amount R. 258 552,00	Office fee R. 430,00
Mortgage capital Amount		R.	R.
Reason for exemption		Exempt i.t.o Cat. section Act.	


 CONVEYANCER
 WILLEM MUNRO LUTTIG

VIR-ENDOSSERINGSKANTOOR
 FOR ENDORSEMENTS SEE PAGE

DATA CAPTURE
 01 JUL 2015
 LEEUW D

00027476/2015

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

RONEL ELS

appeared before me, REGISTRAR OF DEEDS at Cape Town, the said appearer being duly authorised thereto by a Power of Attorney granted to him by

GEORGE MUNICIPALITY

which said Power of Attorney was signed at GEORGE on 11 NOVEMBER 2014

DATA / VERIFY
 28 JUL 2015
 LARNEY FATGEYAH

12

8/

ENDORSEMENT TO SECT 25 (1) (C) OF ACT 95/88

SECTIONAL PLAN OF EXTENSION OF SEITEMS
N^o. ~~SS 41~~

BY NOTARIAL DEED N^o R00000488/2015
THE LITTON PROPERTY AND ERF 20781
MEOR. 347, SHALL BE TIED TOGETHER
AND SHALL NOT BE SOLD OR TRANSFERRED
WITHOUT THE WRITTEN CONSENT OF
GEORGE MUNICIPALITY.
AS WILL MORE FULLY APPEAR FROM
SAID NOT. DEED.

DEEDS OFFICE

CHONG JOHN

27 MAY 2015

REGISTRATION OF DEEDS

And the said appearer declared that his principal had, on 14 July 2014 truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by these presents, cede and transfer to and on behalf of:

**THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME
NO. SS41/2004**

ITS Successors in Title or Assigns, in full and free property

**ERF 26209 (PORTION OF ERF 464) GEORGE IN THE MUNICIPALITY
AND DIVISION OF GEORGE, WESTERN CAPE PROVINCE**

**IN EXTENT 315 (THREE HUNDRED AND FIFTEEN)
SQUARE METRES**

**AS WILL APPEAR FROM THE ANNEXED DIAGRAM SG NO. 2066/2014
AND HELD BY GEORGE QUITRENTS VOLUME 15 - NO. 15/1922**

- A. SUBJECT** to such conditions as are referred to in Deed of Grant dated 15 June 1922 (George Quitrents Volume 15 Number 15).
- B. SUBJECT FURTHER** to the following conditions contained in the said Deed of Grant (George Quitrents Volume 15 Number 15 dated 15 June 1922) namely:-
2. "That all existing roads and thoroughfares shall remain free and uninterrupted, and the Government or other competent authority shall have the right when necessary at anytime to make further roads over the land in question"
 3.
NOT SUBJECT to condition (3) on page 2 of Deed of Grant (George Quitrents Volume 15 Number 15) dated 15 June 1922, by virtue of Section 53 of the Mining Titles Registration Amendment Act 24 of 2003.



- C. **ENTITLED** to the benefits of a Servitude referred to in the following endorsement dated 29 December 1938 on the said Deed of Grant (George Quitrents Volume 15 Number 15) namely :-

"By Deed of Transfer Number 13615 dated 29" December 1938, the owner and his successors in title of the property thereby conveyed is prohibited from carrying on any trade or business other than that of saw mill, grist mill and certain manufactures connected with a timber factory, as will more fully appear on reference to the said Deed of Transfer."

- D. **SUBJECT FURTHER** to the conditions of the servitude referred to in the following endorsement dated 7 June 1977 on the said Deed of Grant (George Quitrents Volume 15 Number 15) namely :~

"Registration of a servitude :

Within described land is subject to a servitude with regard to apportionment of water in terms of an Order of the Water Court (Water Court District Number W10176) dated 5TH June 1977 as will more fully appear on reference to the copy of said order filed as K493/77S."

18

5

WHEREFORE the said Appearer, renouncing all right and title which the said GEORGE MUNICIPALITY heretofore had to the premises, did in consequence also acknowledge it to be entirely dispossessed of, and disentitled to the same, and that by these presents, the said

**THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME
NO. SS41/2004**

ITS Successors in Title or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R258 552,00 (TWO HUNDRED AND FIFTY EIGHT THOUSAND FIVE HUNDRED AND FIFTY TWO RAND).

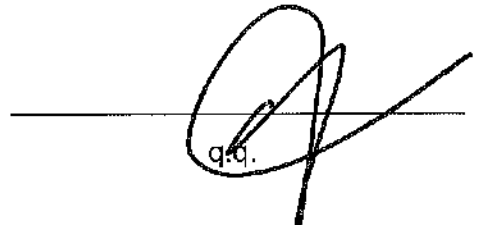
IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents and have caused the Seal of Office to be affixed thereto.

THUS DONE AND EXECUTED at the Office of the REGISTRAR OF DEEDS at Cape Town on 27 MAY 2015

In my presence



REGISTRAR OF DEEDS



RAUBENHEIMERS INC
60 CATHEDRAL STREET
GEORGE
6529

Prepared by me

TEL: 044-873 2043


CONVEYANCER
WILLEM MUNRO LUTTIG

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 1 098 756.00	R. 1220.00
Reason for exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....

T 000019114 / 2020

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

LEANNE KIM WILLIAMS

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

GEORGE MUNICIPALITY

which said Power of Attorney was signed at George on 17 March 2020




Lexis® Convey 17.2.1.16

BY VIRTUE OF NOTARIAL DEED 26 MARCH 2020 NO. K 000000386 / 2020 S

ERF 28572 GEORGE 1327 Square Metres held by T 000019114 / 2020 is tied together with ERF 20781 GEORGE in extent 3497 square metres held by SS41/2004 for all intends shall not be sold or transferred otherwise than to the same transferee without the written consent of GEORGE MUNICIPALITY being first obtained and the GEORGE MUNICIPALITY shall have an absolute discretion to grant or withhold such consent.

AS WILL MORE FULLY APPEAR FROM SAID NOTARIAL DEED.

11.08.2020
DEEDS OFFICE
CAPE TOWN


REGISTRAR OF DEEDS

And the said appearer declared that his/her principal had, on 19 March 2019 truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by these presents, cede and transfer to and on behalf of:

**THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME
NO. SS41/2004**

its Successors in Title or Assigns, in full and free property

**ERF 28572 (A PORTION OF ERF 464) GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

**IN EXTENT 1327 (ONE THOUSAND THREE HUNDRED AND TWENTY
SEVEN) Square metres**

**AS WILL APPEAR FROM THE ANNEXED DIAGRAM SG NO. 2215/2019
AND HELD BY GEORGE QUITRENTS VOLUME 15 - NO. 15/1922**

- A. SUBJECT** to such conditions as are referred to in Deed of Grant dated 15 June 1922 (George Quitrents Volume 15 Number 15).
- B. SUBJECT FURTHER** to the following conditions contained in the said Deed of Grant (George Quitrents Volume 15 Number 15 dated 15 June 1922) namely:-
2. "That all existing roads and thoroughfares shall remain free and uninterrupted, and the Government or other competent authority shall have the right when necessary at anytime to make further roads over the land in question"
 3.
- C. ENTITLED** to the benefits of a Servitude referred to in the following endorsement dated 29 December 1938 on the said Deed of Grant (George Quitrents Volume 15 Number 15) namely :-

"By Deed of Transfer Number 13615 dated 29th December 1938, the owner and his successors in title of the property thereby conveyed is prohibited from carrying on any trade or business other than that of saw mill, grist mill and certain manufactures connected with a timber factory, as will more fully appear on reference to the said Deed of Transfer."

- D. SUBJECT FURTHER** to the conditions of the servitude referred to in the following endorsement dated 7 June 1977 on the said Deed of Grant (George Quitrents Volume 15 Number 15) namely :~

"Registration of a servitude :

Within described land is subject to a servitude with regard to apportionment of water in terms of an Order of the Water Court (Water Court District Number W10176) dated 5TH June 1977 as will more fully appear on reference to the copy of said order filed as K493/77S."

- E. BY Notarial Deed No**

The within property and Erf 20781 measuring 3497, shall be tied together and shall not be sold or transferred without the written consent of George Municipality as will more fully appear from said Notarial Deed.

- F. SUBJECT TO** a water pipe line servitude 1 metre wide imposed by and in favour of George Municipality in terms of Section No. 66 of the George Municipality Land Use Planning By-Law when approving the subdivision of ERF 464 GEORGE, the centre line of which servitude is depicted by the line KM on Diagram S.G.No. 2215/2019.

- G. SUBJECT FURTHER TO** a storm water servitude 1 metre wide imposed by and in favour of George Municipality in terms of Section No. 66 of the George Municipality Land Use Planning By-Law when approving the subdivision of ERF 464 GEORGE, the centre line of which servitude is depicted by the lines NP, PQ, QR and QS Diagram S.G.No. 2215/2019

WHEREFORE the said Appearer, renouncing all rights and title which the said
GEORGE MUNICIPALITY

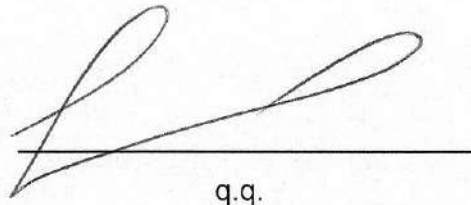
heretofore had to the premises, did in consequence also acknowledge it to be
entirely dispossessed of, and disentitled to the same, and that by these presents,
the said

**THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME
NO. SS41/2004**


its Successors in Title or Assigns, now is and henceforth shall be entitled thereto,
conformably to local custom, the State, however reserving its rights, and finally
acknowledging the purchase price to be the sum of R1 098 756,00 (ONE MILLION
NINETY EIGHT THOUSAND SEVEN HUNDRED AND FIFTY SIX RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have
subscribed to these presents and have caused the Seal of Office to be affixed
thereto.

THUS DONE AND EXECUTED at the Office of the REGISTRAR OF DEEDS at
CAPE TOWN on 11 AUG 2020


q.q.

In my presence


REGISTRAR OF DEEDS

BY VIRTUE OF NOTARIAL TIE AGREEMENT K 000000471 / 2021 DATED
03rd JUNE 2021

ERF 28572 GEORGE
IN THE MUNICIPALITY
DIVISION GEORGE
WESTERN CAPE PROVINCE
MEAS: 1327 M²

AND

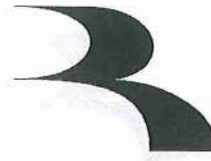
ERF 5950 GEORGE
IN THE MUNICIPALITY
DIVISION GEORGE
WESTERN CAPE PROVINCE
MEAS: 832 M²

ARE PERMANENTLY TIED AND THEY SHALL NOT BE WITHOUT PRIOR
CONSENT OF THE GRANTEE BE ALIENATED SEPARATELY

DEEDS OFFICE
CAPE TOWN



REGISTRAR OF DEEDS



raubenheimers attorneys

60 Cathedral St. George 6529
PO Box 21 George 6530
South Africa
Docex 1 George
Tel: +27 (0)44 873 2043
Fax: +27 (0)44 874 4516
www.raubenheimers.co.za

OUTENIQUA EYE CLINIC

EMAIL: finance@georgesurgical.co.za
EMAIL: michelle@georgesurgical.co.za

Your ref: MICHELLE BURGER

Our ref: WML/LB/W66665/O6

Date: 8 NOVEMBER 2023

Dear Sir

**TRANSFER: GARDEN ROUTE SURGICAL (PTY) LTD / THE BODY CORPORATE OF THE
OUTENIQUA EYE CLINIC
PROPERTY: ERF 673 GEORGE**

In conclusion of the above matter, we enclose copies of the following undermentioned documents which will be held in our safe custody number **O157** pending your further instructions herein.

1. Original Deed of Transfer No T27088/2023
2. Original Notarial Deed No. K639/2023S

It has been pleasure to attend to this transaction on your behalf and we trust that we may be of service to you in the future.

Yours faithfully


WILLEM LUTTIG

Ref. : Levona Buys
Tel. : 044 873 2043 Ext. 125
E-Mail : levonab@raubenheimers.co.za
Fax : 086 680 9420

Directors

W M Luttig B Com LLB • A M Coetzee B Iur LLB • J Y Claasen B Proc • J J Jumat LLB
K Smit B Iur LLB

Executive consultant
Associates

W W van Breda B Proc M Com D Com
D du Plessis LLB • M H Nunns B Com LLB • T J Louw LLB MBA
M du Plessis

Office manager

Founded 1907

Raubenheimers Inc
Reg No: 1993 / 001742 / 21



52

RAUBENHEIMERS INC
60 CATHEDRAL STREET
GEORGE
6529

Prepared by me

TEL: 044-873 2043


CONVEYANCER
WILLEM MUNRO LUTTIG
LPC Membership No: 82292

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 4650 000,00	R. 2443,00
Reason for exemption	Category Exemption	Exemption i t o. Sec/Reg..... Act/Proc.....

DATA / VERIFY
19-07-2023
YOLANDI OLIVIER

VIR. ENDOSSEMENTS KYK-BLADSY
FOR ENDORSEMENTS SEE PAGE 4 ET SEQ

DATA / CAPTURE
17-07-2023
UN

T 000027088 / 2023

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

HARRIS GEOFFREY HARDCASTLE
LPCM No. 98545

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

GARDEN ROUTE SURGICAL PROPRIETARY LIMITED
Registration Number 2002/021065/07

which said Power of Attorney was signed at GEORGE on 5 JUNE 2023



4

~~156523/2021~~

By virtue of **Notarial Deed No.K** 000000639 / 2023 ⁽²⁾ **S**
dated **26th May 2023**, the within properties, namely;- **Erf 20781 George** and **Erf 673 George** shall be tied together and be regarded as one property for all intents and purposes and that none of the properties shall be sold or transferred otherwise than to the same transferee without the written consent of the **George Municipality**.

As will more fully appear from the said Notarial Deed. .

- 7 JUL 2023

DEEDS OFFICE
CAPE TOWN
DATE:



.....
REGISTRAR OF DEEDS

A

And the appearer declared that his/her said principal had, on 31 March 2023, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

**THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME
REGISTRATION NUMBER SS41/2004**


its Successors in Title or assigns, in full and free property

**ERF 673 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE,
WESTERN CAPE PROVINCE**

IN EXTENT 999 (NINE HUNDRED AND NINETY NINE) Square metres

FIRST TRANSFERRED by Deed of Transfer Number T12451/1967 with Diagram No 5120/51 relating thereto and held by Deed of Transfer Number T56523/2021

SUBJECT to the conditions referred to in Deed of Transfer No T5177 dated 20 August 1900.



WHEREFORE the said Appearer, renouncing all rights and title which the said

GARDEN ROUTE SURGICAL PROPRIETARY LIMITED
Registration Number 2002/021065/07

heretofore had to the premises, did in consequence also acknowledge it to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME
REGISTRATION NUMBER SS41/2004

its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R4 650 000,00 (FOUR MILLION SIX HUNDRED AND FIFTY THOUSAND RAND) .


IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 07 JUL 2023



q.q.

In my presence



REGISTRAR OF DEEDS



7/4

FEE
R. 419,00

BEREGISTREER
REGISTERED

REGISTRAR/REGISTRAR
- 7 JUL 2023

DATA / CAPTURE
17-07-2023
109

Protocol no. 975

NOTARIAL DEED

K 000000639 / 2023 S

KNOW ALL MEN WHOM IT MAY CONCERN:

THAT on this 26th day of May in the Year of Our Lord Two Thousand and Twenty Three (2023) before me,

DATA / VERIFY
19-07-2023
YOLANDI OLIVIER

WILLEM MUNRO LUTTIG
LPC Membership No: 82292

Notary Public by lawful authority duly sworn and admitted, residing and practising at GEORGE, Western Cape Province, and in the presence of the subscribed witnesses, personally came and appeared

CHRISNAH VENTER, she, the said Appearer being duly authorised thereto :

A



1. by virtue of a Power of Attorney in her favour signed at GEORGE on 31 MARCH 2023 , granted to her by

IAN COLQUHOUN MC GIBBON
and
RICHARD HENRY FAUL

in their capacity as Trustees and acting for and on behalf of

THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME, NO. SS41/2004

duly authorised hereto by a unanimous Resolution of the members of the said Body Corporate dated at GEORGE on 31 MARCH 2023

(hereinafter referred to as the “**BODY COPRORATE**”)

which Power of Attorney and certified copy of resolution remain filed in my protocol

2. by virtue of a Power of Attorney in her favour signed at GEORGE on 2 MAY 2023 , granted to her by

LAUREN WARING

in her capacity as Director: Human Settlements, Planning and Development and duly authorized thereto by a Resolution taken on 30 June 2022, by

GEORGE MUNICIPALITY

(hereinafter referred to as “**GEORGE MUNICIPALITY**”)

which Power of Attorney remains filed in my protocol



AND THE APPEARER DECLARED: -

THAT WHEREAS:

The **BODY CORPORATE** is the owner of the property described as -

- (i) **ERF 20781 GEORGE, IN THE MUNICIPALITY AND DIVISION OF GEORGE, WESTERN CAPE PROVINCE;**

IN EXTENT: 3497 (THREE THOUSAND FOUR HUNDRED AND NINETY SEVEN) SQUARE METRES

ON WHICH THE SECTIONAL TITLE SCHEME KNOWN AS OUTENIQUA EYE CLINIC, NO. SS41/2004 HAS BEEN REGISTERED

(hereinafter referred to as "ERF 20781").

AND

- (ii) **ERF 673 GEORGE, IN THE MUNICIPALITY AND DIVISION OF GEORGE, WESTERN CAPE PROVINCE;**

IN EXTENT: 999 (NINE HUNDRED AND NINETY NINE) SQUARE METRES

HELD BY DEED OF TRANSFER NO. T 000027088 / 2023

(hereinafter referred to as "ERF 673").

(Handwritten marks and signatures)

(Handwritten mark)

AND WHEREAS the George Municipality has indicated that they will only consider an application for the approval of building plans in respect of buildings that are built over the boundary line between ERF 20781 and ERF 673 if the two properties are notarially tied.

AND WHEREAS the Body Corporate has agreed to tie the properties notarially in favour of George Municipality.

NOW THEREFORE:

The Appearer declares that the **BODY CORPORATE** and the **GEORGE MUNICIPALITY** hereby agree that the said properties shall be tied together and be regarded as one property for all intents and purposes and that the properties shall not be sold or transferred otherwise than to the same transferee without the written consent of **GEORGE MUNICIPALITY** being first obtained and the **GEORGE MUNICIPALITY** shall have an absolute discretion to grant or withhold such consent.

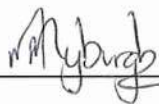
SUBJECT TO THE FOLLOWING CONDITIONS:

1. This agreement shall be registered against the Title Deeds of ERF 20781 and ERF 673 and shall be binding on the successors in title of the **BODY CORPORATE**.
2. All costs of preparing, executing and registering this deed shall be paid by the **BODY CORPORATE**.
3. No compensation or consideration shall pass between the parties hereto in respect of this Notarial Deed.
4. The parties hereto agree that the value of rights granted to the municipality in terms hereof amounts to R1 000,00 (One Thousand Rand) only.



THUS DONE AND SIGNED at **GEORGE**, Western Cape Province, on the day, month and year first aforewritten in the presence of the undersigned witnesses and before me, Notary Public.

AS WITNESSES:

1. 


q.q. **THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME**

2. 


q.q. **GEORGE MUNICIPALITY**

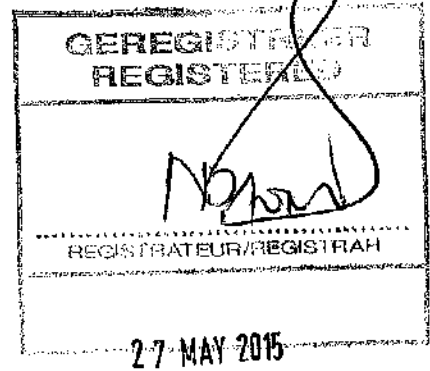
QUOD ATTESTOR


NOTARY PUBLIC

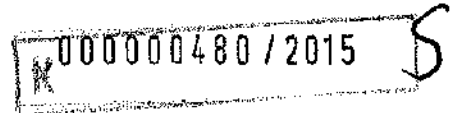


A

b-a -30



Fees and charges		Amount
Purchase price/Value	R.....	R. 280,00
Mortgage capital Amount	R.....	R. 50,00
Transfer tax (2015)	Cat..... section..... Act.....	Exempt i.t.o



Protocol no. 789

NOTARIAL DEED

KNOW ALL MEN WHOM IT MAY CONCERN:

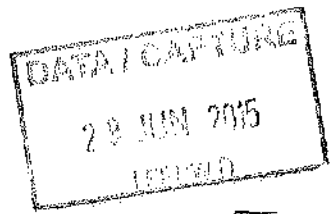
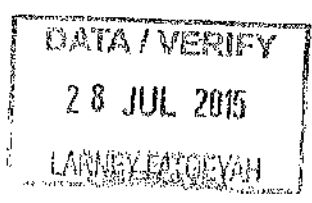
THAT on this 5th day of MARCH in the Year of Our Lord Two Thousand and Fifteen (2015) before me,

WILLEM MUNRO LUTTIG

Notary Public by lawful authority duly sworn and admitted, residing and practising at GEORGE, Western Cape Province, and in the presence of the subscribed witnesses, personally came and appeared

ANNELISE OOSTHUIZEN, she, the said Appearer being duly authorised thereto :

b



Handwritten signatures and initials.

1. by virtue of a Power of Attorney in her favour signed at GEORGE on the 20th of NOVEMBER 2014 , granted to her by

JOHANNES HERKLAAS MEYER

and

CHARL WYNAND ROUX

in their capacities as Trustees and acting for and on behalf of

**THE BODY CORPORATE OF THE OUTENIQUA EYE CLINIC SCHEME,
NO. SS 41 / 2004**

duly authorised hereto by a unanimous Resolution of the Members of the said Body Corporate dated at George on 14 July 2014

(hereinafter referred to as the "**BODY CORPORATE**")

which Power of Attorney and certified copy of unanimous resolution remain filed in my protocol

2. by virtue of a Power of Attorney in her favour signed at GEORGE on the 11th of NOVEMBER 2014 , granted to her by

TREVOR BOTHA

in his capacity as Municipal Manager of

GEORGE MUNICIPALITY

duly authorised thereto by a resolution of the said Municipality

(hereinafter referred to as "**GEORGE MUNICIPALITY**")

which Power of Attorney remains filed in my protocol

AND THE APPEARER DECLARED: -

THAT WHEREAS:

The said **BODY CORPORATE** is the owner of

- (i) the property described as -
ERF 26209 GEORGE IN THE MUNICIPALITY AND DIVISION OF GEORGE, WESTERN CAPE PROVINCE;

IN EXTENT: 315 (THREE HUNDRED AND FIFTEEN) SQUARE METRES

HELD BY DEED OF TRANSFER NO. T

000027476 / 2015

(hereinafter referred to as "ERF 26209").

AND

- (ii) the property previously known as
ERF 20781 GEORGE IN THE MUNICIPALITY AND DIVISION OF GEORGE, WESTERN CAPE PROVINCE;

IN EXTENT: 3497 (THREE THOUSAND FOUR HUNDRED AND NINETY SEVEN) SQUARE METRES

ON WHICH THE SECTIONAL TITLE SCHEME KNOWN AS OUTENIQUA EYE CLINIC, NO. SS41/2004 HAS BEEN REGISTERED

(hereinafter referred to as "ERF 20781").

b → *enclave* *Er 11(2)(b)*
cert of con.

[Handwritten signatures and scribbles]

- I. The **BODY CORPORATE** acquired Erf 26209 from **GEORGE MUNICIPALITY** in terms of an agreement dated 14 July 2014.
- II. It was a condition of the sale that Erf 26209 and Erf 20781 be notarially tied.

NOW THEREFORE:

The Appearer declares that the **BODY CORPORATE** and the **GEORGE MUNICIPALITY** hereby agree that the said properties shall be tied together and be regarded as one property for all intents and purposes and that the property shall not be sold or transferred otherwise than to the same transferee without the written consent of **GEORGE MUNICIPALITY** being first obtained and the **GEORGE MUNICIPALITY** shall have an absolute discretion to grant or withhold such consent.

SUBJECT TO THE FOLLOWING CONDITIONS:

1. This agreement shall be registered against the Title Deeds of Erf 26209 and Erf 20781 and shall be binding on the successors in title of the **BODY CORPORATE**.
2. All costs of preparing, executing and registering this deed shall be paid by the **BODY CORPORATE**.
3. That no compensation or consideration shall pass between the parties hereto in respect of this Notarial Deed.

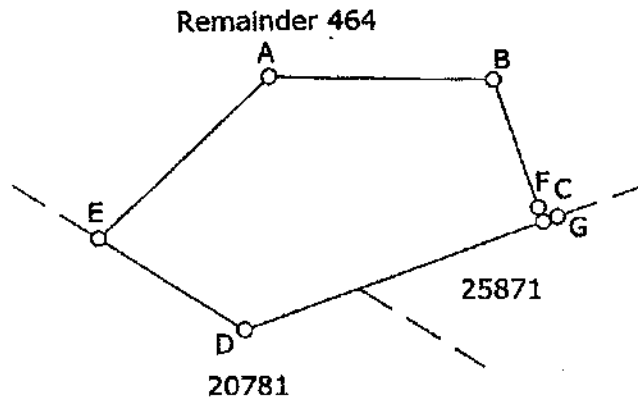
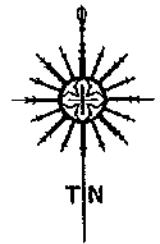


CERTIFICATE OF PROFESSIONAL SURVEYORS
 FOR SURVEYOR GENERAL
 DATE: 07 OCT 2014

SIDES Metres		ANGLES OF DIRECTION	CO-ORDINATES Y System WG 23° X			S.G. No. 2066/2014
AB	14,86	constant 271 13 50	A	0,00 +50 629,78	+3 700 000,00 +58 866,70	Approved <i>Koller</i> for Surveyor-General 06-10-2014
BC	9,98	340 49 40	B	+50 614,93	+58 867,02	
CD	21,07	70 49 40	C	+50 611,65	+58 876,45	
DE	11,34	122 13 10	D	+50 631,54	+58 883,38	
EA	15,56	226 52 00	E	+50 641,13	+58 877,33	
Indicatory data			F	+50 611,98	+58 875,50	
CF	1,00	160 49 40	G	+50 610,70	+58 876,12	
CG	1,00	250 49 40				
		15P4	⊕	+50 480,72	+58 503,88	
		106P4	⊕	+47 828,18	+59 198,82	

Beacon Descriptions:
 A, B, D, E, F, G 12mm iron pegs
 C no beacon

SUBJECT TO
 SECTIONAL TITLE



Scale 1: 500

The figure A B C D E represents 315 Square metres of land, being Erf 26209 , a portion of Erf 464 GEORGE

Situate in the Municipality and Administrative District of George Province of the Western Cape
 Surveyed in November 1995 and September 2014
 by me J.H.Bailey (PLS0019) Professional Land Surveyor


J.H. Bailey

EXEMPT FROM PROVISIONS OF ACT 70 OF 1970
 SECTION 1 (6a)

APPROVED IN TERMS OF SECT. 25 OF ORD. 15/1986
 REF. ERF 20781, GEORGE
 DATE 28-08-2014

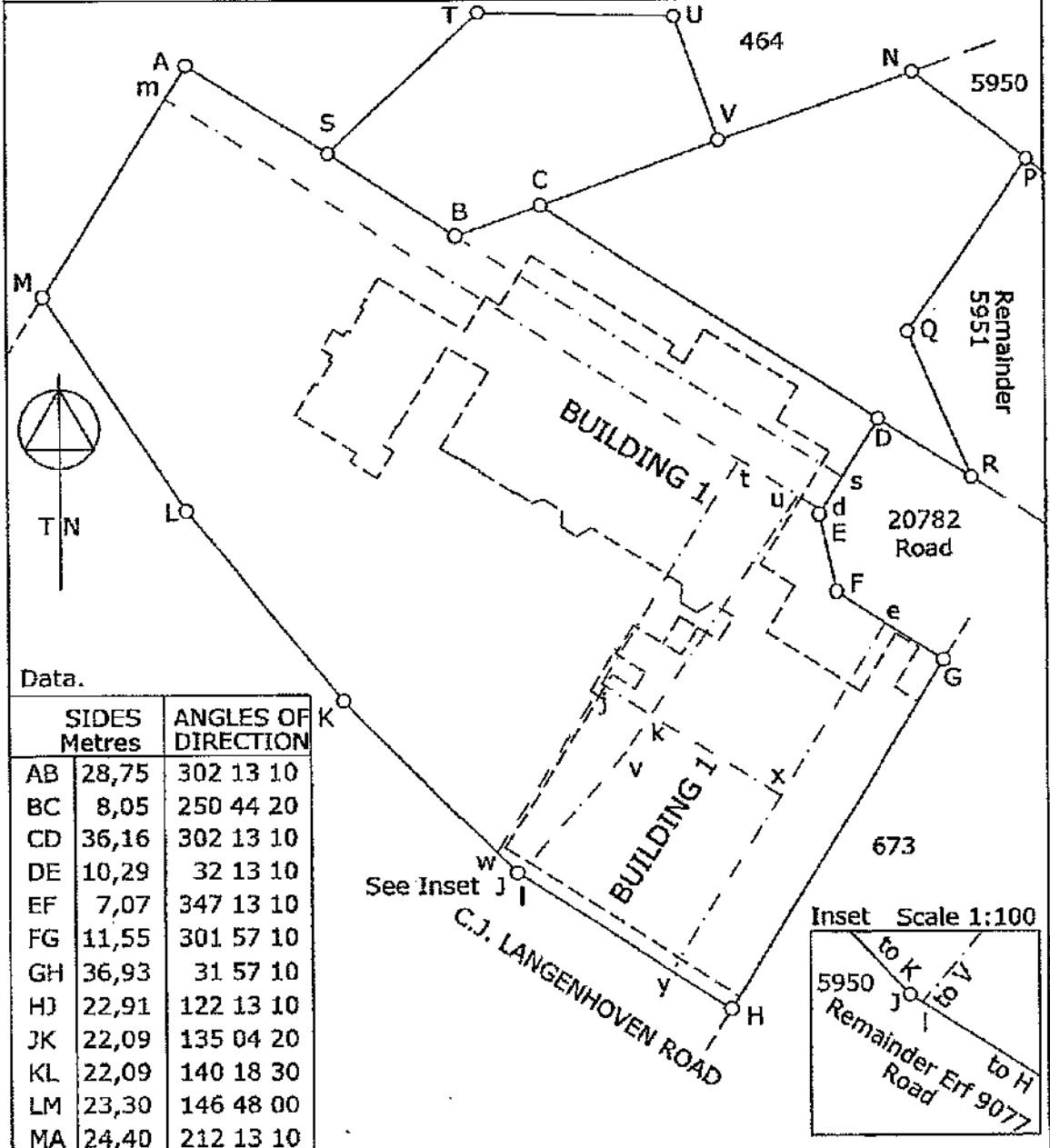
This diagram is annexed to No. T27476/2015 dated i.f.o. 27 May 2015 Registrar of Deeds	The original diagram is SG. No. B1293/1920 annexed to Deed of Grant No. Geo.Q.15-15 Filed as Plan 3CC (5279)	File No. S8775/62 v.3 S.R. No.3535/1995 Comp. BL-7DD/W41(1742) Deduction Plan 2281 Portfolio 98 LPI C0270002
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CERTIFIED COPY FOR REGISTRATION
 FOR SURVEYOR GENERAL ..*J. H. Bailey*
 DATE .. 07 OCT 2014

SECTIONAL PLAN No. SS	SHEET 1	S. G. No. D 283/2014
Registered at	OF	Approved <i>Koller</i>
Registrar of Deeds Date	2 SHEETS	for Surveyor-General Date 06-10-2014
AMENDING SECTIONAL PLAN OF EXTENSION OF SCHEME BY THE ACQUISITION OF ADDITIONAL PROPERTY IN TERMS OF SECTION 26 (and affects Sectional Plan S.G. No. D60/2003 and SS41/2004)		
<p>NAME OF SCHEME : OUTENIQUA EYE CLINIC</p> <p>DESCRIPTION OF LAND ACCORDING TO DIAGRAM :</p> <p>1.) Remainder of Erf 20781 George in extent 3497 square metres DIAGRAM No. : S.G. No. 662/2003</p> <p>2.) Erf 25871 George in extent 488 square metres DIAGRAM No. : S.G. No. 3190/2011</p> <p>3.) Erf 26209 George in extent 315 square metres DIAGRAM No. : S.G. No. /2014</p> <p>Situate in the Municipality and Administrative District of George Province of the Western Cape</p> <p>NAME OF LOCAL AUTHORITY : George Municipality</p> <p>DESCRIPTION OF BUILDINGS : 1 Building namely :-</p> <p>Building 1 as on sheet 1 of Sectional Plan S.G. No. D60/2003 and SS41/2004 and subsequent phases;</p> <p>ENCROACHMENTS ON THE LAND : None</p> <p>CERTIFICATE:</p> <p>I, John Henry Bailey, hereby certify that I have prepared sheets 1 to 2 inclusive of this sectional plan from survey in accordance with the provisions of the Sectional Titles Act 95 of 1986 and the regulations promulgated thereunder.</p> <div style="text-align: right; margin-top: 20px;">  </div> <p>Date: 2014-09-04 Signed Professional Land Surveyor Registration No. PLS 0019-D J. H. Bailey P O Box 9583 GEORGE 6530</p>		
Survey Record No.	Compilation	
	BL-7DD/W41 (1742)	

CERTIFIED COPY FOR REGISTRATION
 FOR SURVEYOR-GENERAL *J.H. Bailey*
 DATE 07 OCT 2014

SHEET 2 OF 2 SHEETS	S. G. No. D 283/2014
AMENDING SECTIONAL PLAN OF EXTENSION OF SCHEME BY ACQUISITION OF ADDITIONAL PROPERTY (and affects Sectional Plan S.G. No. D60/2003 and SS41/2004)	Approved <i>Koller</i> for Surveyor-General 06-10-2014 Date



Data.

	SIDES Metres	ANGLES OF DIRECTION
AB	28,75	302 13 10
BC	8,05	250 44 20
CD	36,16	302 13 10
DE	10,29	32 13 10
EF	7,07	347 13 10
FG	11,55	301 57 10
GH	36,93	31 57 10
HJ	22,91	122 13 10
JK	22,09	135 04 20
KL	22,09	140 18 30
LM	23,30	146 48 00
MA	24,40	212 13 10

NOTES:

- The figure A B C D E F G H J K L M represents Remainder Erf 20781 George
- The figure N P Q R C represents Erf 25871 George
- The figure S T U V B represents Erf 26209 George
- All measurements are given in metres
- denotes Consolidation Component Lines
- Data obtained from survey record E318\2003

PROFESSIONAL LAND SURVEYOR J.H. BAILEY PLS 0019-D P O Box 9583 GEORGE 6530 Tel 044-8745315	<i>J.H. Bailey</i> Date: 2014-09-04	OUTENIQUA EYE CLINIC DRAWING TITLE : BLOCK PLAN Scale 1:600
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ANNEXURE 4

CONVEYANCER'S CERTIFICATE

in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023)

I, the undersigned, DEHAN DU PLESSIS, a duly qualified and admitted conveyancer, practicing at Raubenheimers Inc., 60 Cathedral Street, George, Western Cape Province, do hereby certify that:

1. I have perused the conditions of title in respect of:

ERF 20781 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE

IN EXTENT: 3676 (THREE THOUSAND SIX HUNDRED AND SEVENTY)
SQUARE METRES

WHICH WAS HELD BY HELD BY CERTIFICATE OF REGISTERED TITLE
NUMBER T12183/2004

ON WHICH THE SECTIONAL TITLE SCHEME KNOWN AS OUTENIQUA EYE
CLINIC HAS BEEN REGISTERED UNDER SECTIONAL PLANS NO'S SG
D60/2003, SS41/2004 and SG D165/2024

2. I have been advised that the Body Corporate of the Scheme will make application in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-Law, 2023, for a building line departure as follows:

2.1 Block A: 5 (five) metre northern rear common boundary building line to 1,3 (one comma three) metres;

2.2 Block B: 5 (five) metre northern rear common boundary building line to 0 (zero) metres;

2.3 Block B: 5 (five) metre northern street boundary building line to 2,1 (two comma one) metres;

3. There are no conditions contained in the Section 11(3)(b) certificate of the scheme (which incorporates the title deed conditions in Certificate of Registered Title Number T12183/2004) which restrict the contemplated building line departure in terms of the proposed application.

Dated at GEORGE on 5 August 2024.



DEHAN DU PLESSIS
CONVEYANCER - LPC no. 60788

CONVEYANCER'S CERTIFICATE

in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023)

I, the undersigned, DEHAN DU PLESSIS, a duly qualified and admitted conveyancer, practicing at Raubenheimers Inc., 60 Cathedral Street, George, Western Cape Province, do hereby certify that:

1. I have perused the conditions of title in respect of:

ERF 25871 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE

IN EXTENT: 488 (FOUR HUNDRED AND EIGHTY EIGHT) SQUARE METRES

WHICH WAS HELD BY HELD BY DEED OF TRANSFER NUMBER
T29090/2012

ON WHICH THE SECTIONAL TITLE SCHEME KNOWN AS OUTENIQUA EYE
CLINIC HAS BEEN REGISTERED UNDER SECTIONAL PLANS NO'S SG
D60/2003, SS41/2004 and SG D165/2024

2. I have been advised that the Body Corporate of the Scheme will make application in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-Law, 2023, for a building line departure as follows:
 - 2.1 Block B: 3 (three) metre southwest side common boundary building line to 0 (zero) metres;
 - 2.2 Block B: 5 (five) metre southeast street boundary building line to 2,3 (two comma three) metres;
 - 2.3 Block B, D & E: 5 (five) metre northern street boundary building line to 0 (zero) metres;
 - 2.4 Block E & F: 3 (three) metre northeast side common boundary building line to 0 (zero) metres;
 - 2.5 Block F: 3 (three) metre southeast side common boundary building line to 0 (zero) metres;
3. There are no conditions contained in the Section 11(3)(b) certificate of the scheme (which incorporates the title deed conditions in Deed Of Transfer Number T29090/2012) which restrict the contemplated building line departure in terms of the proposed application.

Dated at GEORGE on 5 August 2024.



DEHAN DU PLESSIS
CONVEYANCER - LFC no. 60788

CONVEYANCER'S CERTIFICATE

in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023)

I, the undersigned, DEHAN DU PLESSIS, a duly qualified and admitted conveyancer, practicing at Raubenheimers Inc., 60 Cathedral Street, George, Western Cape Province, do hereby certify that:

1. I have perused the conditions of title in respect of:

ERF 5950 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE

IN EXTENT: 832 (EIGHT HUNDRED AND THIRTY TWO) SQUARE METRES

WHICH WAS HELD BY HELD BY DEED OF TRANSFER NUMBER
T34974/2017

ON WHICH THE SECTIONAL TITLE SCHEME KNOWN AS OUTENIQUA EYE
CLINIC HAS BEEN REGISTERED UNDER SECTIONAL PLANS NO'S SG
D60/2003, SS41/2004 and SG D165/2024

2. I have been advised that the Body Corporate of the Scheme will make application in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-Law, 2023, for a building line departure as follows:

2.1 Block F: Southwest and northwest 3 (three) metre side common boundary building line to 0 (zero) metres.

3. There are no conditions contained in the Section 11(3)(b) certificate of the scheme (which incorporates the title deed conditions in Deed Of Transfer Number T34974/2017) which restrict the contemplated building line departure in terms of the proposed application.

Dated at GEORGE on 5 August 2024.

DEHAN DU PLESSIS
CONVEYANCER - LPC no. 60788



CONVEYANCER'S CERTIFICATE

in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023)

I, the undersigned, DEHAN DU PLESSIS, a duly qualified and admitted conveyancer, practicing at Raubenheimers Inc., 60 Cathedral Street, George, Western Cape Province, do hereby certify that:

1. I have perused the conditions of title in respect of:

ERF 25872 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE

IN EXTENT: 1327 (ONE THOUSAND THREE HUNDRED AND TWENTY SEVEN) SQUARE METRES

WHICH WAS HELD BY HELD BY DEED OF TRANSFER NUMBER T19114/2020

ON WHICH THE SECTIONAL TITLE SCHEME KNOWN AS OUTENIQUA EYE CLINIC HAS BEEN REGISTERED UNDER SECTIONAL PLANS NO'S SG D60/2003, SS41/2004 and SG D165/2024

2. I have been advised that the Body Corporate of the Scheme will make application in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-Law, 2023, for a building line departure as follows:
 - 2.1 Block D, E & F: 3 (three) metre southern side common boundary building line to 0 (zero) metres;
 - 2.2 Block C: 5 (five) metre southwest street boundary building line to 0 (zero) metres;
 - 2.3 Block C: 3 (three) metre northwest side common boundary building line to 0 (zero) metres;
 - 2.4 Block D: 5 (five) metre southwest street boundary building line to 1.5 (one comma five) metres.
3. There are no conditions contained in the Section 11(3)(b) certificate of the scheme (which incorporates the title deed conditions in Deed Of Transfer Number T19114/2020) which restrict the contemplated building line departure in terms of the proposed application.

Dated at GEORGE on 5 August 2024.

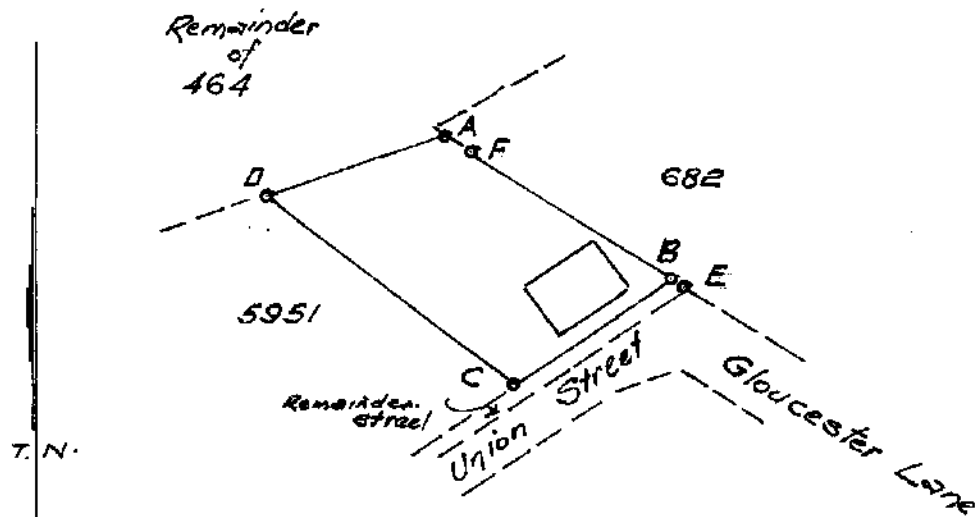


DEHAN DU PLESSIS
CONVEYANCER - LPC no. 60788

ANNEXURE 5

SIDES Metres		ANGLES OF DIRECTION	CO-ORDINATES Y System Hoogeburg X		S.G. No.
		<i>Constants</i>		+ 32 000,00 + 12 700,00	3833/72
AB	35,37	302.18.40	A +	110,78 + 37,83	Approved <i>T. Hasnael</i> Surveyor-General 11-8-1972
BC	25,00	55.30.10	B +	80,89 + 56,74	
CD	41,20	127.18.40	C +	101,49 + 70,90	
DA	24,84	250.58.40	D +	134,26 + 45,93	
BE	1,78	302.18.40	E +	79,38 + 57,69	
BF	31,89	122.18.40	F +	107,84 + 39,69	

72



Beacons:-
A, not beaconsed.
B.C.D.E&F, iron peg 12m.m. dia.

Scale: 1/1000

The figure ABCD _____
 represents 832 Sq. metres _____ of land, being
E of 5950 portion of Erf 680 George
 situate in the Municipality and _____
 Administrative District of George, _____ Province of Cape of Good Hope.
 Surveyed in May 1972
 by me, _____ *T. Hasnael*
 Land Surveyor

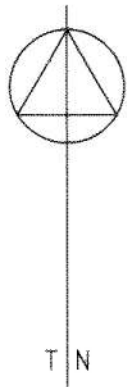
This diagram is annexed to <i>D/T</i> No. <u>30227/72</u> dated i.f.o.	The original diagram is	File No. <u>S/8775/62</u>
	No. <u>5283/1935</u> annexed to Transfer/ <u>Geest</u> No. <u>1386.97.5060</u>	S.R. No. <u>B. 1149/72</u> Comp. <u>BL-700</u> <u>W41</u>

Registrar of Deeds



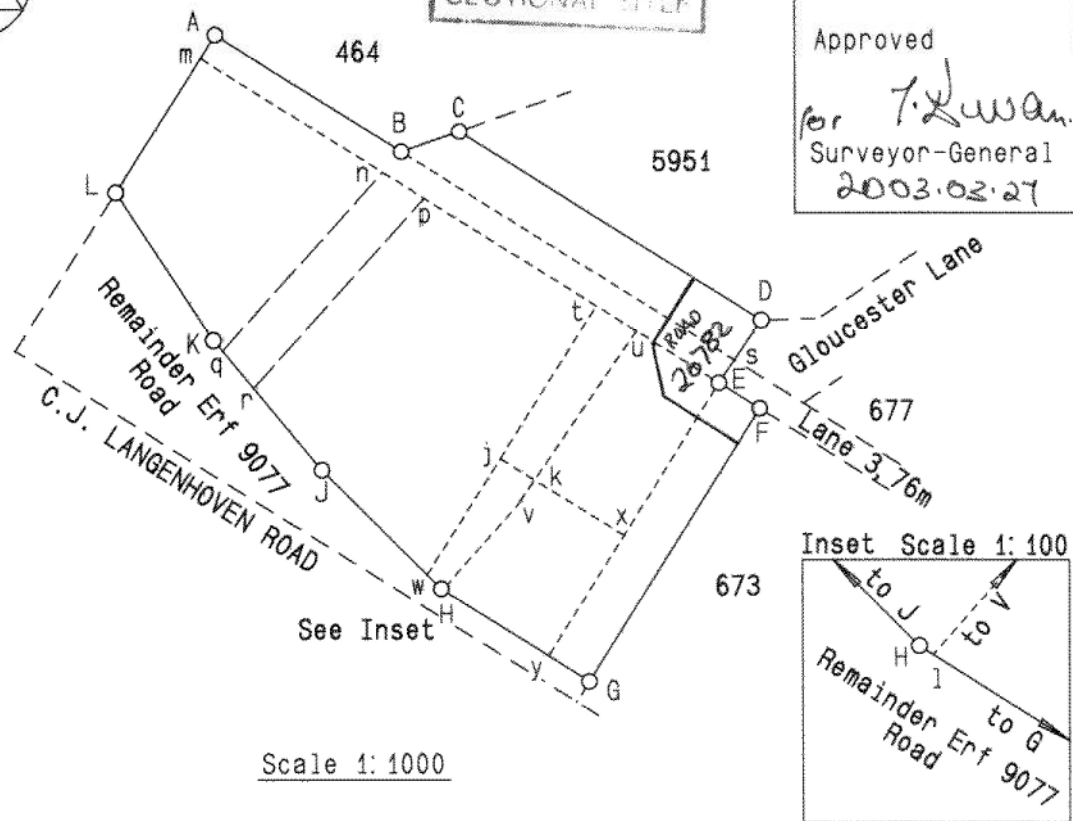
S
C

DUMBRIDGE



SUBJECT TO SECTIONAL TITLE

S.G. No.
662/2003
Approved
for T. Luwan
Surveyor-General
2003.02.27



Scale 1:1000

Servitude

The figure nprq is a servitude Right of way 6,3m wide.
Vide diagram 5285/1935 annexed to transfer 1936.97.5060

Components.

- 1) The figure ABCDEyHJKL being Remainder Erf 9076 George
Vide Dgm 1563/1982 annexed to CCT 1986. .10806
- 2) The figure EFGy being Erf 20780 George
Vide Dgm 661/2003 annexed to transfer

The figure A B C D E F G H J K L represents 3676 square metres of land, being
ERF 20781 GEORGE and comprises 1) and 2) above
situate in the Municipality and Administrative District of George
Province of the Western Cape
Compiled in November 2002
by me

J H Bailey
Professional Land Surveyor
J H Bailey PLS 0019

This diagram is annexed to No. CCT 12183/2004 Dated i.f.o. Registrar of Deeds	The original diagrams are as quoted above	File No. S/8775/49 Compiled Comp.BL-7DD/W41 (1742)
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662/03

THE FOLLOWING DEDUCTIONS HAVE BEEN MADE FROM THIS

SURVEY RECORD	DIAGRAM NO.	SUBDIVISION	AREA HA./SQ. M.	TRANSFER NO.		
E 318/03 E 3555/95	063/03	E 120782 R6MS.	179 m ²	12184/04	MAB	3497 m ²

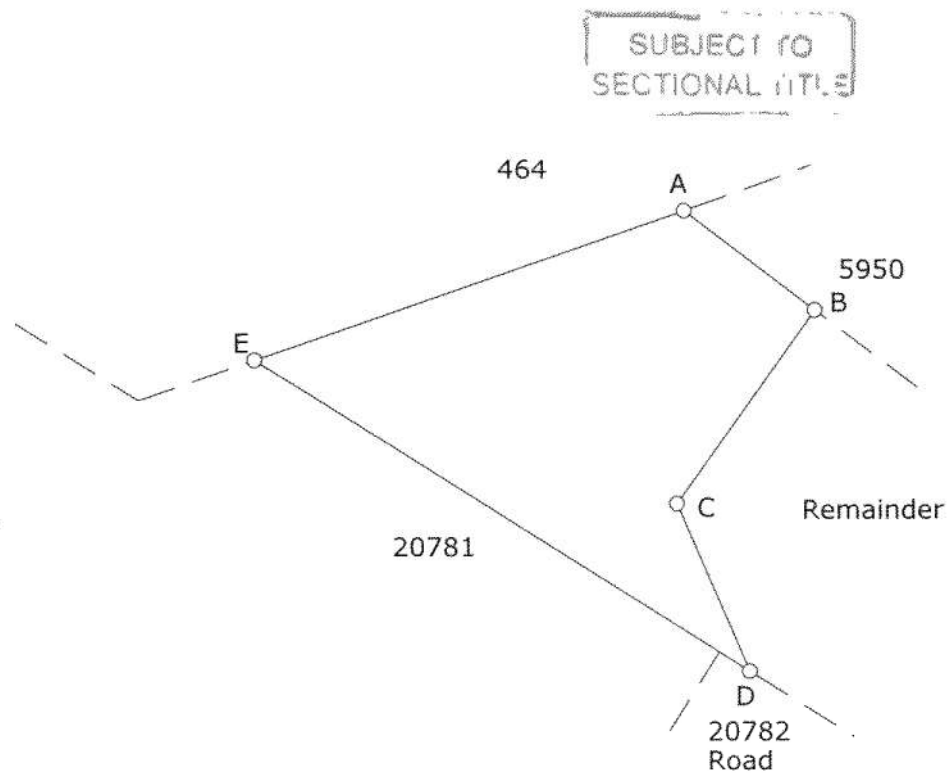
3676
179

3497

SECTIONAL TITLES				
SRE NO	SRD NO.	SS NO.	INITIAL	DATE
318/2003	60/2003	41/2004	MA	28-09-2004
E 769/2007	D 213/2007	184/2010	MA	20-03-03
E 759/2007	D 214/2007	185/2010	MA	20-03-03
E 759/2007	D 215/2007	186/2010	MA	20-03-03
E 759/2007	D 216/2007	187/2010	MA	20-03-03
E 759/2007	D 17/2007	188/2010	MA	20-03-03
E 1205/2011	D 313/2011	167/2012	MA	20-03-03
E 777/2012	D 195/2012	3/2014	MA	20-06-28
"	D 196/2012	4/2014	MA	20-06-28
"	D 197/2012	2/2014	MA	20-06-28
"	D 198/2012	5/2014	MA	20-06-28
S 1045/2014	D 283/2014	188/2015	MA	
S R 1461/2019	D 442/2019	123/2020		
S R 542/2024	O 165/2024			

SIDES Metres		ANGLES OF DIRECTION	CO-ORDINATES Y System WG 23° X			S.G. No. 3190/2011
		CONSTANTS		0,00	+3 700 000,00	Approved <i>[Signature]</i> for Surveyor-General 2011.09.12
AB	10,87	307 12 40	A	+50 595,61	+58 870,87	
BC	15,72	35 38 20	B	+50 586,95	+58 877,44	
CD	12,05	336 34 20	C	+50 596,12	+58 890,22	
DE	38,55	122 13 10	D	+50 591,32	+58 901,28	
EA	29,99	250 49 40	E	+50 623,94	+58 880,72	
		15P4	⊕	+50 480,72	+58 503,88	
		64P4	⊕	+50 207,10	+59 220,95	

Beacon Descriptions:
A, B, C, D 12mm iron pegs
E 12mm iron peg 0,2m long



Scale 1: 500

The figure A B C D E represents 488 Square metres of land, being Erf 25871, a portion of Erf 5951 GEORGE

Situate in the Municipality and Administrative District of George

Province of the Western Cape

[Signature]

Surveyed in August 2011 by me

J H Bailey (PLS0019) Professional Land Surveyor

This diagram is annexed to No. 129098/2012 dated i.f.o.

The original diagram is SG. No. 3834/1972 annexed to Transfer 1972 . . . 30228

File No. S/8775/62
S.R. No. 1205/2011
Comp. BL-7DD/W41(1742)
LPI C0270002

Registrar of Deeds

Erf 25871 George

FOR RECORDS ONLY
SEE BACK OF DIAGRAM

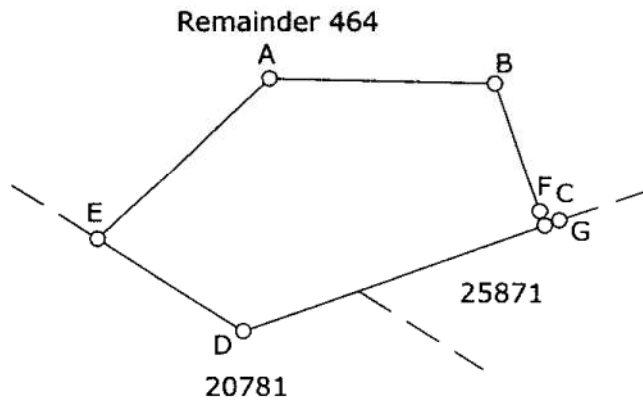
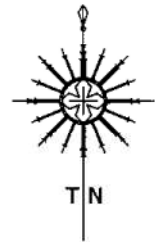
EXEMPT FROM PROVISIONS OF ACT 70 OF 1970 (g)

APPROVED IN TERMS OF SECT. 25 OF ORD. 15/1985
REF. Erf 5951, George
DATE 14 July 2011

S

SIDES Metres	ANGLES OF DIRECTION	CO-ORDINATES		S.G. No.
		Y System WG 23°	X	
	constant	0,00	+3 700 000,00	2066/2014
AB 14,86	271 13 50	A +50 629,78	+58 866,70	Approved
BC 9,98	340 49 40	B +50 614,93	+58 867,02	<i>Koller</i>
CD 21,07	70 49 40	C +50 611,65	+58 876,45	for Surveyor-General
DE 11,34	122 13 10	D +50 631,54	+58 883,38	06-10-2014
EA 15,56	226 52 00	E +50 641,13	+58 877,33	
Indicatory data				
CF 1,00	160 49 40	F +50 611,98	+58 875,50	
CG 1,00	250 49 40	G +50 610,70	+58 876,12	
	15P4	⊕ +50 480,72	+58 503,88	
	106P4	⊕ +47 828,18	+59 198,82	

Beacon Descriptions:
 A, B, D, E, F, G 12mm iron pegs
 C no beacon



SUBJECT TO SECTIONAL TITLE

Scale 1: 500

The figure A B C D E represents 315 Square metres of land, being Erf 26209 , a portion of Erf 464 GEORGE

Situate in the Municipality and Administrative District of George Province of the Western Cape

Surveyed in November 1995 and September 2014 by me

J.H.Bailey (PLS0019) Professional Land Surveyor

J.H. Bailey

This diagram is annexed to No. T 27476/2015 dated i.f.o.

The original diagram is SG. No. B1293/1920 annexed to Deed of Grant No. Geo.Q.15-15 Filed as Plan 3CC (5279)

File No. S8775/62 v.3
 S.R. No.3535/1995
 Comp. BL-7DD/W41(1742)
 Deduction Plan 2281
 Portfolio 98
 LPI C0270002

Registrar of Deeds

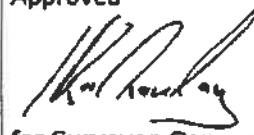
EXEMPT FROM PROVISIONS OF ACT 70 OF 1970
 SECTION 1 (a)

APPROVED IN TERMS OF SECT. 25 OF OFD. 15/1985
 REF. ERF 20781, GEORGE
 DATE 28-08-2014

S

SECTIONAL PLAN No. SS: 188/2015	SHEET 1	S. G. No. D 283/2014
Registered at Cape Town	OF	Approved <i>Koller</i>
Registrar of Deeds Date: 2015-05-27	2 SHEETS	for Surveyor-General Date 06-10-2014
AMENDING SECTIONAL PLAN OF EXTENSION OF SCHEME BY THE ACQUISITION OF ADDITIONAL PROPERTY IN TERMS OF SECTION 26 (and affects Sectional Plan S.G. No. D60/2003 and SS41/2004)		
<p>NAME OF SCHEME : OUTENIQUA EYE CLINIC</p> <p>DESCRIPTION OF LAND ACCORDING TO DIAGRAM :</p> <p>1.) Remainder of Erf 20781 George in extent 3497 square metres DIAGRAM No. : S.G. No. 662/2003</p> <p>2.) Erf 25871 George in extent 488 square metres DIAGRAM No. : S.G. No. 3190/2011</p> <p>3.) Erf 26209 George in extent 315 square metres DIAGRAM No. : S.G. No. 2066/2014</p> <p>Situate in the Municipality and Administrative District of George Province of the Western Cape</p> <p>NAME OF LOCAL AUTHORITY : George Municipality</p> <p>DESCRIPTION OF BUILDINGS : 1 Building namely :- Building 1 as on sheet 1 of Sectional Plan S.G. No. D60/2003 and SS41/2004 and subsequent phases;</p> <p>ENCROACHMENTS ON THE LAND : None</p> <p>CERTIFICATE: I, John Henry Bailey, hereby certify that I have prepared sheets 1 to 2 inclusive of this sectional plan from survey in accordance with the provisions of the Sectional Titles Act 95 of 1986 and the regulations promulgated thereunder.</p> <p style="text-align: right;"><i>JH Bailey</i> Professional Land Surveyor P O Box 9583 GEORGE 6530</p>		
Date: 2014-09-04 Registration No. PLS 0019-D	Signed J. H. Bailey	
Survey Record No.	Compilation BL-7DD/W41 (1742)	

CERTIFIED COPY FOR REGISTRATION
 FOR SURVEYOR-GENERAL *Bailey*
 DATE 31-10-2019

SIDES Metres	ANGLES OF DIRECTION	CO-ORDINATES Y System WG 23° X		S.G. No. 2215/2019	
		Y	X		
	constant	0,00	+3 700 000,00	Approved  for Surveyor-General 2019-10-31	
AB	309 52 10	+50 585,56	+58 827,40		
BC	36 15 30	+50 562,53	+58 846,63		
CD	302 12 20	+50 573,66	+58 861,79		
DE	70 49 40	+50 572,17	+58 862,72		
EF	160 49 40	+50 611,65	+58 876,44		
FG	91 13 50	+50 614,93	+58 867,02		
GA	219 52 00	+50 618,58	+58 866,94		
Indicatory data					
EH	160 49 40	+50 611,98	+58 875,50	Sheet 1 of 2 sheets	
EJ	250 49 40	+50 610,70	+58 876,12		
Servitude data					
AK	39 52 00				
KM	259 16 10	+50 592,57	+58 835,79		
MA	129 52 10	+50 578,67	+58 833,15		
GN	219 52 00				
NP	270 20 40	+50 616,51	+58 864,46		
PQ	260 05 10	+50 607,88	+58 864,51		
QR	245 43 30	+50 576,77	+58 859,07		
RS	36 15 30	+50 569,14	+58 855,63		
SC	36 15 30	+50 573,03	+58 860,94		
QS	296 28 50				
	15P4	⊕ +50 480,72	+58 503,88		
	106P4	⊕ +47 828,18	+59 198,82		

SERVITUDES:

- 1) The line KM represents the centre line of a water pipe line servitude 1 metre wide as shown.
- 2) The lines NP, PQ, QR, and QS represent the centre line of a storm water servitude 1 metre wide as shown.

EXEMPT FROM PROVISIONS OF ACT
 70 OF 1970
 SECTION 1(a)

The figure A B C D E F G
 represents 1327 Square metres of land, being
Erf 28572 , a portion of Erf 464 GEORGE

Situate in the Municipality and
 Administrative District of George
 Province of the Western Cape

Surveyed in November 1995, September 2014, February - July 2019

by me

J.H.Bailey (PLS0019) Professional Land Surveyor

J.H. Bailey

Approved i.t.o. Section 60
 of Municipal Land Use Planning Bylaw
 Ref: Erf 5980, George
 Date: 7 October 2019

This diagram is annexed to
 No. dated i.f.o.

Registrar of Deeds

The original diagram is
 SG. No. B1293/1920
 annexed to Deed of Grant
 No. Geo.Q.15-15
 Filed as Plan 3CC (5279)

File No. S8775/62 V.3
 S.R. No. 1441/2019
 Comp. BL-7DD/W41(1742)
 Deduction Plan 2281
 Portfolio 98
 LPI C0270003

FOR ENDORSEMENTS
 SEE BACK OF DIAGRAM

CERTIFIED COPY FOR REGISTRATION
FOR SURVEYOR-GENERAL *Bailey*
DATE 31-10-2019

S.G. No.
2215/2019
Approved
[Signature]
for Surveyor-General
2019.10.31
Sheet 2 of 2 sheets

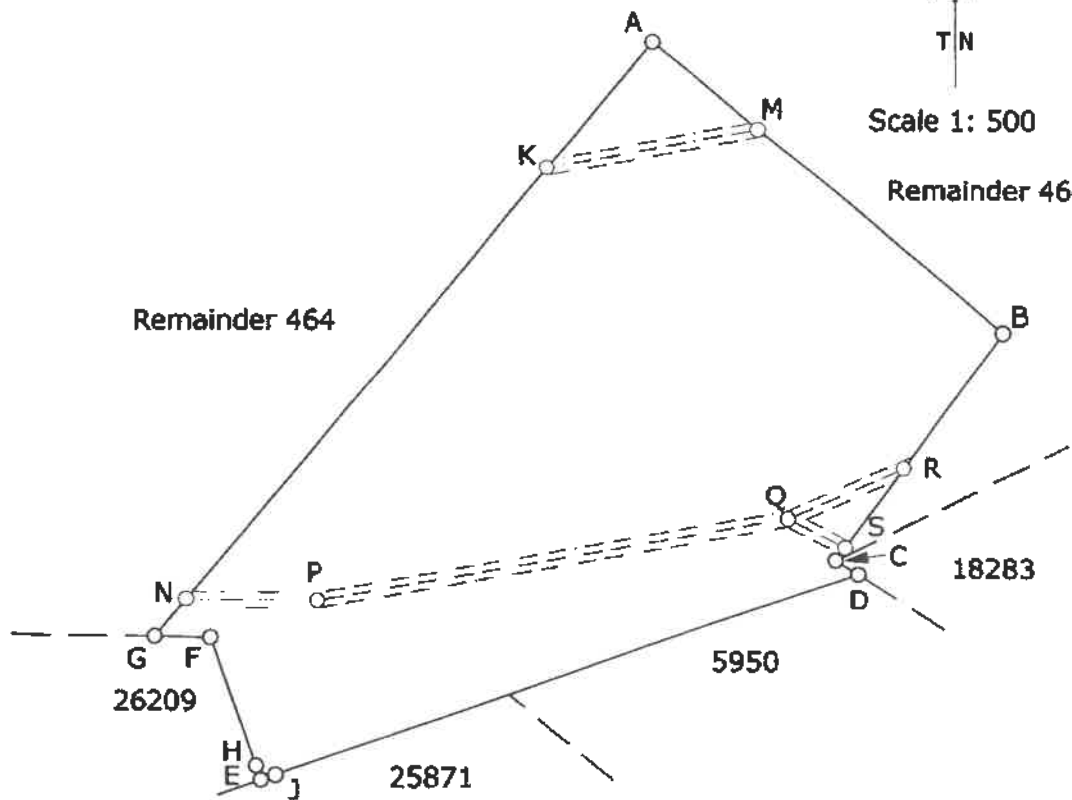
Subject to
Sectional Title

Beacon Descriptions:
A, B, C, D, F, H, J, K, M, N, R, S 12mm iron pegs
P, Q centre of circular manhole cover
E no beacon
G 12mm hole in concrete block



Scale 1: 500

Remainder 464



Erf 28572 , a portion of Erf 464 GEORGE

Situate in the Municipality and
Administrative District of George
Province of the Western Cape

Surveyed in November 1995, September 2014, February - July 2019
by me

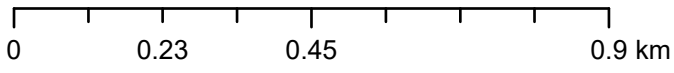
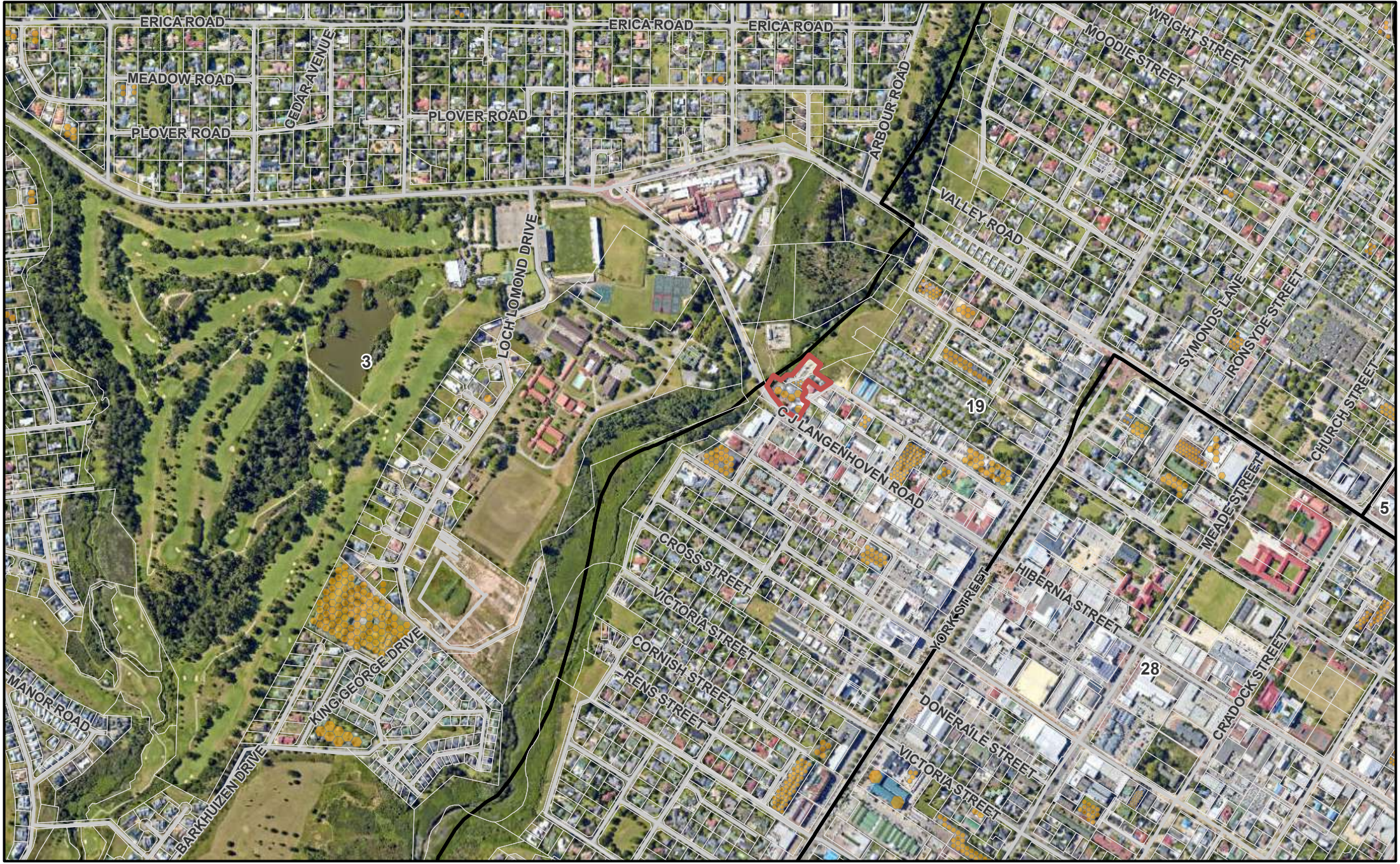
J.H.Bailey (PLS0019) Professional Land Surveyor

[Signature]

ANNEXURE 6



Locality: Erven 20781, 25871, 5950, 28572 and 26209, George



Date: 7/11/2024 9:21 AM

Scale: 1:11,437



Disclaimer
George Municipality makes no warranties as to the correctness of the information supplied. Persons relying on this information do so entirely at their own risk.
George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.

ANNEXURE 7



SITE DEVELOPMENT PLAN
scale 1:250

NEW AREAS:

- A = 25.8m²
- B = 176.1m²
- C = 279.9m²
- D = 212.8m²
- E = 218m²
- F = 139.9m²

TOTAAL: 1052.5m²

SKETCH PLAN
FOR INFORMATION ONLY
FOR CONSTRUCTION

revision	description	datum

NOTE: DIMENSIONS SCALED OFF THE DRAWINGS ARE NOT VALID. ALL DRAWINGS AND DIMENSIONS MUST BE CHECKED ON SITE BEFORE ANY MATERIALS ARE ORDERED OR BUILDING WORK COMMENCES. ANY DISCREPANCIES BETWEEN DRAWINGS AND QUERIES MUST BE DIRECTED TO THE ARCHITECT FOR APPROVAL. COPYRIGHT OF THESE DRAWINGS IS PROTECTED AND RESERVED IN TERMS OF THE ARCHITECTS ACT 33 OF 1978 AND THE COPYRIGHT ACT 94 OF 1978 AND ANY UNAUTHORIZED INFRINGEMENT THEREOF OR REPRODUCTION WILL BE UNLAWFUL. THE AUTHOR'S RIGHTS ARE RESERVED.

LET WEL: GEEN MATES MOET VAN TEKENING AFGEKRAAL WORD NIE ALLE TEKENING EN AFMETINGS MOET OP TERREIN WAGSAAN WORD AL VOOR NIE ENIGE MATERIAAL BESTEL WORD OF BOUWERK IN AANVAANG NEEM. ENIGE TERSKRYWINGS TUSSEN TEKENING EN ENIGE NAWRAE MOET VERWYS WORD NA DIE ARGITEK VIR GOEDKEURING. KOPRECHT VAN DESE TEKENING WORD BESKERM EN VOORBEHOU IN TERME VAN DIE ARGITEKSWET 33 VAN 1978 EN DIE KOPRECHTSWET 94 VAN 1978 EN ENIGE ONOEMAGTIGE OORTREDDINGS OF REPRODUKSIE SAL ONWETTIG WES. DIE OUTEUR IS REGTE WOUDE BENU.



125 Meade Street
PO Box 845
George 6530
Tel. 044 874 23045
Cell. 082 896 5647
www.sdkarchitects.com
info@sdkarchitects.com

projekbeskrywing project description
PROPOSED NEW CARPORTS TO EXISTING GEORGE SURGICAL CENTRE ON REMAINDER ERF 20781 C.J. LANGENHOVEN ROAD - GEORGE

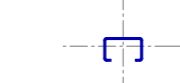


tekeningbeskrywing drawing description
SITE PLAN: Carports with Solar Panels

get.	dwn.	ns	ch	skaal	scale
AdT/JD	AdT			1:250	
datum	date	tekening no.	drawing no.		
14/8/2024		WD/001			
werk nr	proj.no.				
2217					

Z:\PROJECT\152022217-George Surgical Centre-Adaptasies/Werkelemente/Fraam/Carports_Municipal Plan.dwg

ALL BOLTS M12 (316 STAINLESS STEEL)
 ALL COLUMNS, RAFTERS & PURLINS TO BE GALVANIZED
 PURLINS FIXED WITH 6 mm GALV. CLEATS & 2M12 BOLTS
 RAFTERS TO BE FIXED WITH 4M12 BOLTS

LEGEND (BLOCK 1, 2, 3 & 4):

-  COLUMN: 125 x 75 x 20 x 3 CFLC
-  RAFTER: 175 x 75 x 20 x 3.5 CFLC
-  PURLIN: 150 x 75 x 20 x 3 CFLC

SOLAR PANEL:
 2266 x 1134 x 35






- GENERAL NOTES**
1. ALL WORK TO SABS 1200 & NBR & NHBC.
 2. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL ARCHITECTS DRAWINGS AND OTHER CONTRACT DOCUMENTATION.
 3. ANY DISCREPANCY IS TO BE REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION.
 4. ALL REINFORCED CONCRETE 25MPa.
 5. ALL CONCRETE TO BE VIBRATED.
 6. COVER TO STEEL BASES 50 - COLUMNS 40 SLABS 30 - BEAMS 30.
 7. ENGINEER TO CHECK REINFORCING BEFORE CASTING CONCRETE.
 8. POSITIONING AND LEVELS OF THE STRUCTURE TO BE IN ACCORDANCE WITH THE ARCHITECTS DRAWINGS.
 9. ANY DISCREPANCY BETWEEN STRUCTURAL AND ARCHITECTURAL DRAWINGS IS TO BE REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION.
 10. ALL PROPRIETARY PRODUCTS ARE TO BE STORED, FIXED AND APPLIED TO MANUFACTURERS SPECIFICATIONS.
 11. ALL WATERPROOFING TO BE DONE BY A SPECIALIST.

BLOCK 1
 108 PANELS
 272 m²

BLOCK 2 & 3
 166 PANELS
 442 m²

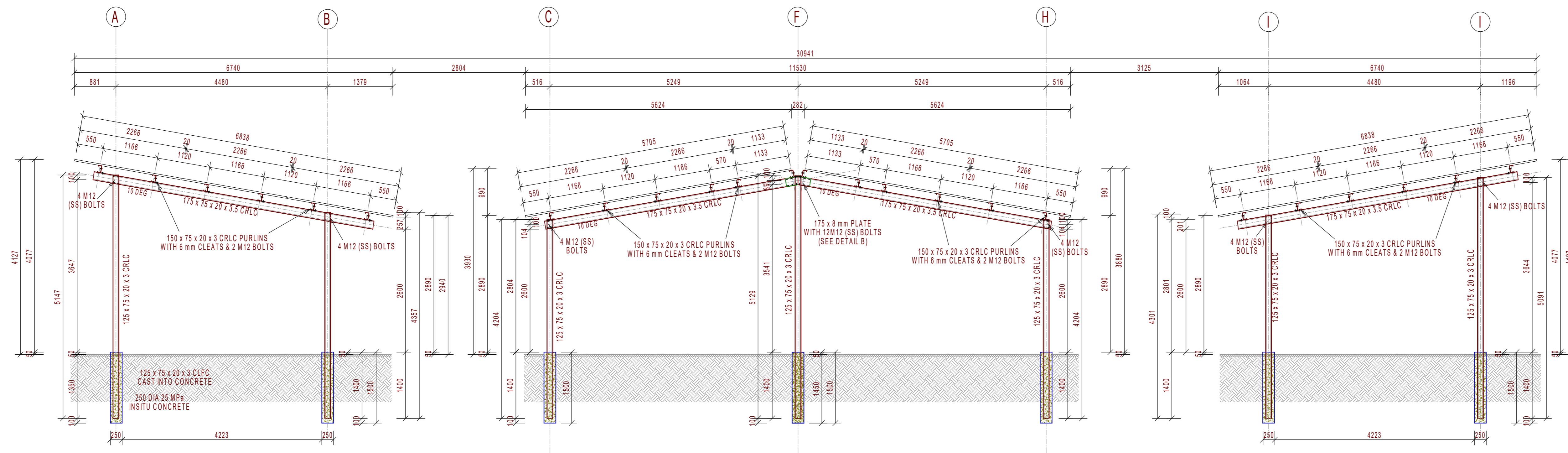
BLOCK 4
 54 PANELS
 140 m²

CARPOT BLOCKS 1, 2, 3 & 4 LAYOUT
 1:50

REV	DESCRIPTION BESKRYWING	BY	DEUR	DATE DATUM
CLIENT KLIENT				
GEORGE SURGICAL CLINIC				
PROJECT PROJEK				
44 LANGENHOVEN STREET, GEORGE				
TITLE TITEL				
SOLAR PANEL CARPORT BLOCK 1, 2, 3 & 4 LAYOUT				
SCALE/ SKAAL 1:50				
 CONSULTING STRUCTURAL ENGINEERING				
   				
GEORGE: 7 BLOEMHOF BUILDING 65 YORK STREET TEL 044 - 874 6042/113 info@dmsgeorge.co.za				
MOSSEL BAY: 43 DA GAMA STREET MOSSELBAY CELL:0845707337 eugene@dmsmosselbay.co.za				
OVERBERG: 27A VAN EDEEN STREET SWELLENDEAM CELL: 0845175047 cobusvd@dmsoverberg.co.za				
DESIGNED ONTWERP GABRIEL DELPORT				
DRAWN GETEKEN HENDRIG MARX				
CHECKED NAGESIEN				
DATE/ DATUM 03.04.2024				
STATUS PRELIMINARY				
DRAWING NO Z 005 - 1 A				
TEKENING NR REV				

ANNEXURE 8

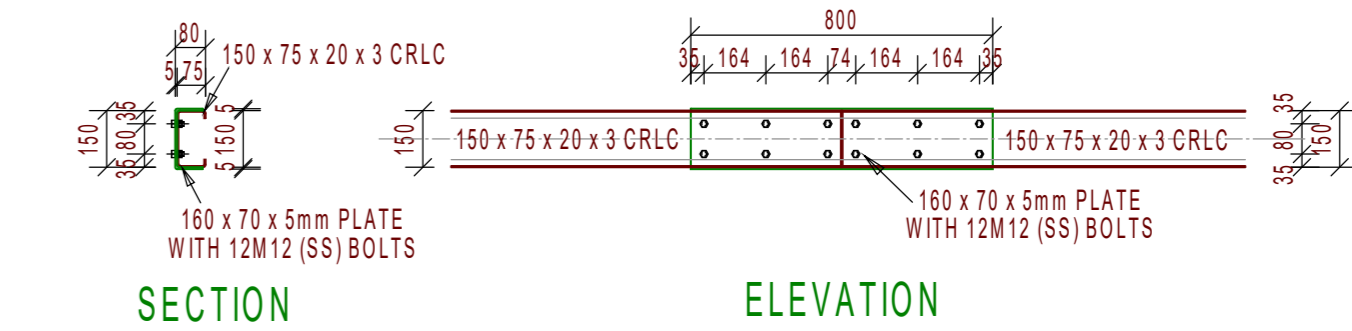
ALL BOLTS M12 (316 STAINLESS STEEL)
ALL COLUMNS, RAFTERS & PURLINS TO BE GALVANIZED
PURLINS FIXED WITH 6 mm GALV. CLEATS & 2 M12 BOLTS
RAFTERS TO BE FIXED WITH 4 M12 BOLTS



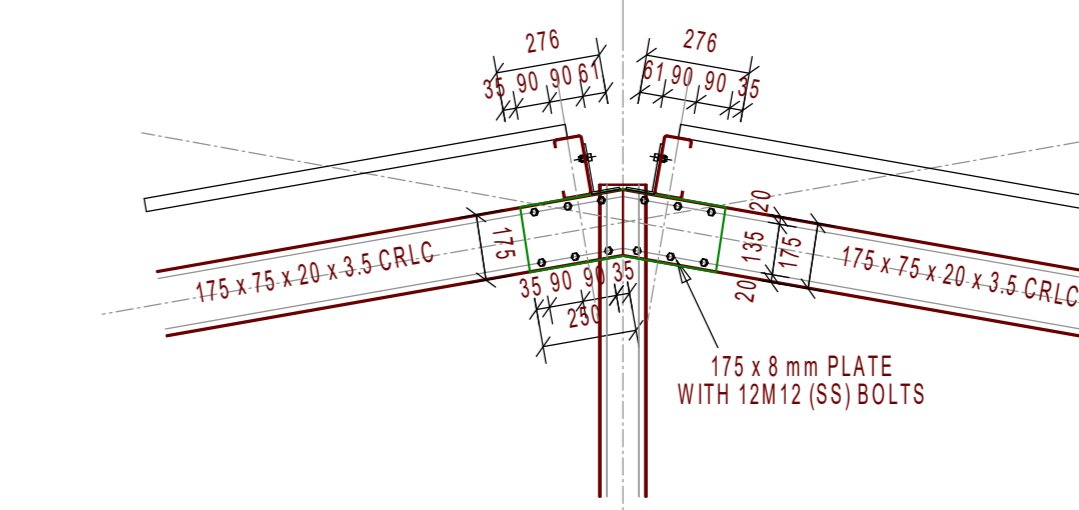
SECTION A - A:
BLOCK 1
1:50

SECTION B - B:
BLOCKS 2 & 3
1:50

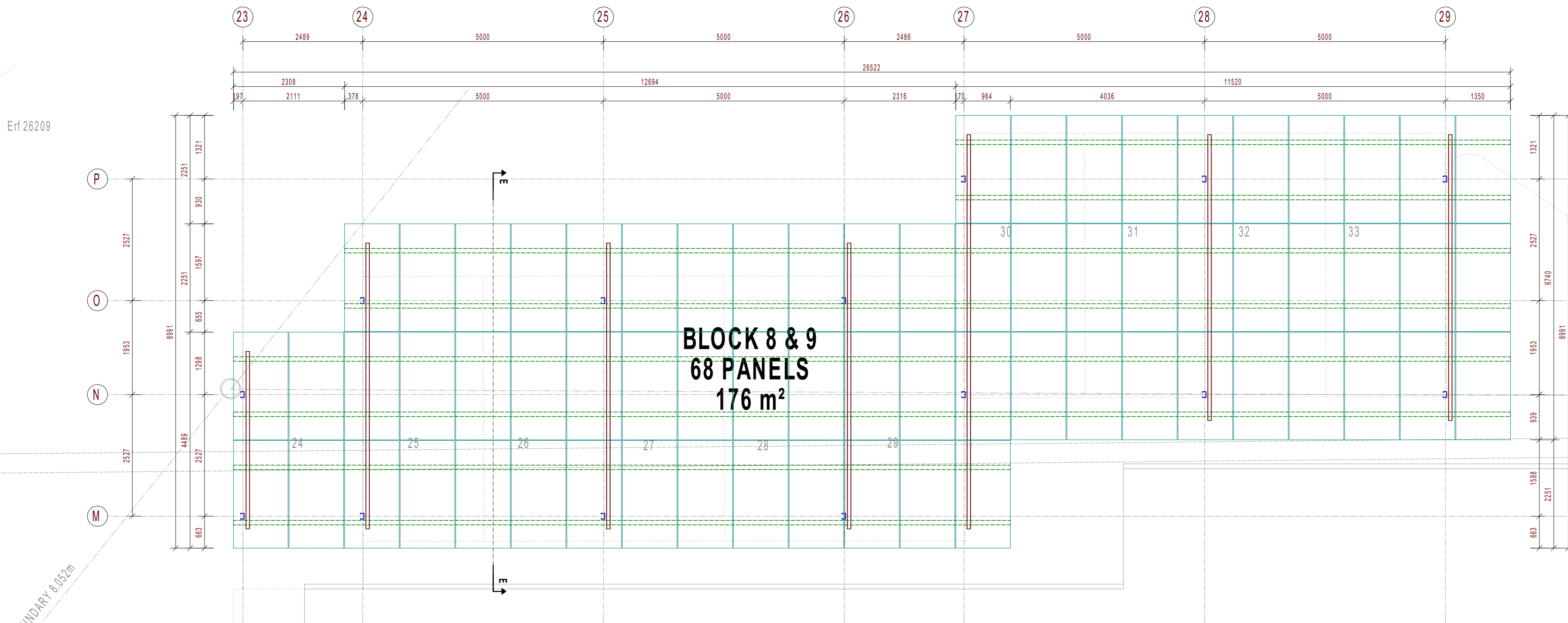
SECTION C - C:
BLOCK 4
1:50



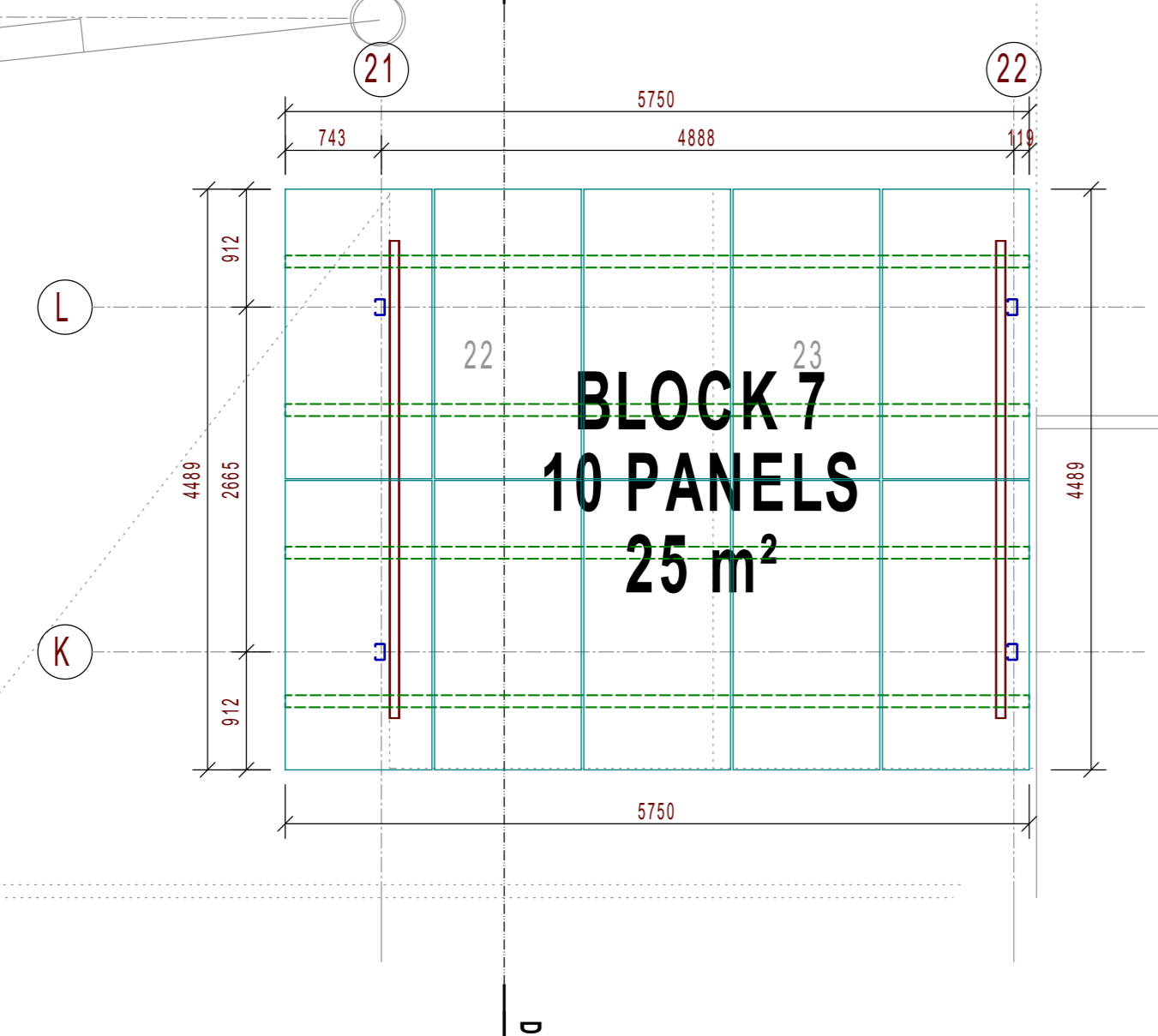
DETAIL A:
TYPICAL PURLIN SPLICE
1:20



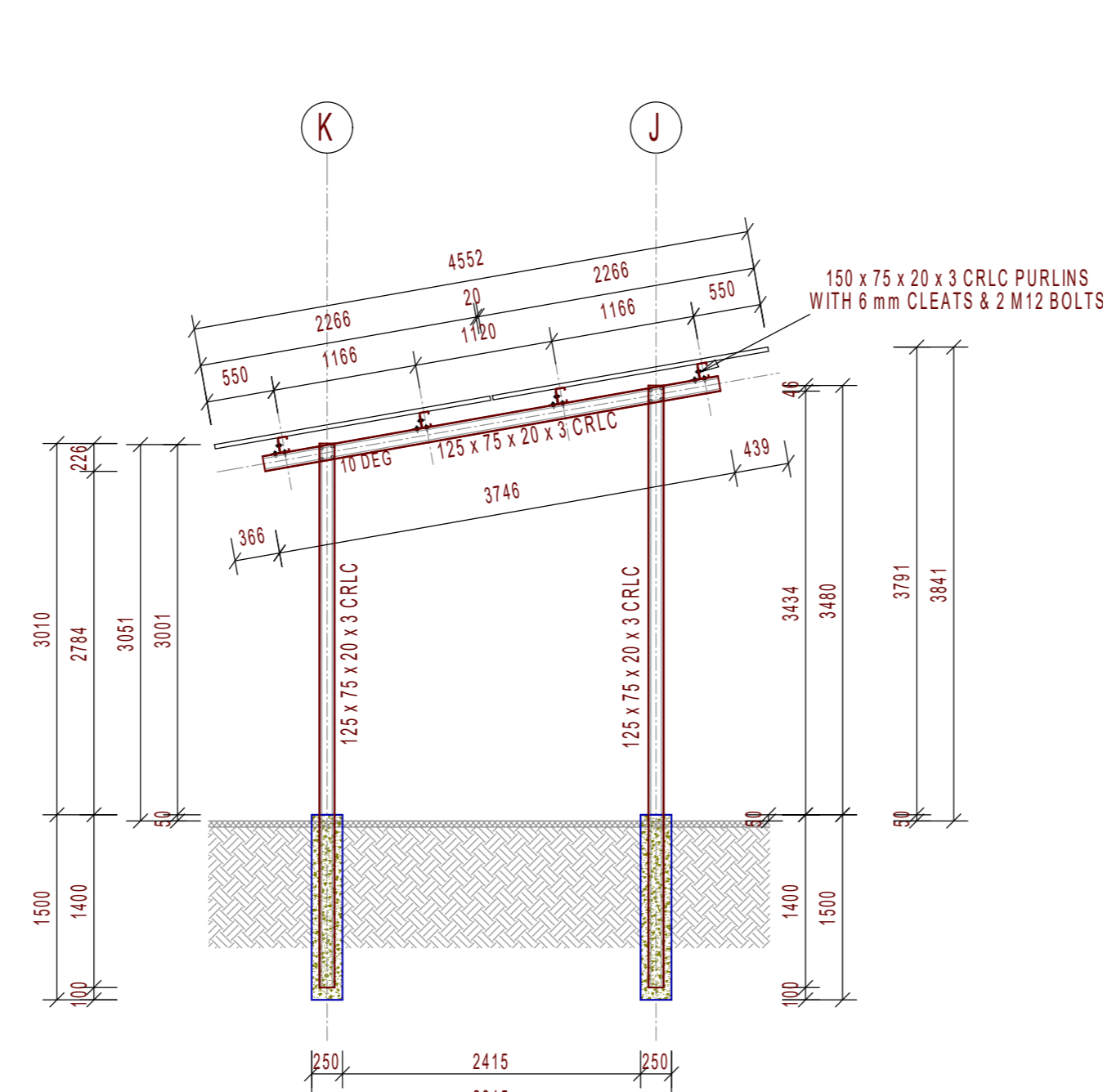
DETAIL B:
BLOCK 2 & 3 RIDGE CONNECTION
1:20



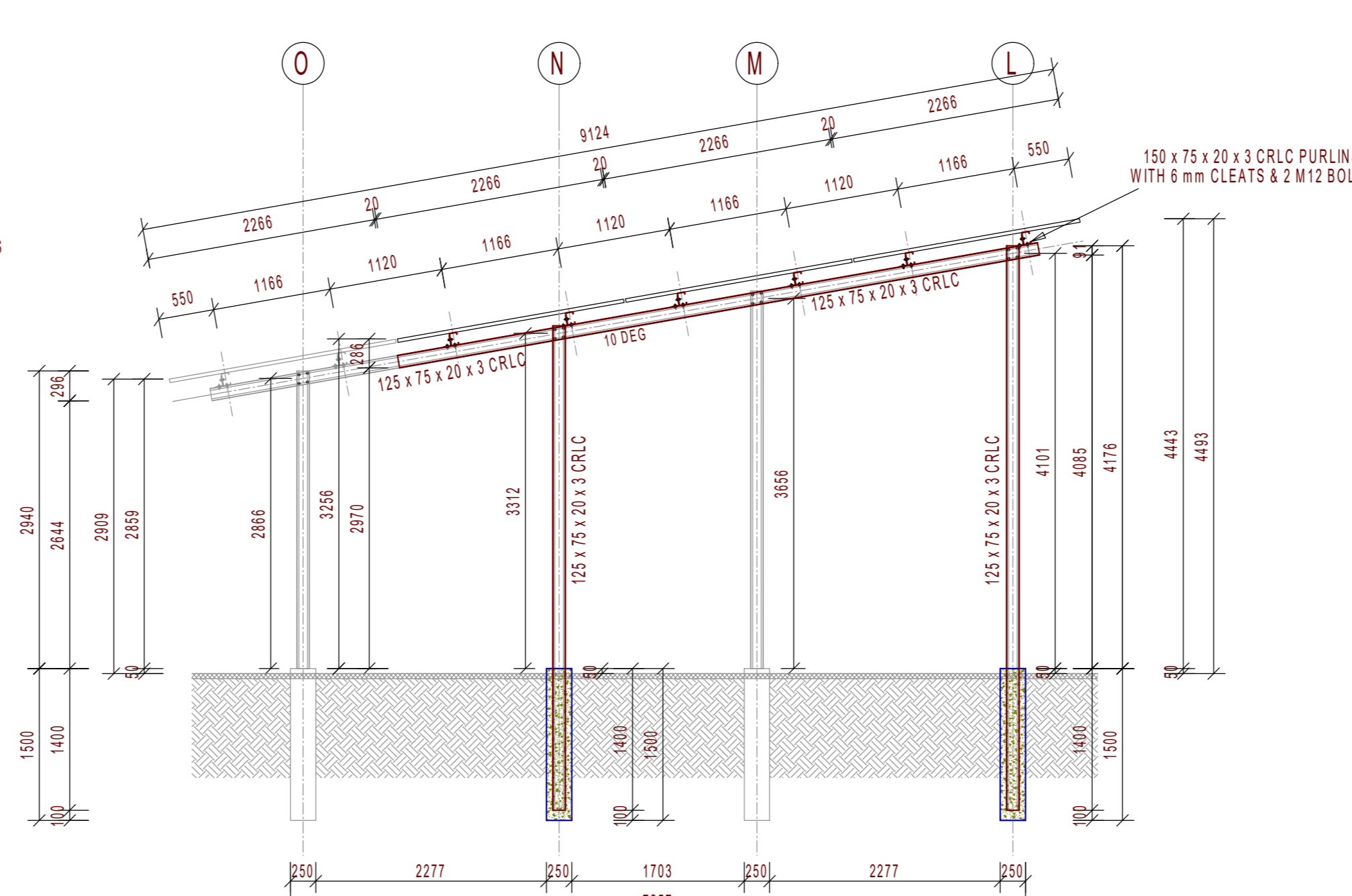
CARPOT BLOCK 8 & 9 LAYOUT
1:50



CARPOT BLOCK 7 LAYOUT
1:50



SECTION D - D:
BLOCK 7
1:50



SECTION E - E:
BLOCKS 8 & 9
1:50

LEGEND (BLOCK 7, 8 & 9):

- COLUMN: 125 x 75 x 20 x 3 CR/LC
- RAFTER: 125 x 75 x 20 x 3 CR/LC
- PURLIN: 125 x 75 x 20 x 3 CR/LC

SOLAR PANEL:
2266 x 1134 x 35

GENERAL NOTES

1. ALL WORK TO SABS 1200 & NBR & NHBC.
2. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL ARCHITECTS DRAWINGS AND OTHER CONTRACT DOCUMENTATION.
3. ANY DISCREPANCY IS TO BE REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION.
4. ALL REINFORCED CONCRETE 25 MPa.
5. ALL CONCRETE TO BE VIBRATED.
6. COVER TO STEEL BASES 50 - COLUMNS 40 SLABS 30 - BEAMS 30.
7. ENGINEER TO CHECK REINFORCING BEFORE CASTING CONCRETE.
8. POSITIONING AND LEVELS OF THE STRUCTURE TO BE IN ACCORDANCE WITH THE ARCHITECTS DRAWINGS.
9. ANY DISCREPANCY BETWEEN STRUCTURAL AND ARCHITECTURAL DRAWINGS IS TO BE REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION.
10. ALL PROPRIETARY PRODUCTS ARE TO BE STORED, FIXED AND APPLIED TO MANUFACTURERS SPECIFICATIONS.
11. ALL WATERPROOFING TO BE DONE BY A SPECIALIST.

REV	DESCRIPTION BESKRYWING	BY	DEUR	DATE DATUM
CLIENT KLIENT				
GEORGE SURGICAL CLINIC				
PROJECT PROJEK				
44 LANGENHOVEN STREET, GEORGE				
TITLE TITEL				
CARPORTS 7, 8 & 9 LAYOUT & SECTIONS				
SCALE/ SKAAL AS SHOWN				
GEORGE: 7 BLOEMHOF BUILDING 65 YORK STREET TEL 044 - 874 6042/13 info@dmsgeorge.co.za				
MOSSEL BAY: 43 DA GAMA STREET MOSSELBAY CELL 0845707337 eugene@dmsmosselbay.co.za				
OVERBERG: 27A VAN EEDEN STREET SWELLENDEAM CELL: 0845175047 cobusvd@dmsoverberg.co.za				
DESIGNED ONTWERP GABRIEL DELPORT				
DRAWN GETEKEN HENDRIG MARX				
CHECKED NAGESIEN GABRIEL DELPORT				
DATE/ DATUM 22.08.2024				
STATUS PRELIMINARY				
DRAWING TEKENING NO NR Z 005 - 2 B REV				

ANNEXURE 9



**PLANNING AND DEVELOPMENT
APPLICATION FORM FOR CONSENT USE FOR A SECOND
DWELLING/ADDITIONAL DWELLING AND/OR DEPARTURE**

(Please complete the form in full for consideration - tick appropriate boxes with X)

BUILDING LINE RELAXATION	<input checked="" type="checkbox"/>	SECOND DWELLING	<input type="checkbox"/>	ADDITIONAL DWELLING	<input type="checkbox"/>
--------------------------	-------------------------------------	-----------------	--------------------------	---------------------	--------------------------

PROPERTY DETAILS

ERF NUMBER	Erven 20781, 25871, 5950, 28572 And 26209, George	EXTENSION/A REA	Dormehlsdrift, George
ZONING	Business Zone IV, Community Zone III & Transport Zone II		
EXISTING LAND USE	Medical facility/consultation rooms		

CORRESPONDENCE DETAILS

IS THE APPLICANT ALSO THE REGISTERED OWNER OF THE RELEVANT PROPERTY?					YES	NO	
ADDRESS CORRESPONDENCE TO			OWNER	APPLICANT	POST OR E- MAIL	POST	E-MAIL
COLLECT BY HAND	YES	NO	TELEPHONE NO				

OWNER DETAILS

OWNER NAME	The Body Corporate of The Outeniqua Eye Clinic Scheme / Redwood View Trading (Pty) Ltd				
STREET NAME	Langenhoven Road	HOUSE NUMBER			
POSTAL ADDRESS	44 CJ Langenhoven Road George Western Cape 6529	SAME AS POSTAL ADDRESS	YES	NO	
EXTENSION/AREA	Dormehlsdrift, George	CODE			
ID NUMBER	n/a	E-MAIL ADDRESS	finance@georgesurgical.co.za		
TELEPHONE NO	n/a	CELL NO	044 874 6081		

APPLICANT DETAILS (strike through if registered owner is also the applicant)

NAME	Delarey				
STREET NAME	Viljoen	HOUSE NUMBER	79		
POSTAL ADDRESS	PO BOX 9956	SAME AS POSTAL ADDRESS	YES	NO	
EXTENSION/AREA	Dormehlsdrift, George	CODE			
TEL / CELL NO	044 873 4566 / 082 808 9624	E-MAIL ADDRESS	planning@delplan.co.za		
PROFESSIONAL CAPACITY	Professional Planner	SACPLAN NO	A/1021/1998		

BOND HOLDERS DETAILS (Only applicable if property is encumbered by a bond)

IS THE PROPERTY ENCUMBERED BY A BOND?	YES	NO
---------------------------------------	-----	----

NAME OF BOND HOLDER	n/a
----------------------------	-----

TITLE DEED DETAILS

TITLE DEED NO.	Erf 20781 – 27088/23, Erf 25871 – Article 11 (3)(b) certificate, Erf 5950 – 34974/17, Erf 28572 – 19114/20, Erf 26209 – 27476/15		
ARE THERE RESTRICTIONS IN THE TITLE DEED WHICH IMPACT THE APPLICATION? (If yes, describe restrictions below)	YES	NO	


APPLICATION DETAILS

DESCRIPTION OF BUILDING LINE RELAXATION (STREET / LATERAL / REAR BUILDING LINE)	FROM M	TO M	DETAILS
<p>Block A: 5m northern rear common boundary building line to 1.3m</p> <p>Block B: 5m northern rear common boundary building line to 2.1m</p> <p>Block B: 5m northeast rear common boundary building line to 0m</p>	5	1.3m, 2.1m & 0m	Erf 20781
<p>Block B: 3m southwest – and northern side common boundary building line to 0m</p> <p>Block B: 3m southeast side common boundary building line to 2.3m</p> <p>Block F: 3m northeast – and southeast side common boundary building line to 0m</p>	3	2.3m & 0m	Erf 25871
<p>Block F: 3m southwest and northwest side common boundary building line to 0m</p>	3	0m	Erf 5950
<p>Block C: 3m northeast side common boundary building line to 0m</p> <p>Block B: 3m southern side common boundary building line to 0m</p>	3	0m	Erf 26209
<p>Block C: 3m southwest – and northwest side boundary building line to 0m</p> <p>Block F: 3m southern side common boundary building line to 0m</p>	3	1.5m & 0m	Erf 28572
<p>Is an application for an increase in coverage being applied for? (Indicate increase under details)</p>	YES		%
<p>Is an application for a 2nd dwelling /additional dwelling being applied for? (indicate size under details)</p>	YES		

HOA/ ADJACENT OWNERS DETAILS (Consent letters as well as site plans to be signed by adjacent owners)

ERF NO	ADDRESS	NAME	CONSENT LETTER ATTACHED
			YES /NO
			YES /NO
			YES /NO
			YES /NO
			YES /NO

I hereby acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

APPLICANT'S SIGNATURE		DATE	11/09/2024
------------------------------	---	-------------	------------

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

	Locality Plan		Building Plan/ Site Plan on A3/ A4		SG Diagram/ General Plan		Title Deed
	Power of Attorney		Motivation		Neighbours Consent / Comment		HOA Consent
	Bond Holder Consent		Proof of Payment		Conveyance Certificate		Other (Specify)

NEIGHBOURS CONSENT/ COMMENT FORM

TO WHOM IT MAY CONCERN

APPLICATION FOR _____ ON ERF/ FARM _____

NATURE OF CONSENT GIVEN (Tick whichever is applicable)

I/We the undersigned owner/s of the adjoining property as described below, hereby confirm that I/we have seen the building plans/ site development plans relating to the above application (my neighbour's development proposal). I/we have no objections thereto and I/we would not make any further claims with regard to view obstruction resulting from the approval of said building plans.

I/We the undersigned owner/s of adjoining properties hereby confirm that I/we have seen the building plans / site development plans relating to the above application (my neighbour's development proposal). I/we have no objections thereto subject to the following:

Comment / Conditions

ADJACENT OWNER'S DETAILS

OWNER/S NAME/S		ID NUMBER	
ERF NUMBER		EXTENSION AREA	
E-MAIL ADDRESS		TELEPHONE NUMBER	
SIGNATURE OF OWNER		DATE	

Reminder: Adjacent owners must also sign and date the related building plan / site development plan

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

IS THE SIGNATORY THE OWNER OF THE PROPERTY (CONFIRMED ON SAMRAS)?	YES	NO
--	-----	----

CHECKED BY		DATE	
-------------------	--	-------------	--

POWER OF ATTORNEY

I, the undersigned appointed below Authorised Representative as legal representative for the submission of the application to act on my behalf and take the necessary steps as required by the Local Authority to ensure that the application complies with the conditions contained in the law on the By-Law on Municipal Land Use Planning for George Municipality, 2015, or any other applicable law.

OWNER NAME		ID NUMBER	
ERF		EXTENSION AREA	
AUTHORISED REPRESENTATIVE		ID NUMBER	
SIGNATURE OF OWNER		DATE	
SIGNATURE OF AUTHORISED REPRESENTATIVE		DATE	