



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 850 Wilderness

23 August 2024

Sir

APPLICATION FOR PERMANENT DEPARTURE: ERF 850 WILDERNESS

Attached hereto, please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the southern side and rear boundary building lines on Erf 850 Wilderness from 2.0 metres to 0.0 metres to accommodate a proposed studio and open balcony on the first floor of the existing double garage.

Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURES (RELAXATION OF BUILDING
LINES) ERF 850 WILDERNESS

23 August 2024



Prepared for:

Olyfenhof Safaris CC
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George-East
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SACPLAN Registration No A/1386/2011

INDEX

- 1. APPLICATION**
- 2. DEVELOPMENT PROPOSAL**
- 3. PRE-APPLICATION CONSULTATION**
- 4. GENERAL INFORMATION REGARDING ERF 850 WILDERNESS**
 - 4.1 Locality
 - 4.2 Existing land use
 - 4.3 Extent
 - 4.4 Present Zoning
 - 4.5 Surveyor General Diagram
 - 4.6 Title Deed
 - 4.7 Power of Attorney
 - 4.8 Bondholder's consent
 - 4.9 Conveyancer certificate
- 5. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES): ERF 850 WILDERNESS**
 - 5.1 Introduction
 - 5.2 Existing planning in the area
 - 5.3 Impact on schools, open spaces and other community facilities
 - 5.4 Impact on sunlight, view and privacy
 - 5.5 Impact on streetscape
 - 5.6 Impact on property values
 - 5.7 Impact on provision of parking
 - 5.8 Impact on traffic circulation
 - 5.9 Provision of services
 - 5.10 Firefighting

6. CONCLUSION

ANNEXURES

Annexure "A": Proposed site plan and building plan

Annexure "B": Application form

Annexure "C": Locality plan

Annexure "D": General Plan

Annexure "E": Title Deed

Annexure "F": Company Registration Certificate

Annexure "G": Power of Attorney

Annexure "H": Conveyancer Certificate

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES)
ERF 850 WILDERNESS

1. APPLICATION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the southern side and rear boundary building lines on Erf 850 Wilderness from 2.0 metres to 0.0 metres to accommodate a proposed studio and open balcony on the first floor of the double garage.

The proposed site plan and building plans indicating the proposed studio and open balcony is attached hereto as **Annexure "A"**.

The completed application form for the proposed permanent departure application is attached hereto as **Annexure "B"**.

2. DEVELOPMENT PROPOSAL

Erf 850 Wilderness is currently developed with a dwelling house with a ground floor area of 196.40m², a first-floor area of 89.45m² and a double garage. The double garage is situated in the south-eastern corner of the erf. The owner intends extending the ground floor of the dwelling house by 27.10m², the first floor by a covered area of 111.50m² and an open balcony of 17.60m². The double garage will be converted into a double story building, with a studio and open balcony on the first floor. The studio will be linked with the first floor of the dwelling house by means of a passage. An external staircase to the studio will be provided on the northern side of the building.

The improvements to the dwelling house conform with the development parameters applicable to a "dwelling house" in the George Integrated Zoning Scheme By-Law, 2023 and can be accommodated by means of the submission of a building plan. The double garage, which is situated in the south-eastern corner of the erf, is permitted in terms of the development parameters. The proposed studio and open balcony on the first floor of the double garage will,

line with the e-mailed directive in this regard to various consultants by the Municipal Town Planners, which was issued by e-mail dated 10 May 2022.

4. GENERAL INFORMATION REGARDING ERF 850 WILDERNESS

4.1 Locality

Erf 850 Wilderness situated at 850 Sixth Avenue Street, Wilderness. The locality of the erf is indicated on the locality plan which is attached hereto as **Annexure “C”**.

4.2 Existing land use

The application erf, having been developed with a dwelling house and a garage, is currently being improved, as indicated on the proposed site plan and building plans, attached hereto as **Annexure “A”**.

4.3 Extent

Erf 850 Wilderness is 675m² in extent.

4.4 Present zoning

In terms of the George Integrated Zoning Scheme By-Law, 2023, the zoning of Erf 850 Wilderness is Single Residential Zone I. In terms of this zoning, the erf may be used for the purposes of a “*dwelling house*”.

The extent of the application erf is 675m². The coverage and building lines applicable to a “*dwelling house*” are set out in a table in Schedule II of the George Integrated Zoning Scheme, 2023. The street building line applicable to a dwelling house on an erf larger than 500m², but not larger than 1 000m² is 4.0 metres and the side and rear building lines are 2.0 metres, whilst the coverage applicable is the larger of 325m² or 50% of the area of the erf.

The proposed ground floor area of the dwelling house and outbuilding will be 233m² (34.5%), which is considerably lower than the maximum coverage allowed.

As indicated on the site plan and building plan, attached hereto as **Annexure "A"**, the dwelling house and double garage do not transgress any building lines prescribed in the George Integrated Zoning Scheme, 2023. The proposed studio and open balcony on the first floor of the double garage will, however, transgress the eastern side and rear boundaries of the erf.

4.5 Surveyor-General Diagram

Erf 850 Wilderness forms part of the General Plan of Wilderness Township Extension No.2. A copy of the General Plan is attached hereto as **Annexure "D"**.

4.6 Title Deed

Erf 850 Wilderness is registered in the name of Olyvenhof Safaris CC Registration No 1997/024751/23. A copy of the Title Deed of the erf is attached hereto as **Annexure "E"**.

4.7 Power of Attorney

A document certifying that Willem Hermanus de Villiers and Emmarentia de Villiers are the only Members of Olyvenhof Safaris CC Registration No. 1997/024751/23, the registered owner of Erf 850 Wilderness, is attached hereto as **Annexure "F"**.

A Power of Attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Willem Hermanus de Villiers and Emmarentia de Villiers, the only Members of Olyvenhof Safaris CC Registration No. 1997/024751/23, the registered owner of Erf 850 Wilderness, to prepare the application referred to in point 2 of this motivation report and to sign all relevant documents is attached hereto as **Annexure "G"**.

4.8 Bondholder's Consent

Erf 850 Wilderness is not encumbered by a bond.

4.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 850 Wilderness is attached hereto as **Annexure “H”**. The Conveyancer Certificate confirms that there are no conditions in the Title Deed of the application erf which restrict the development of the erf as proposed in this application.

5. DESIRABILITY OF THE APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES) IN RESPECT OF ERF 850 WILDERNESS

5.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as permanent departures in respect of relaxation of building lines.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

5.2 Existing planning in the area

The area to the east Sixth Avenue, where the application erf is located, has a predominantly single residential land use character. The “Waves” holiday residential development is situated to the west of the application erf. The following aerial photo indicates the locality of the application erf in relation to the surrounding erven.



The application erf is situated on top of the dune on the eastern side of Sixth Avenue. There is a significant downward slope from the application erf southwards across Erf 854 Wilderness. The slope results in the floor of the proposed studio being situated approximately at the level of the top of the roof of the nearest building on Erf 854 Wilderness. Due to the difference in slope and the thick vegetation between the 2 buildings, only the roof of the building on Erf 854 Wilderness is visible from the application erf.

The following photo, which was taken south-eastwards from the ground floor of the dwelling house, shows the garage located on the southern side boundary, with the roof of the building on Erf 854 Wilderness in the background, to the right of the garage. The vegetation between the 2 buildings is also visible. Due to the proposed studio being situated on the first floor of the existing garage, the proposal will not require removal of existing vegetation on the erf.



Erf 851 Wilderness, which is situated to the east of the application erf, is currently vacant. A portion of the vegetation on the erf has been cleared and the erf is used by the owner of the application erf as garden area. The owner of the application erf is in the process of purchasing Erf 851 Wilderness. The following photo, which was taken southwards along the communal boundary, shows the north-eastern corner of the garage, as well as the cleared portion of Erf 851 Wilderness to the left of the photo.



The proposed relaxation of the building lines will not change the use of the application erf. The erf will still be used for single residential purposes. The permanent departure as proposed in this application, will therefore not establish an undesirable precedent and can be accommodated within the existing planning of the area concerned.

5.3 Impact on schools, open spaces and other community facilities

The permanent departure will not result in an increase in the number of inhabitants of the erf beyond that which is accommodated in the zoning of the erf. As such, the proposal will not have an impact on schools, open spaces and other community facilities in the area. This aspect is, therefore, not relevant to this application.

5.4 Impact on sunlight, view and privacy

The following aerial photo indicates that the only erven which could be affected by the permanent departure as proposed in this application are Erf 854 Wilderness, which is situated adjacent and to the south thereof and Erf 851 Wilderness, to the east thereof.



Erf 851 Wilderness is currently vacant. The owners of the application erf use a portion of the erf as garden area and is in the process of purchasing the erf. Any possible impact of the studio on sunlight, view or privacy will be taken into consideration in the planning of the future development on Erf 851 Wilderness.

Due to the difference in level between the 2 erven, as well as the thick vegetation on the northern side of Erf 854 Wilderness, the proposed studio and balcony will not have a significant impact on the sunlight, view or privacy of the adjacent erf, beyond the impact that the existing garage already might have. It must be taken into consideration that the main dwelling house on Erf 854 Wilderness faces southwards, towards the ocean, to maximise the sea view.

The permanent departure as proposed in this application can thus have no negative impact on the sunlight, view or privacy in respect of the adjacent erven.

5.5 Impact on streetscape

The following photo shows the current street elevation of the application. Due to the coastal thicket on the street side of the application erf, the buildings on the application erf are not visible from the street.



The permanent departure as proposed in this application will, therefore, not have a negative impact on the streetscape in the vicinity of the application property.

5.6 Impact on property values

As indicated in the previous points, the structure in respect of which the permanent departures are required, does not have a negative impact on any of the surrounding properties. The architectural design is sound and the finishes of a good quality. The proposal will add value to the utilization of the erf and represents a substantial capital investment by the owner.

The value of surrounding properties can, therefore, not be negatively impacted upon by the permanent departure as proposed in this application.

5.7 Impact on the provision of parking

The parking requirements applicable to different land uses are set out in table format in Section 42 of the George Integrated Zoning Scheme, 2023. In respect of dwelling houses on erven larger than 350m², provision must be made for a minimum of 2 on-site parking bays per dwelling house.

As indicated on the site plan and building plan attached hereto as **Annexure "A"**, 2 covered parking bays are provided. The number of parking bays therefore conforms with the parking requirement in the George Integrated Zoning Scheme, 2023.

The provision of on-site parking will, therefore, not be negatively impacted upon by the permanent departures as proposed.

5.8 Impact on traffic circulation

Erf 850 Wilderness is situated in Sixth Avenue, Wilderness, which is a residential street, serving only the residents.

The proposed site plan and building plan which is attached hereto as **Annexure "A"** clearly indicates that the proposed permanent departure will have no impact on traffic circulation, as the

existing double garage and access to the street will still be used and the erf will still be used for single residential purposes.

5.9 Provision of services

Municipal services are available to the application erf. The application erf has already been developed with a dwelling house and an outbuilding, all of which have been connected to municipal services. The permanent departure as proposed in this application will not result in a change of the land use.

Should any upgrade or extension of the existing municipal infrastructure be required because of this application, all costs because of such extension will be for the account of the applicant, subject to the conditions of the municipality. The proposal will thus not result in infrastructure costs to any external parties. The proposal will thus not place any burden on the municipal budget for the provision of services infrastructure, have any negative impact on the existing services or the provision of services in the area concerned.

5.10 Fire fighting

The fire-fighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

6. CONCLUSION

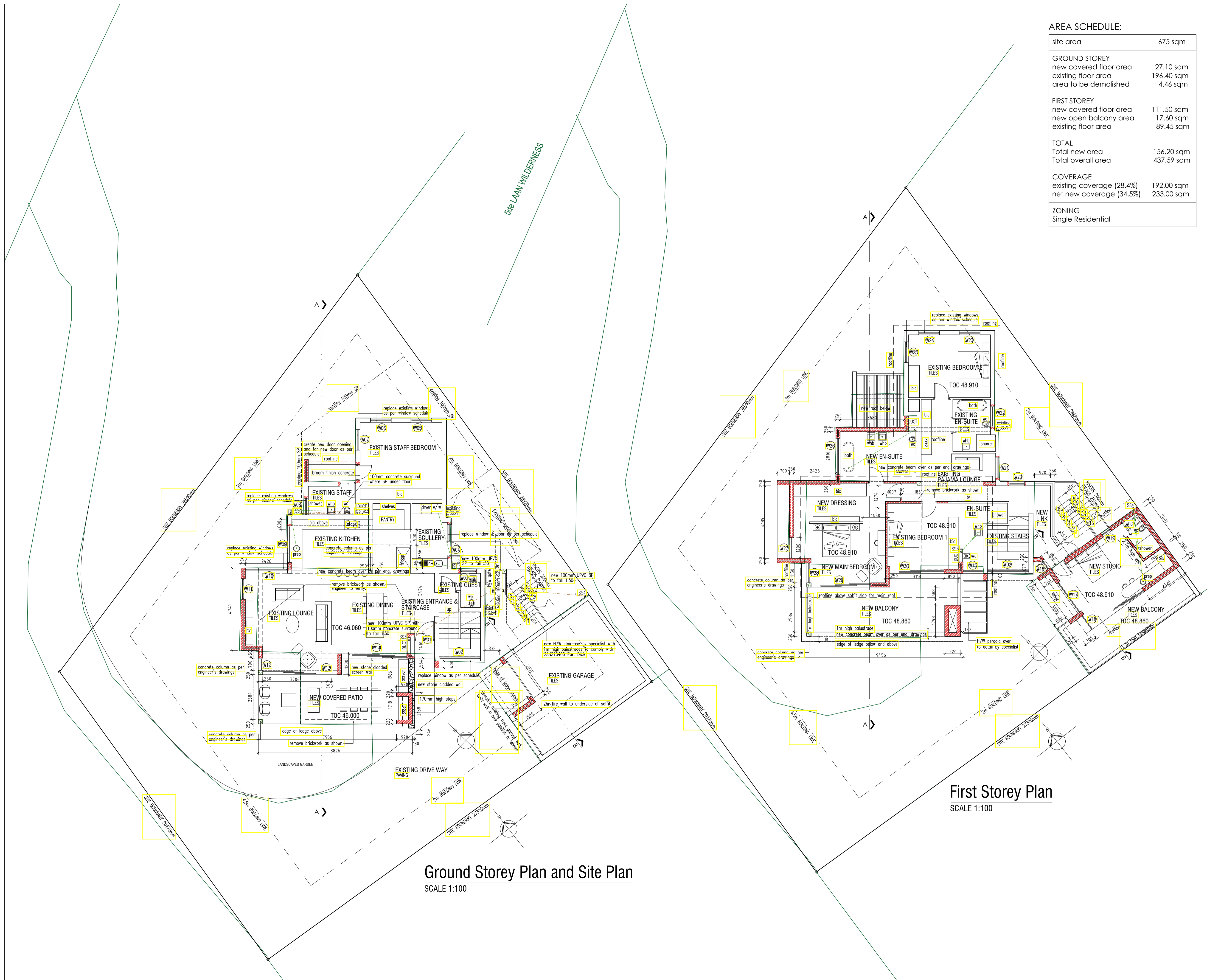
Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the southern side and rear boundary building lines on Erf 850 Wilderness from 2.0 metres to 0.0 metres to accommodate a proposed studio and open balcony on the first floor of the existing double garage.

As indicated in this report the proposed application for permanent departure in respect of the application erf is compatible with all existing planning documents, spatial plans, legislation and policy documents applicable to the application.

The proposal will not have a negative impact on the environment, development, public facilities, traffic circulation or Municipal services in the surrounding area.

The application can therefore be considered desirable and is submitted for consideration in terms of the relevant stipulations of the Land Use Planning By-Law for the George Municipality, 2023.

ANNEXURE "A" - PROPOSED SITE PLAN AND BUILDING PLAN



AREA SCHEDULE:

site area	675 sqm
GROUND STOREY	
new covered floor area	27.10 sqm
existing floor area	196.40 sqm
area to be demolished	4.46 sqm
FIRST STOREY	
new covered floor area	111.50 sqm
new open balcony area	17.60 sqm
existing floor area	89.45 sqm
TOTAL	
Total new area	156.20 sqm
Total overall area	437.59 sqm
COVERAGE	
existing coverage (28.4%)	192.00 sqm
net new coverage (34.5%)	233.00 sqm
ZONING	
Single Residential	

Ground Storey Plan and Site Plan
SCALE 1:100

First Storey Plan
SCALE 1:100

Registered owner's signature _____ Date _____



SACAP Professional: 6214 | pieter.apic@gmail.com |
Tel: 071 767 2196
Postnet Suite 316, Private Bag X0001, Ballito. 4620

Date 17 March 2024

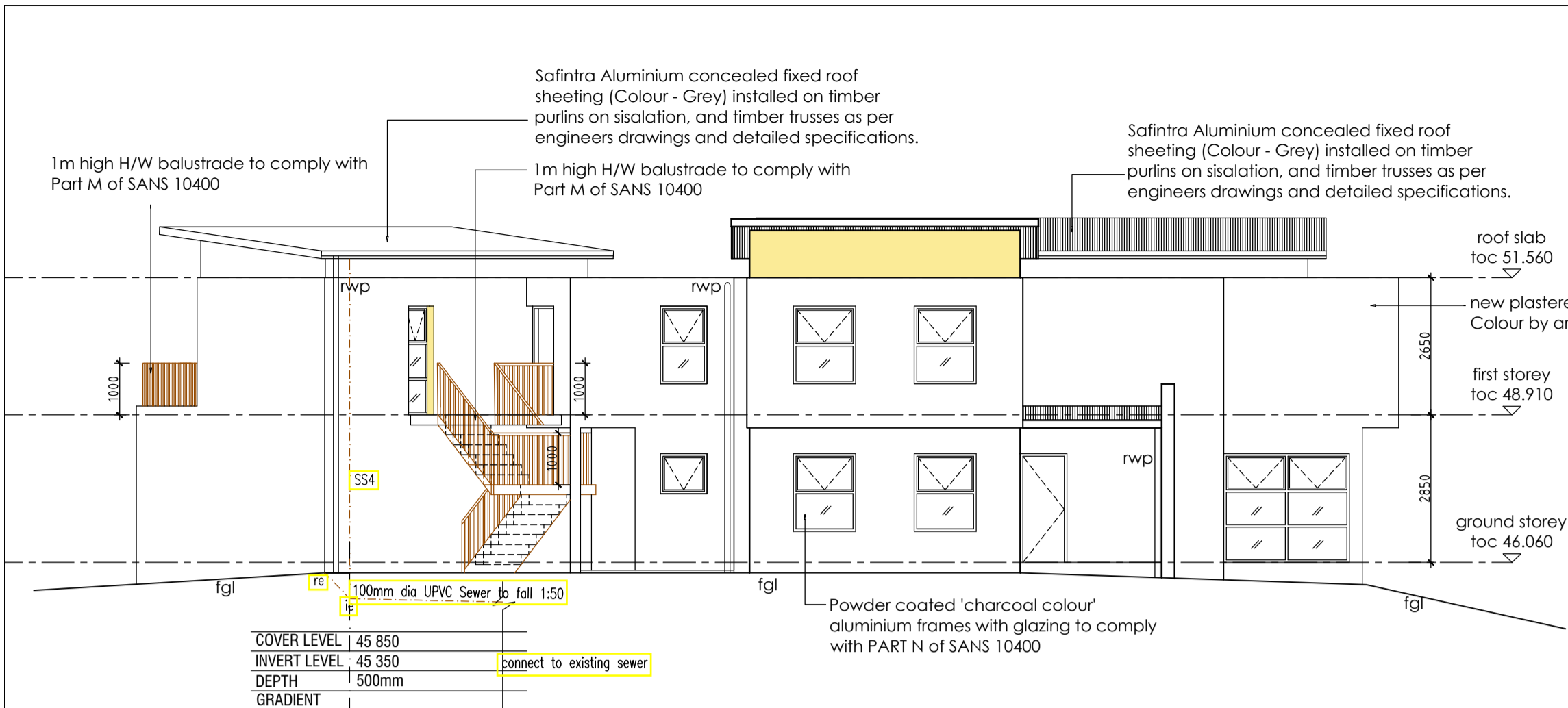
Architect Signature _____

Alterations & Additions to
existing house for
OLYVENHOF SAFARIS CC

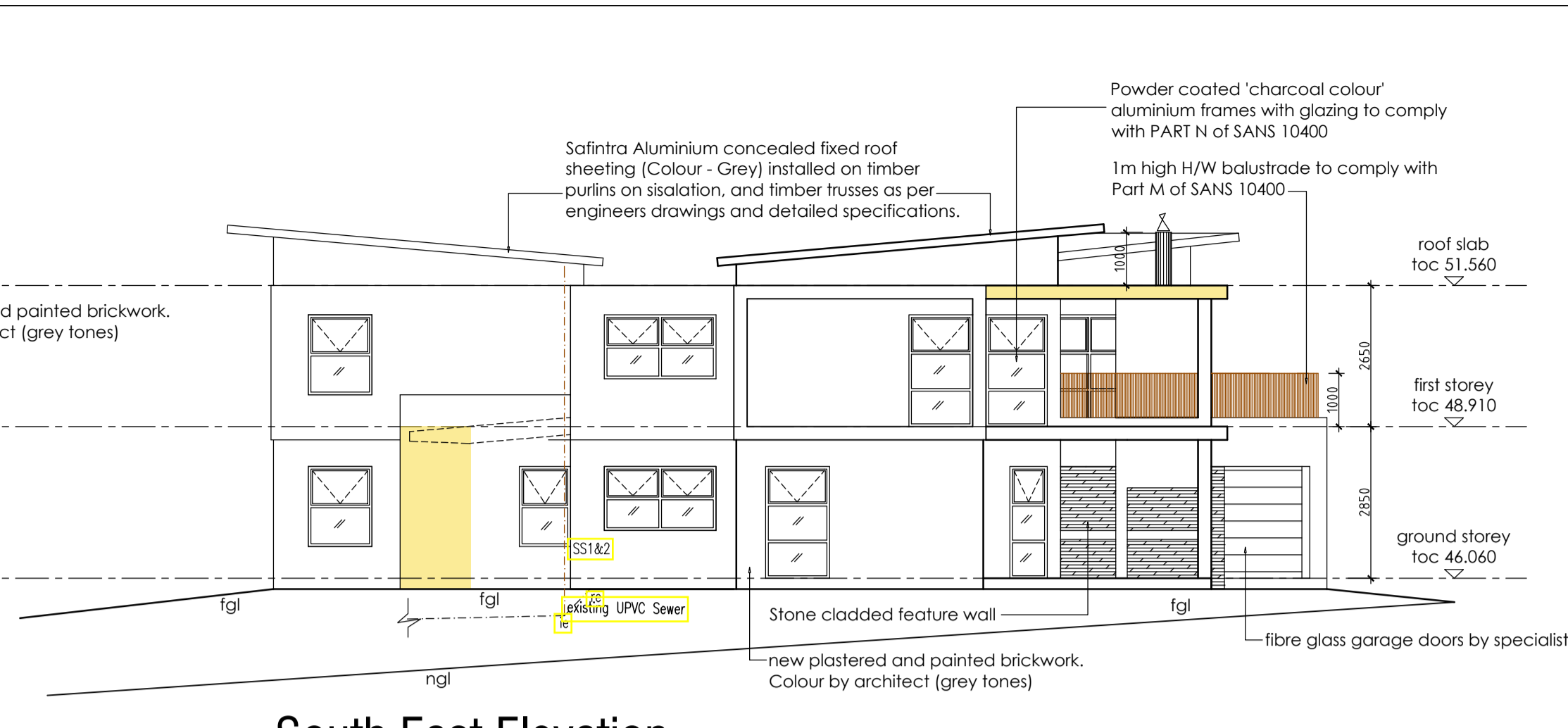
Erf 850, Wildernis
Corner of 5th and 6th Avenue

OCCUPANCY CLASS: H4
SITE PLAN, GROUND AND FIRST
SECOND STOREY PLAN

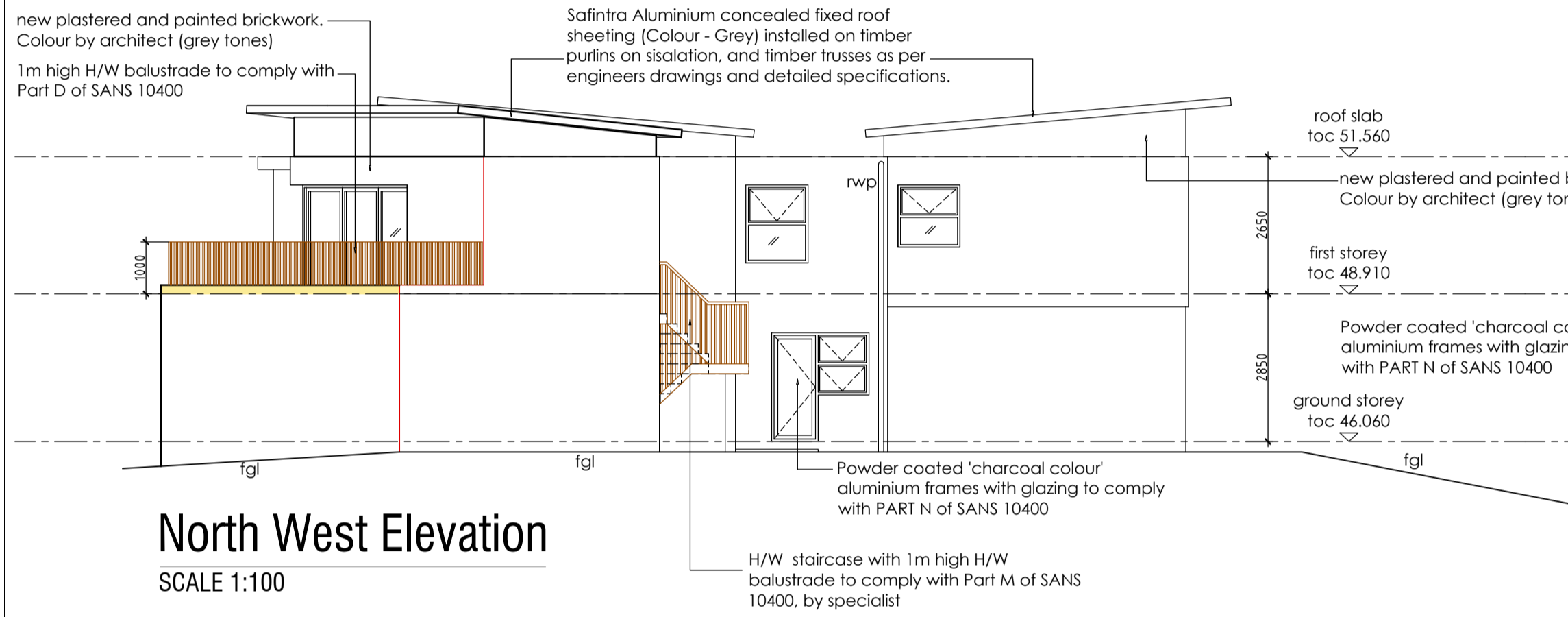
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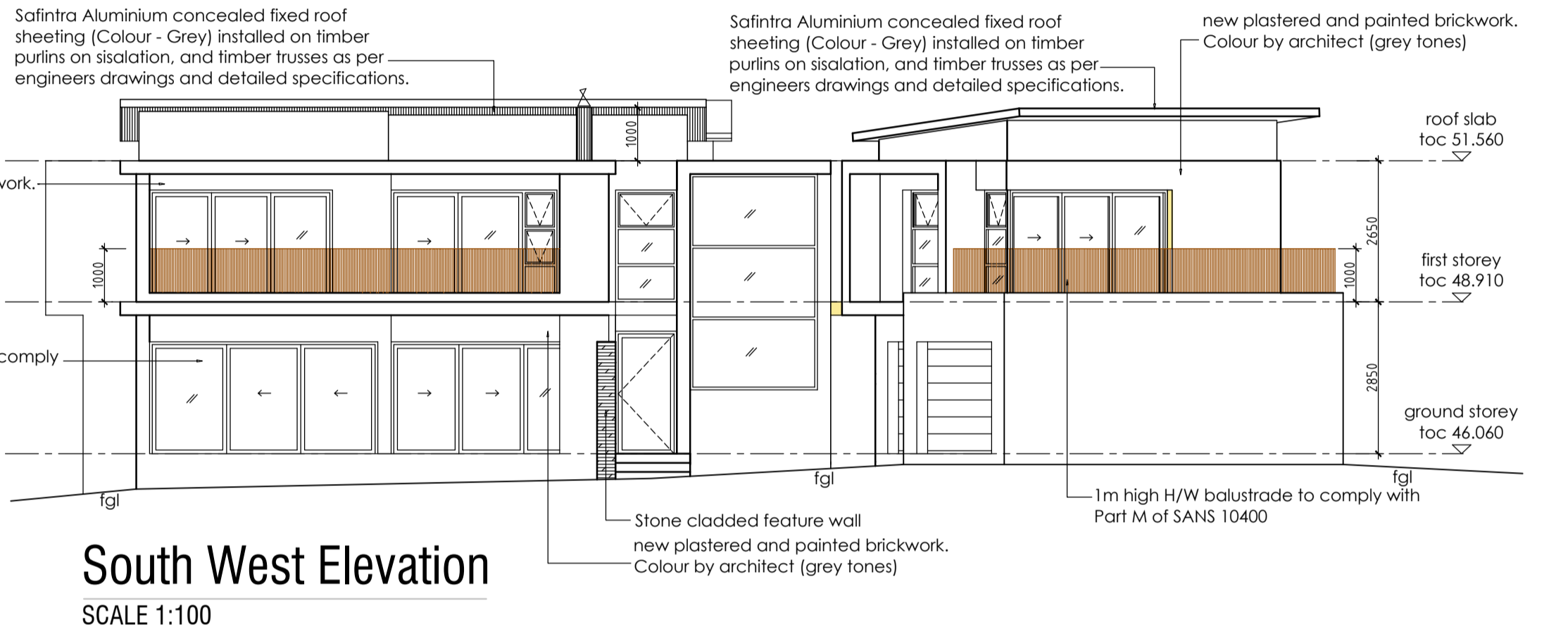
North East Elevation
SCALE 1:100



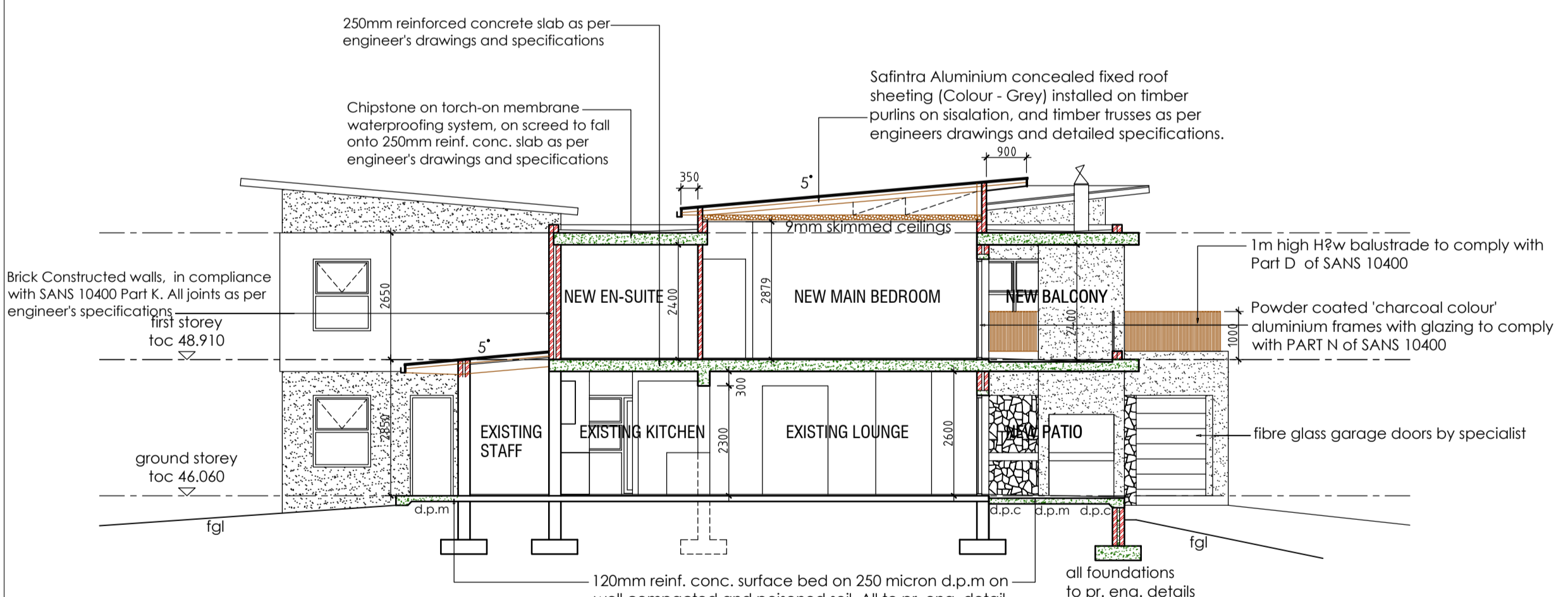
South East Elevation
SCALE 1:100



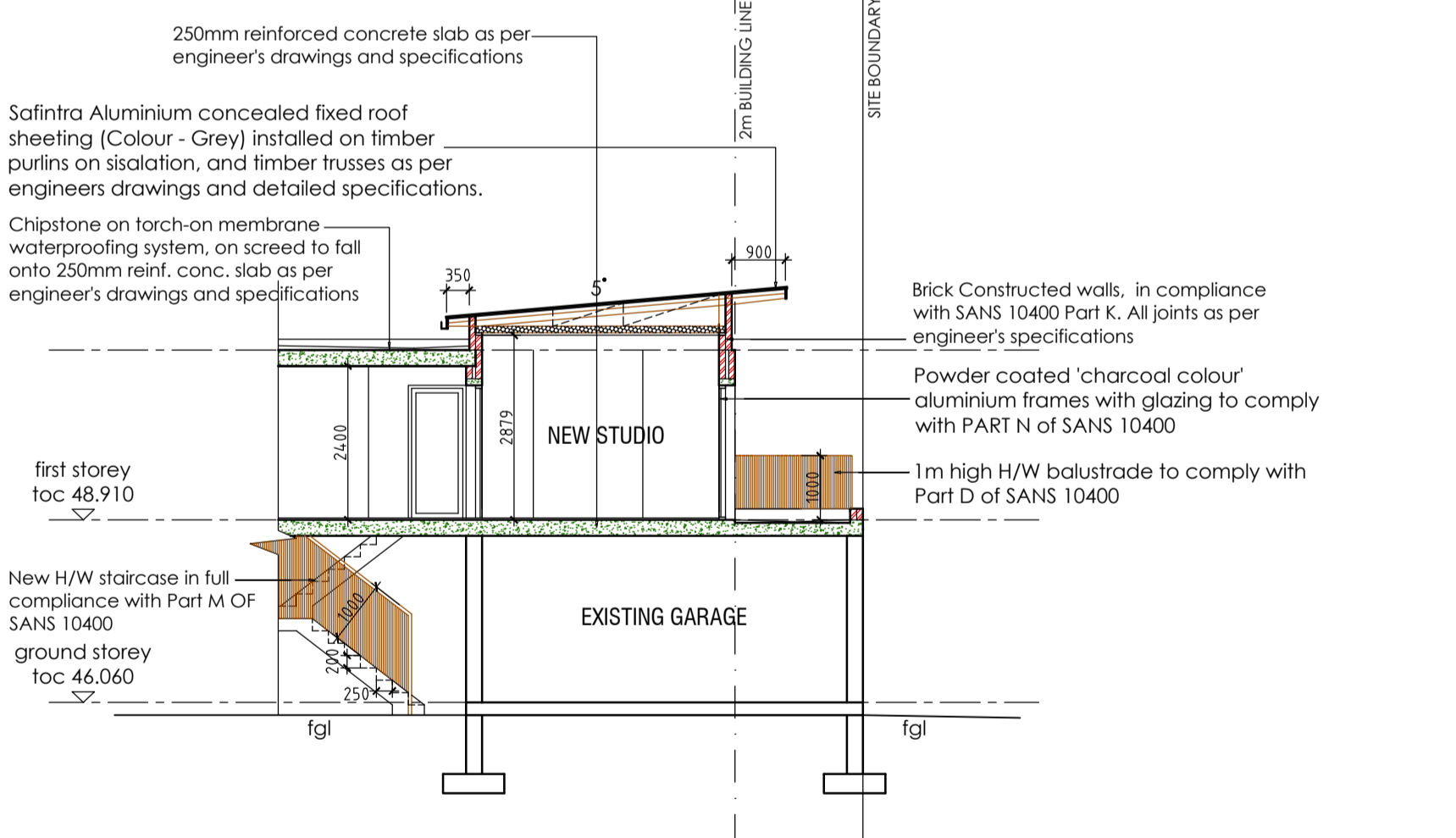
North West Elevation
SCALE 1:100



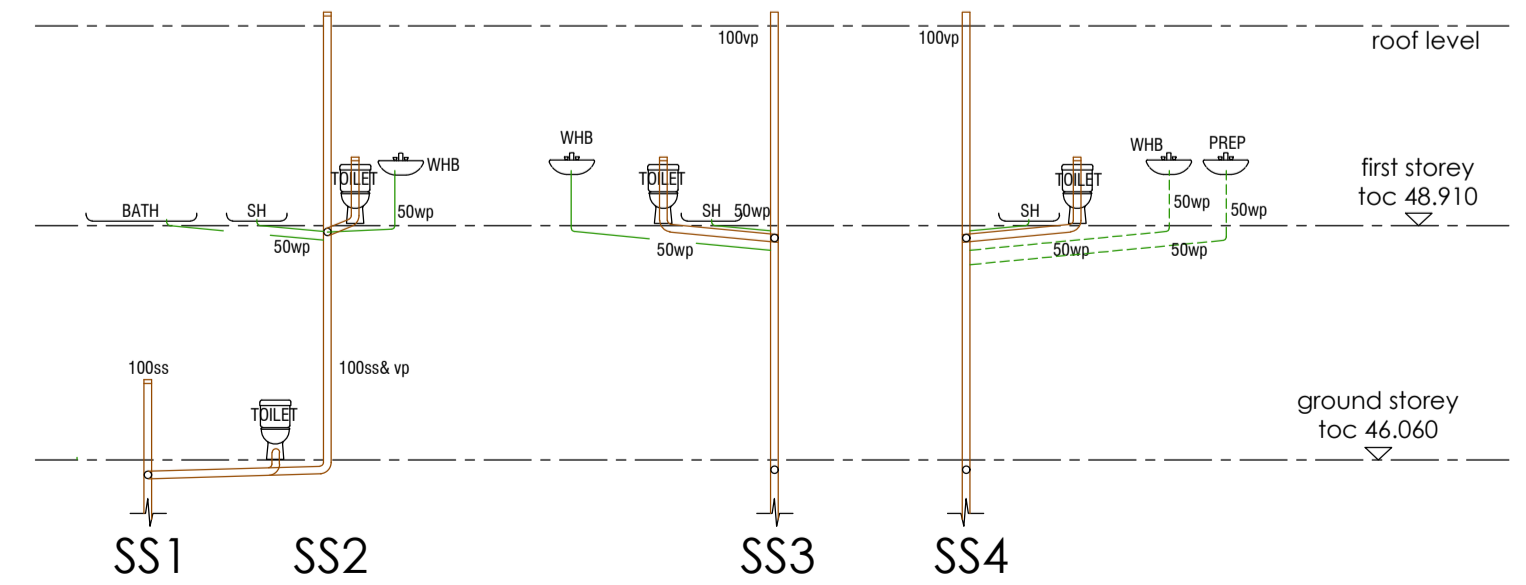
South West Elevation
SCALE 1:100



Section A-A
SCALE 1:100



Section B-B
SCALE 1:100



Drainage Elevations
SCALE 1:100

GENERAL NOTES

- All dimensions and levels are to be checked on site prior to construction of the Works.
- Drawing must not be scaled. Report any discrepancies to the Architect prior to commencement.
- All construction & related scope work be carried out in accordance with the National Building Regulations (SANS 10400).
- All foundations, retaining walls, piling & caps, slabs, beams, columns and agricultural drains to be constructed as per engineer's drawings and specifications.
- The main contractor to check the land surveyors drawings for confirmation of setting out levels and dimensions on site.
- Building work may only commence on approval of the building plans from the local authority.

NOTES IN RESPECT OF S.A NATIONAL STANDARD FOR THE APPLICATION OF NATIONAL BUILDING REGULATIONS SANS 10400

PART A general principles and requirements
All requirements to comply with Part A sans 10400

PART B structural design
All structural work as per rational design by engineer

PART C dimensions
All dimensions of any room or space to comply with the requirements of Part C sans 10400

PART D public safety
All balustrades to comply with D4.2 & D1 (annex a)
All ramps and driveways to comply with D4.3 & D3 (annex a)
All swimming pools and swimming baths to comply with D4.4 & D4 (annex a)

PART E site operations
All site operations to comply with Part E sans 10400

PART F excavations
All excavations to comply with G4.1 & G4.2

PART H foundations
All foundations as per rational design by competent person to comply with Part H

PART J floors
All floors as per rational design by competent person to comply with Part J

PART K walls
All masonry walls to comply with K4.2 & K1 - K2 (annex a)
All lintels to comply with b1 (annex b) of Part K
Fixing of roof to concrete elements to comply with K4.4 & K3 (annex a)
All waterproofing to walls to comply with K4.5 & C1 (annex c) of Part K
All fire performance and resistance of walls to comply with K4.6 & K4 (annex a)
All structural walls as per rational design by competent person to comply with Part K

PART L roofs
Roof as per rational design by competent person to comply with Part L

PART M stairways
All stairways to comply with M4.1
Dimensions of stairways to be in compliance with M4.2
All balustrades to comply with M4.3

PART N glazing
All glazing to comply with part N4 & N1 (Annex a)

PART O lighting & ventilation
All lighting and ventilation to comply with Part O4.1
All gress to be artificially and naturally lit to comply with Part O4.2 of sans 10400

PART P drainage
All pipe joints to comply with P4.2
All sanitary fixtures in accordance with P4.3, P4.4 & P4.5
All discharges from washing areas to comply with P4.9
All discharges from swimming baths, pools, fountains or reservoirs to comply with P4.10
All sanitary fixtures to be in accordance with P4.11
All drainage systems to comply with P4.13
All sizing of discharge pipes to comply with P4.14
All drain sizes shall comply with P4.15
All sanitary fixtures to have traps in accordance with P4.16
All sizing of ventilation pipes to comply with P4.17
All discharge & ventilating pipes to be installed in compliance with P4.18
Drains to be accessible in accordance with P4.19
All traps to be in accordance with requirements of P4.20
Gully to comply with requirements of P4.21
All drains to be laid in accordance with P4.22 & P4.23

PART R storm water disposal
All storm water as per rational design by competent person to comply with Part R

PART T fire protection
All materials to comply with T4.5
All structural elements & components to comply with T4.7
All openings to be protected in compliance with T4.10
Roof assemblies & coverings to comply with T4.12
All ceilings to comply with T4.13
All floor coverings to comply with T4.14
All wall finishes to comply with T4.15
Stairway to comply with T4.23
Portable fire extinguishers to be in accordance with T4.37 and to the satisfaction of the chief fire officer
Building materials to comply with T4.55 & T4.56
Fire protection for Buildings H1 & H4 to comply with T4.57

PART V space heating
All fire place and chimneys as per Part V of sans 10400

PART XA energy usage in buildings
All Energy Calculations as per rational design by competent person.

CONSTRUCTION NOTES:

- ROOF**
- 0.35mm Salflock410 profile aluminium Roof sheeting to be fixed as per manufacturer's specification on 50 x 76mm timber purlins at 900mm c/c on an approved underlay on 114 x 38 mm timber trusses on maximum 1500mm c/c to be designed by a professional roofing engineer.
 - 100mm aerolite blanket above ceiling.
 - all flat roof sections to have screeding to sufficient falls, to full bore outlets.
 - all flat roof sections to be torch waterproofed by specialist.
 - underside of r.c. slabs to be plastered and painted.
 - detail specification of all flat slabs as per energy efficiency report.
 - rainwater gutters to be seamless aluminium with colour to match roof sheeting (unless otherwise specified)
 - rainwater downpipes to be upvc painted to match wall colour.
- WALLS**
- all plaster work to be rendered smooth, unless otherwise stated.
 - all external brickwork to have outside face of internal brick skin bagged and bituminised.
 - two courses brick force to be provided at slab, sill and wall plate level.
 - brick force to be provided every 3 courses.
 - p.c. lintols to be provided above all openings.
- FLOOR**
- ground floor: mesh reinforced concrete surface bed, to be certified by an engineer, on approved damp proof membrane on well compacted and poisoned soil.
 - first floor: suspended reinforced concrete slab to pr. eng. detail.
- FOUNDATIONS**
- all foundations to pr. engineers detail.
- MECHANICAL VENTILATION:**
- fresh air supply of 7.5 l/s/pp
 - even air distribution
 - maximum air velocity 0.5m/s
 - internal bathrooms - air to be extracted to the external of the building at a rate of 25 l/s/per bathroom.

Registered owner's signature _____ Date _____

APIC ARCHITECTS

SACAP Professional: 6214 | pieter.apic@gmail.com |
Tel: 071 767 2196
Postnet Suite 316, Private Bag X0001, Ballito. 4620

Date 17 March 2024

Architect Signature _____

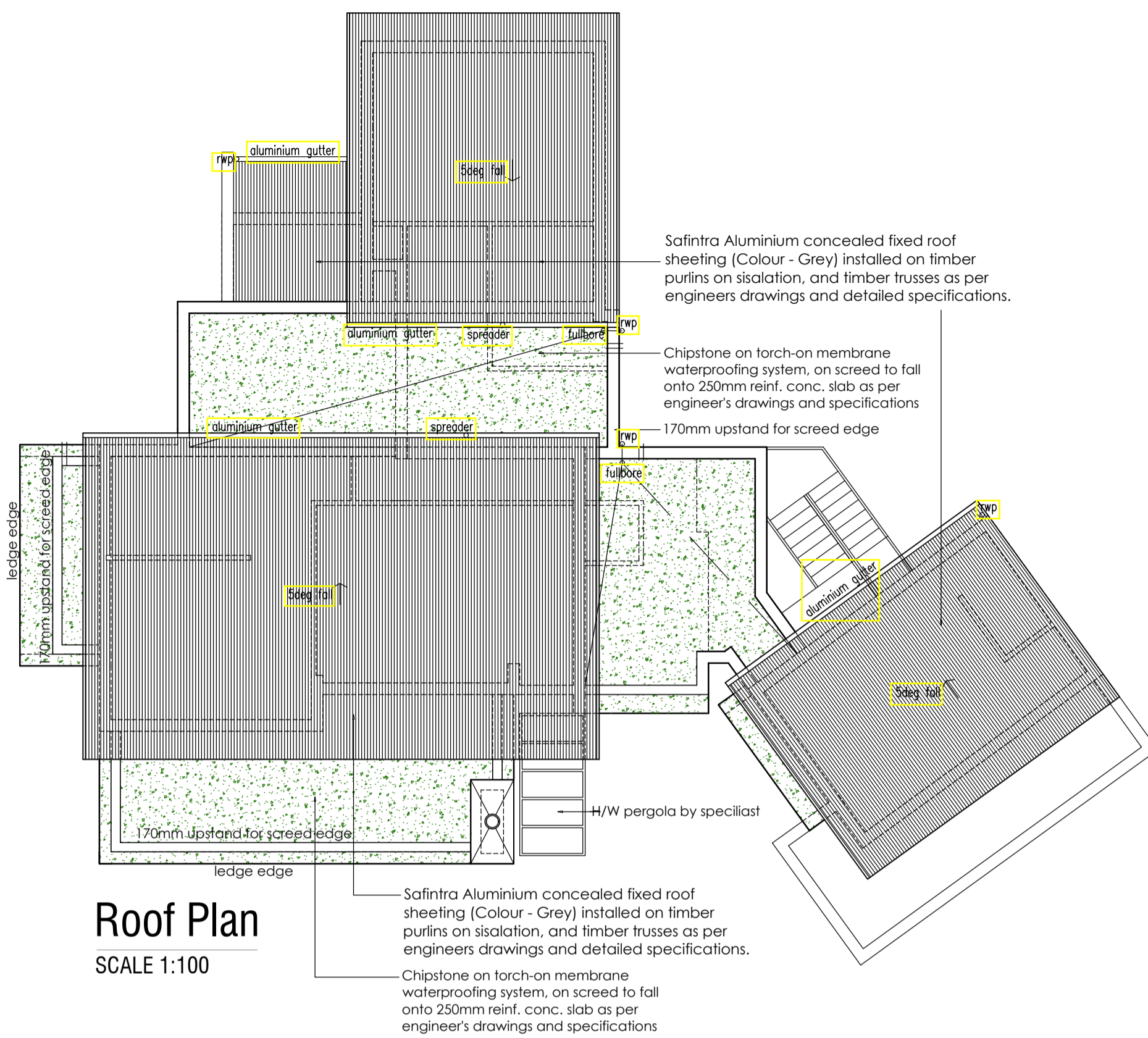
Alterations & Additions to existing house for OLYVENHOF SAFARIS CC

Erf 850, Wildernis
Corner of 5th and 6th Avenue

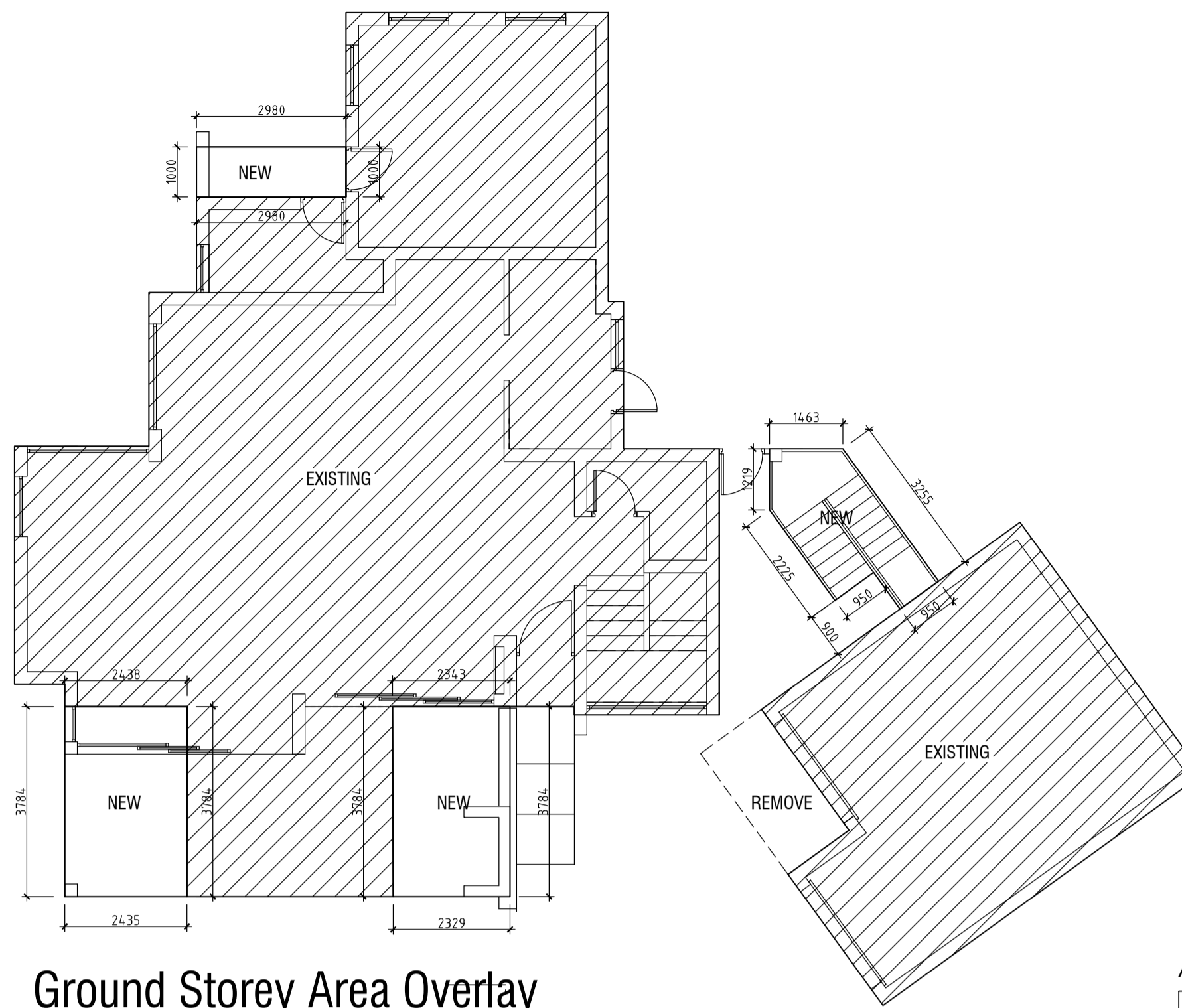
OCCUPANCY CLASS: H4

ELEVATIONS & SECTIONS DRAINAGE ELEVATIONS
scale | 1 : 100

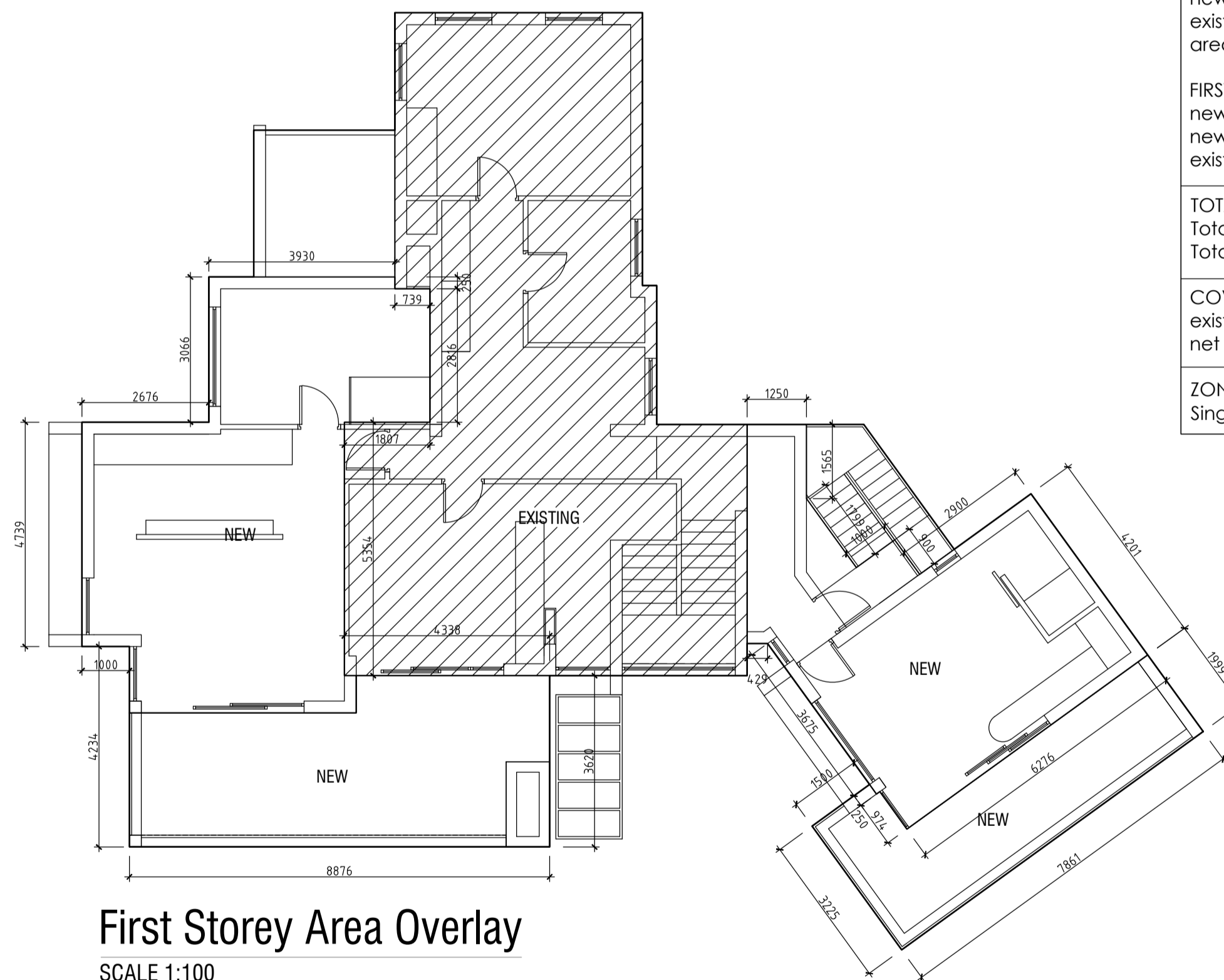
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Roof Plan
SCALE 1:100



Ground Storey Area Overlay
SCALE 1:100



First Storey Area Overlay
SCALE 1:100

AREA SCHEDULE:

site area	675 sqm
GROUND STOREY	
new covered floor area	27.10 sqm
existing floor area	196.40 sqm
area to be demolished	4.46 sqm
FIRST STOREY	
new covered floor area	111.50 sqm
new open balcony area	17.60 sqm
existing floor area	89.45 sqm
TOTAL	
Total new area	156.20 sqm
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COVERAGE	
existing coverage (28.4%)	192.00 sqm
net new coverage (34.5%)	233.00 sqm
ZONING	
Single Residential	

GENERAL NOTES

- All dimensions and levels are to be checked on site prior to construction of the Works.
- Drawing must not be scaled. Report any discrepancies to the Architect prior to commencement.
- All construction & related scope work be carried out in accordance with the National Building Regulations SANS 10400
- All foundations, retaining walls, piling & caps, slabs, beams, columns and agricultural drains to be constructed as per engineer's drawings and specifications.
- The main contractor to check the land surveyors drawings for confirmation of setting out levels and dimensions on site.
- Building work may only commence on approval of the building plans from the local authority

NOTES IN RESPECT OF S.A NATIONAL STANDARD FOR THE APPLICATION OF NATIONAL BUILDING REGULATIONS SANS 10400

- PART A general principles and requirements**
All requirements to comply with Part A sans 10400
- PART B structural design**
All structural work as per rational design by engineer
- PART C dimensions**
All dimensions of any room or space to comply with the requirements of Part C sans 10400
- PART D public safety**
All balustrades to comply with D4.2 & D1 (annex a)
All ramps and driveways to comply with D4.3 & D3 (annex a)
All swimming pools and swimming baths to comply with D4.4 & D4 (annex a)
- PART E site operations**
All site operations to comply with Part E sans 10400
- PART F excavations**
All excavations to comply with G4.1 & G4.2
- PART H foundations**
All foundations as per rational design by competent person to comply with Part H
- PART J floors**
All floors as per rational design by competent person to comply with Part J
- PART K walls**
All masonry walls to comply with K4.2 & K1 - K2 (annex a)
All lintels to comply with b1 (annex b) of Part K
Fixing of roof to concrete elements to comply with K4.4 & K3 (annex a)
All waterproofing to walls to comply with K4.5 & C1 (annex c) of Part K
All fire performance and resistance of walls to comply with K4.6 & K4 (annex a)
All structural walls as per rational design by competent person to comply with Part K
- PART L roofs**
Roof as per rational design by competent person to comply with Part L
- PART M stairways**
All stairways to comply with M4.1
Dimensions of stairways to be in compliance with M4.2
All balustrades to comply with M4.3
- PART N glazing**
All glazing to comply with part N4 & N1 (Annex a)
- PART O lighting & ventilation**
All lighting and ventilation to comply with Part O4.1
All areas to be artificially and naturally lit to comply with Part O4.2 of sans 10400
- PART P drainage**
All pipe joints to comply with P4.2
All sanitary fixtures in accordance with P4.3, P4.4 & P4.5
All discharges from washing areas to comply with P4.9
All discharges from swimming baths, pools, fountains or reservoirs to comply with P4.10
All sanitary fixtures to be in accordance with P4.11
All drainage systems to comply with P4.13
All sizing of discharge pipes to comply with P4.14
All drain sizes shall comply with P4.15
All sanitary fixtures to have traps in accordance with P4.16
All sizing of ventilation pipes to comply with P4.17
All discharge & ventilating pipes to be installed in compliance with P4.18
Drains to be accessible in accordance with P4.19
All traps to be in accordance with requirements of P4.20
Gully to comply with requirements of P4.21
All drains to be laid in accordance with P4.22 & P4.23
- PART R storm water disposal**
All storm water as per rational design by competent person to comply with Part R
- PART T fire protection**
All materials to comply with T4.5
All structural elements & components to comply with T4.7
All openings to be protected in compliance with T4.10
Roof assemblies & coverings to comply with T4.12
All ceilings to comply with T4.13
All floor coverings to comply with T4.14
All wall finishes to comply with T4.15
Stairway to comply with T4.23
Portable fire extinguishers to be in accordance with T4.37 and to the satisfaction of the chief fire officer
Building materials to comply with T4.55 & T4.56
- PART V space heating**
Fire protection for Buildings H1 & H4 to comply with T4.57
- PART V space heating**
All fire place and chimneys as per Part V of sans 10400
- PART XA energy usage in buildings**
All Energy Calculations as per rational design by competent person.

CONSTRUCTION NOTES:

- ROOF**
 - 0.55mm Salflock410 profile aluminium Roof sheeting to be fixed as per manufacturer's specification on
 - 50 x 76mm timber purlins at 900mm c/c on an approved underlay on 114 x 38 mm timber trusses on maximum 1500mm c/c to be designed by a professional roofing engineer.
 - 100mm aerolite blanket above ceiling.
 - all flat roof sections to have screeding to sufficient falls, to full bore outlets.
 - all flat roof sections to be torch waterproofed by specialist.
 - underside of r.c. slabs to be plastered and painted.
 - detail specification of all flat slabs as per energy efficiency report.
 - rainwater gutters to be seamless aluminium with colour to match roof sheeting (unless otherwise specified)
 - rainwater downpipes to be upvc painted to match wall colour.

WALLS

- all plaster work to be rendered smooth, unless otherwise stated.
- all external brickwork to have outside face of internal brick skin bagged and bituminised.
- two courses brick force to be provided at slab, sill and wall plate level.
- brick force to be provided every 3 courses.
- p.c. lintels to be provided above all openings.

FLOOR

- ground floor: mesh reinforced concrete surface bed, to be certified by an engineer, on approved damp proof membrane on well compacted and poisoned soil.
- first floor: suspended reinforced concrete slab to pr. eng. detail.

FOUNDATIONS

- all foundations to pr. engineers detail.

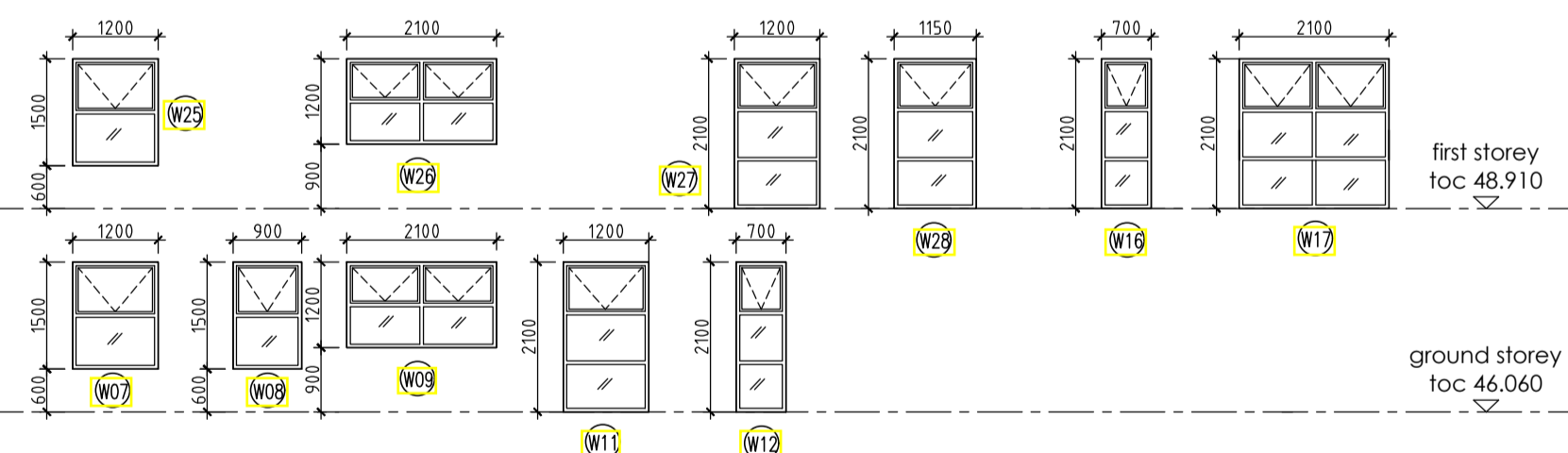
MECHANICAL VENTILATION:

- fresh air supply of 7.5 l/s/pp
- even air distribution
- maximum air velocity 0.5m/s
- internal bathrooms - air to be extracted to the external of the building at a rate of 25 l/s/per bathroom.

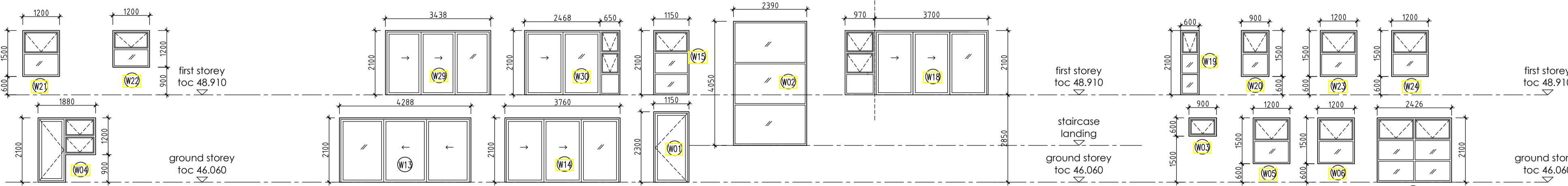
Window Schedule
SCALE 1:100

ALUMINUM FRAMES NOTE:
All aluminium frames to be manufactured and installed to the recommended AAAMSA regulations. Frames to be 'matt slate black' colour as per Estate guidelines and have a thermal break composition. Ironmongery to be to client and architects approval. All glazing to have gaskets fitted and all frames to be sealed with a suitable Sika sealant at plaster joint interface.

GLAZING NOTE:
All glazing marked 's.g' on elevations to be Laminated Safety Glazing with a minimum thickness of 6.38mm & all glazing to be in accordance with Table 1 as noted in SANS 10400 Part N Clause 4.2.5. Final responsibility rests with a Competent Person (glazing) as determined by SANS 10137, verified after installation by an permanent marking from a SAGGA-approved installer.



South East Elevation
SCALE 1:100



North West Elevation
SCALE 1:100

South West Elevation
SCALE 1:100

North East Elevation
SCALE 1:100

Registered owner's signature _____ Date _____



SACAP Professional: 6214 | pieter.apic@gmail.com |
Tel: 071 767 2196
Postnet Suite 316, Private Bag X0001, Ballito, 4620

Date 17 March 2024

Architect Signature _____

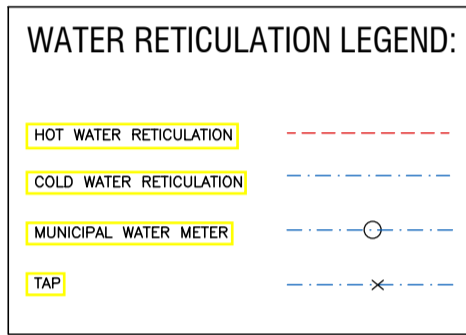
Alterations & Additions to existing house for OLYVENHOF SAFARIS CC

Erf 850, Wildernis
Corner of 5th and 6th Avenue

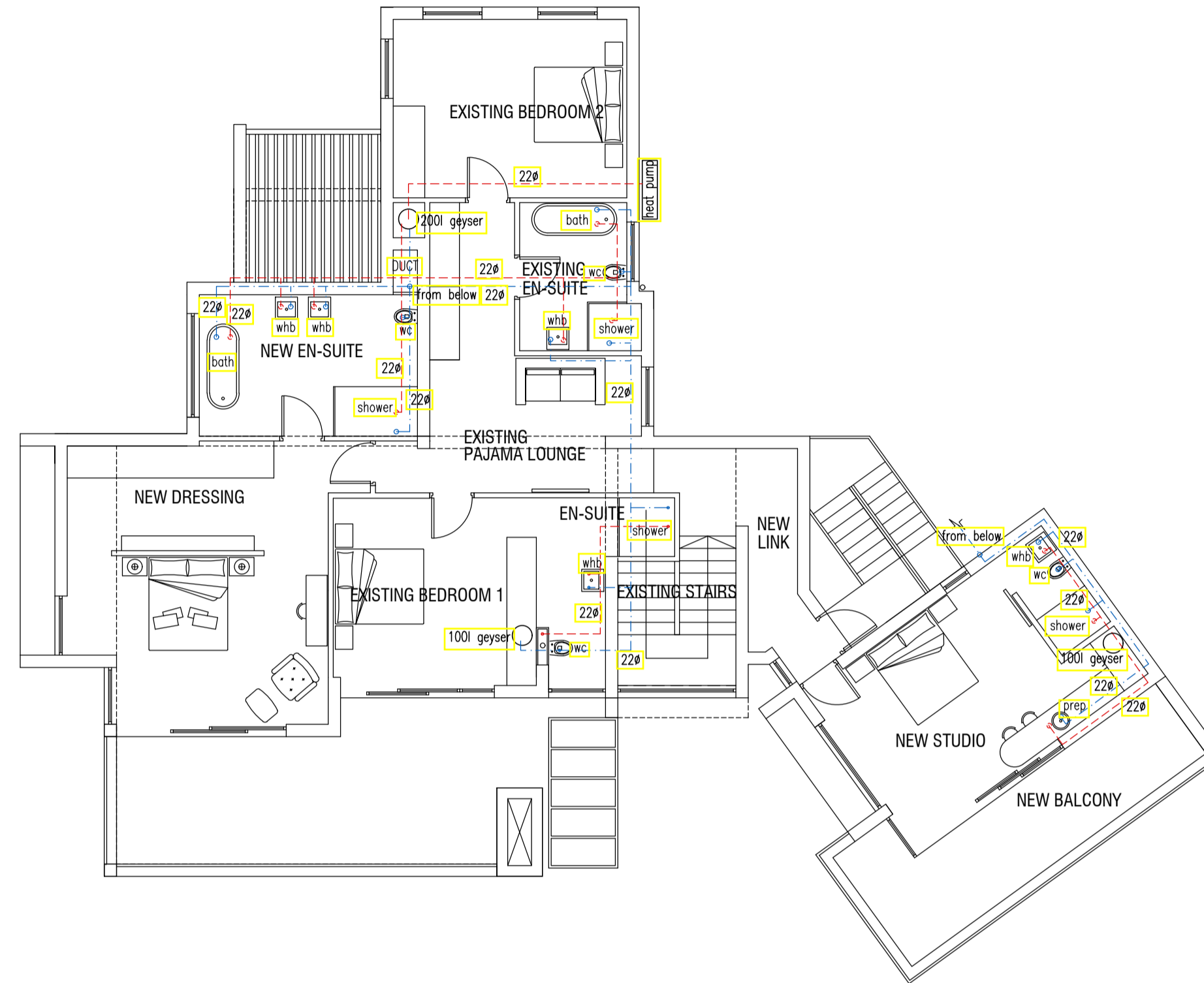
OCCUPANCY CLASS: H4

ROOF PLAN, AREA OVERLAY WINDOW SCHEDULE
scale | 1: 100

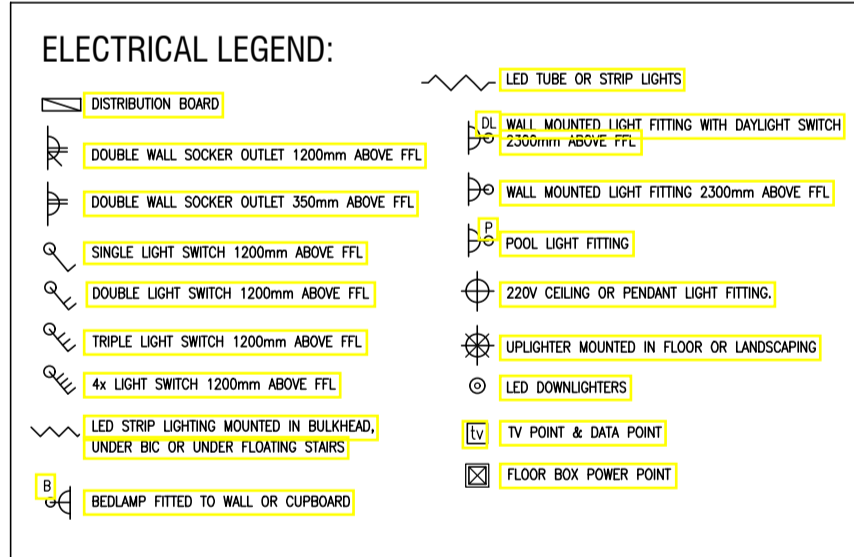
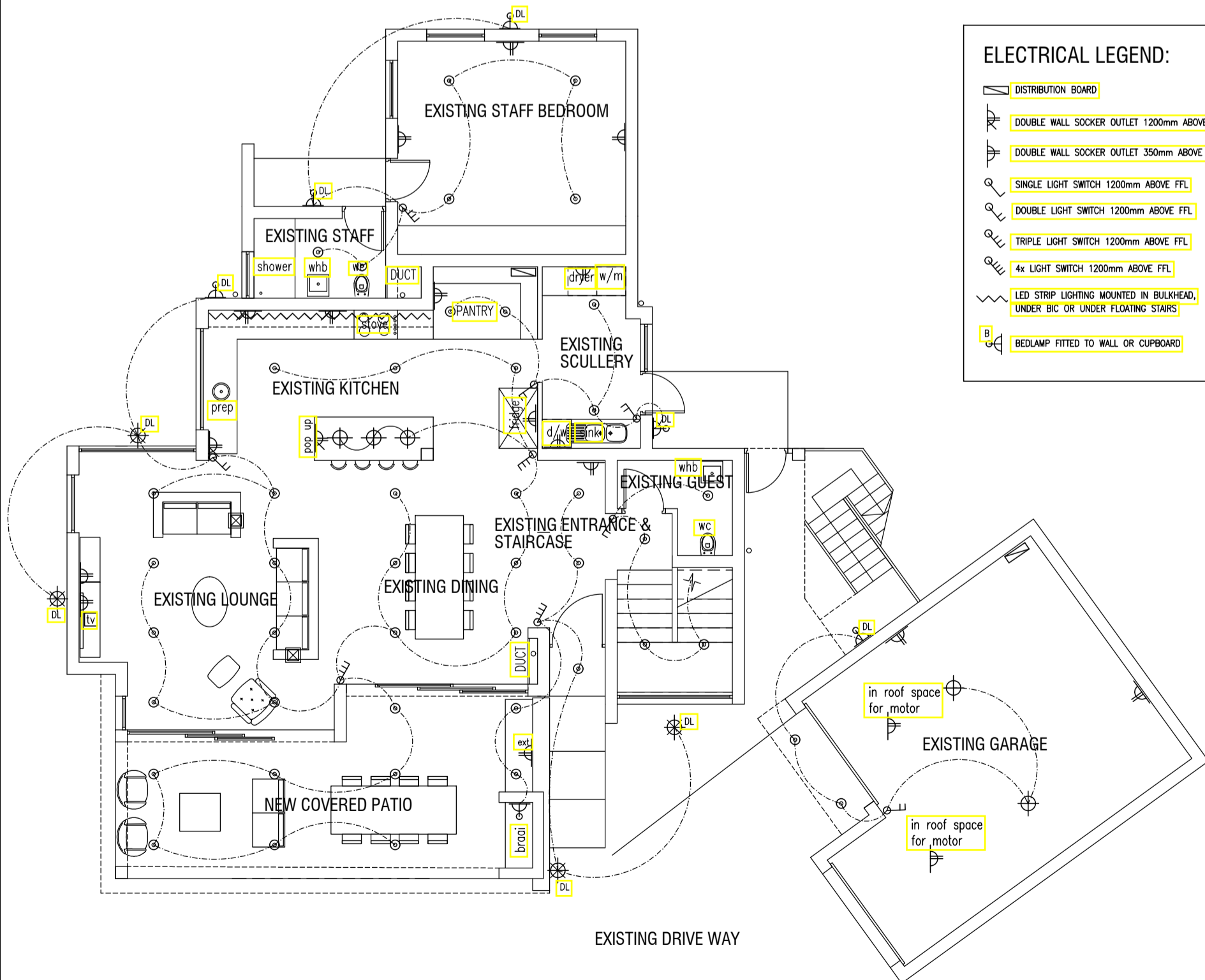
P.H	Checked P.H	Date FEB 2024
12.24	003	00



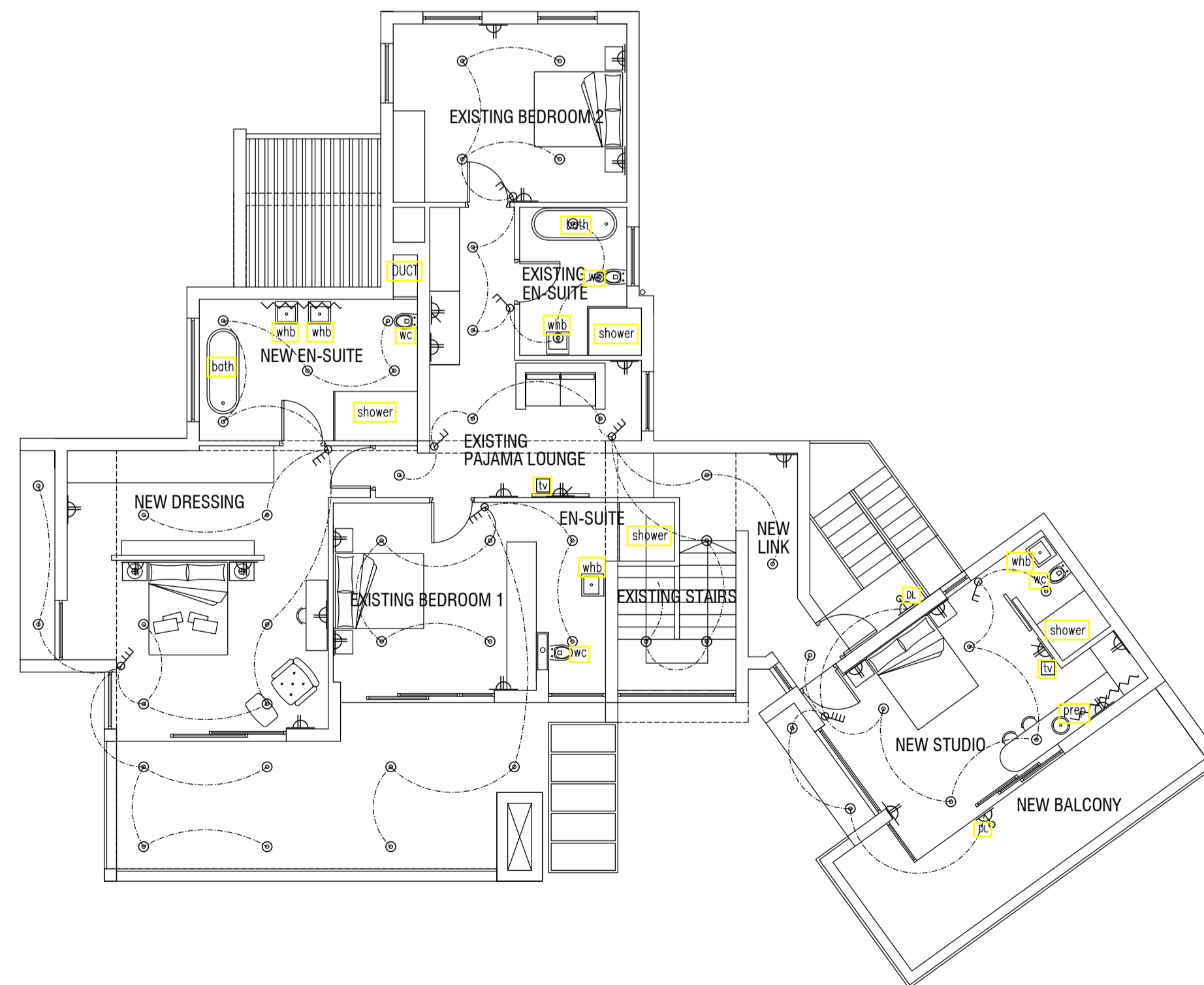
Ground Storey - Water Reticulation
SCALE 1:100



First Storey - Water Reticulation
SCALE 1:100



Ground Storey - Electrical Reticulation
SCALE 1:100



First Storey - Electrical Reticulation
SCALE 1:100

GENERAL NOTES

- All dimensions and levels are to be checked on site prior to construction of the Works.
- Drawing must not be scaled. Report any discrepancies to the Architect prior to commencement.
- All construction & related scope work be carried out in accordance with the National Building Regulations SANS 10400
- All foundations, retaining walls, piling & caps, slabs, beams, columns and agricultural drains to be constructed as per engineer's drawings and specifications.
- The main contractor to check the land surveyors drawings for confirmation of setting out levels and dimensions on site.
- Building work may only commence on approval of the building plans from the local authority

NOTES IN RESPECT OF S.A NATIONAL STANDARD FOR THE APPLICATION OF NATIONAL BUILDING REGULATIONS SANS 10400

- PART A general principles and requirements**
All requirements to comply with Part A sans 10400
- PART B structural design**
All structural work as per rational design by engineer
- PART C dimensions**
All dimensions of any room or space to comply with the requirements of Part C sans 10400
- PART D public safety**
All balustrades to comply with D4.2 & D1 (annex a)
All ramps and driveways to comply with D4.3 & D3 (annex a)
All swimming pools and swimming baths to comply with D4.4 & D4 (annex a)
- PART E site operations**
All site operations to comply with Part E sans 10400
- PART F excavations**
All excavations to comply with G4.1 & G4.2
- PART H foundations**
All foundations as per rational design by competent person to comply with Part H
- PART J floors**
All floors as per rational design by competent person to comply with Part J
- PART K walls**
All masonry walls to comply with K4.2 & K1 - K2 (annex a)
All lintels to comply with b1 (annex b) of Part K
Fixing of roof to concrete elements to comply with K4.4 & K3 (annex a)
All waterproofing to walls to comply with K4.5 & C1 (annex c) of Part K
All fire performance and resistance of walls to comply with K4.6 & K4 (annex a)
All structural walls as per rational design by competent person to comply with Part K
- PART L roofs**
Roof as per rational design by competent person to comply with Part L
- PART M stairways**
All stairways to comply with M4.1
Dimensions of stairways to be in compliance with M4.2
All balustrades to comply with M4.3
- PART N glazing**
All glazing to comply with part N4 & N1 (Annex a)
- PART O lighting & ventilation**
All lighting and ventilation to comply with Part O4.1
All areas to be artificially and naturally lit to comply with Part O4.2 of sans 10400
- PART P drainage**
All pipe joints to comply with P4.2
All sanitary fixtures in accordance with P4.3, P4.4 & P4.5
All discharges from washing areas to comply with P4.9
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- PART V space heating**
Fire protection for Buildings H1 & H4 to comply with T4.57
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All Energy Calculations as per rational design by competent person.

CONSTRUCTION NOTES:

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- FOUNDATIONS**
 - all foundations to pr. engineers detail.
- MECHANICAL VENTILATION:**
 - fresh air supply of 7.5 l/s/pp
 - even air distribution
 - maximum air velocity 0.5m/s
 - internal bathrooms - air to be extracted to the external of the building at a rate of 25 l/s/per bathroom.

Registered owner's signature _____ Date _____



SACAP Professional: 6214 | pieter.apic@gmail.com |
Tel: 071 767 2196
Postnet Suite 316, Private Bag X0001, Ballito. 4620

Date 17 March 2024
Architect Signature _____

Alterations & Additions to existing house for OLYVENHOF SAFARIS CC

Erf 850, Wildernis
Corner of 5th and 6th Avenue

OCCUPANCY CLASS: H4

ELECTRICAL AND WATER RETICULATION

scale 1 : 100		
P.H	P.H	Date
12.24	004	FEB 2024
12.24	004	00

ANNEXURE "B" - APPLICATION FORM



**PLANNING AND DEVELOPMENT
APPLICATION FORM FOR CONSENT USE FOR A SECOND
DWELLING/ADDITIONAL DWELLING AND/OR DEPARTURE**

(Please complete the form in full for consideration - tick appropriate boxes with X)

BUILDING LINE RELAXATION	<input checked="" type="checkbox"/>	SECOND DWELLING	<input type="checkbox"/>	ADDITIONAL DWELLING	<input type="checkbox"/>
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PROPERTY DETAILS

ERF NUMBER	850	EXTENSION/A REA	Wilderness
ZONING	Single Residential Zone I		
EXISTING LAND USE	Residential		

CORRESPONDENCE DETAILS

IS THE APPLICANT ALSO THE REGISTERED OWNER OF THE RELEVANT PROPERTY?					YES	NO	
ADDRESS CORRESPONDENCE TO			OWNER	APPLICANT	POST OR E-MAIL	POST	E-MAIL
COLLECT BY HAND	YES	NO	TELEPHONE NO	082 464 7871			

OWNER DETAILS

OWNER NAME	Olyvenhof Safaris CC					
STREET NAME	Sixth Avenue, Wilderness	HOUSE NUMBER	850			
POSTAL ADDRESS	P O Box 4984, George-East, 6539	SAME AS POSTAL ADDRESS	YES	NO		
EXTENSION/AREA	Wilderness	CODE	6530			
ID NUMBER	N/a	E-MAIL ADDRESS	P/a djprojects777@gmail.com			
TELEPHONE NO	N/a	CELL NO	0607172754			

APPLICANT DETAILS (strike through if registered owner is also the applicant)

NAME	Jan Vrolijk Town Planner / Stadsbeplanner					
STREET NAME	Victoria Street	HOUSE NUMBER	-			
POSTAL ADDRESS	P O Box 710	SAME AS POSTAL ADDRESS	YES	NO		
EXTENSION/AREA	George CBD	CODE	6530			
TEL / CELL NO	082 464 7871	E-MAIL ADDRESS	janvrolijk@jvtownplanner.co.za			
PROFESSIONAL CAPACITY	Town Planner	SACPLAN NO	A/1386/2010			

BOND HOLDERS DETAILS (Only applicable if property is encumbered by a bond)

IS THE PROPERTY ENCUMBERED BY A BOND?		YES	NO
NAME OF BOND HOLDER	N/a		

TITLE DEED DETAILS

TITLE DEED NO.	T61764/2006		
ARE THERE RESTRICTIONS IN THE TITLE DEED WHICH IMPACT THE APPLICATION? (If yes, describe restrictions below)		YES	NO
N/a			


APPLICATION DETAILS

DESCRIPTION OF BUILDING LINE RELAXATION (STREET / LATERAL / REAR BUILDING LINE)	FROM M	TO M	DETAILS
Rear and Southern side boundary building lines	2.0m	0.0m	To accommodate the proposed studio and open balcony.
Is an application for an increase in coverage being applied for? (Indicate increase under details)	YES	NO	
Is an application for a 2 nd dwelling /additional dwelling being applied for? (indicate size under details)	YES	NO	

HOA/ ADJACENT OWNERS DETAILS (Consent letters as well as site plans to be signed by adjacent owners)

ERF NO	ADDRESS	NAME	CONSENT LETTER ATTACHED
N/a	N/a	N/a	YES /NO

I hereby acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

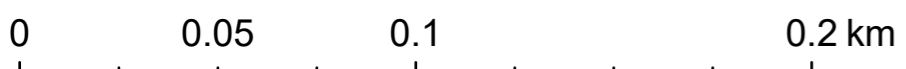
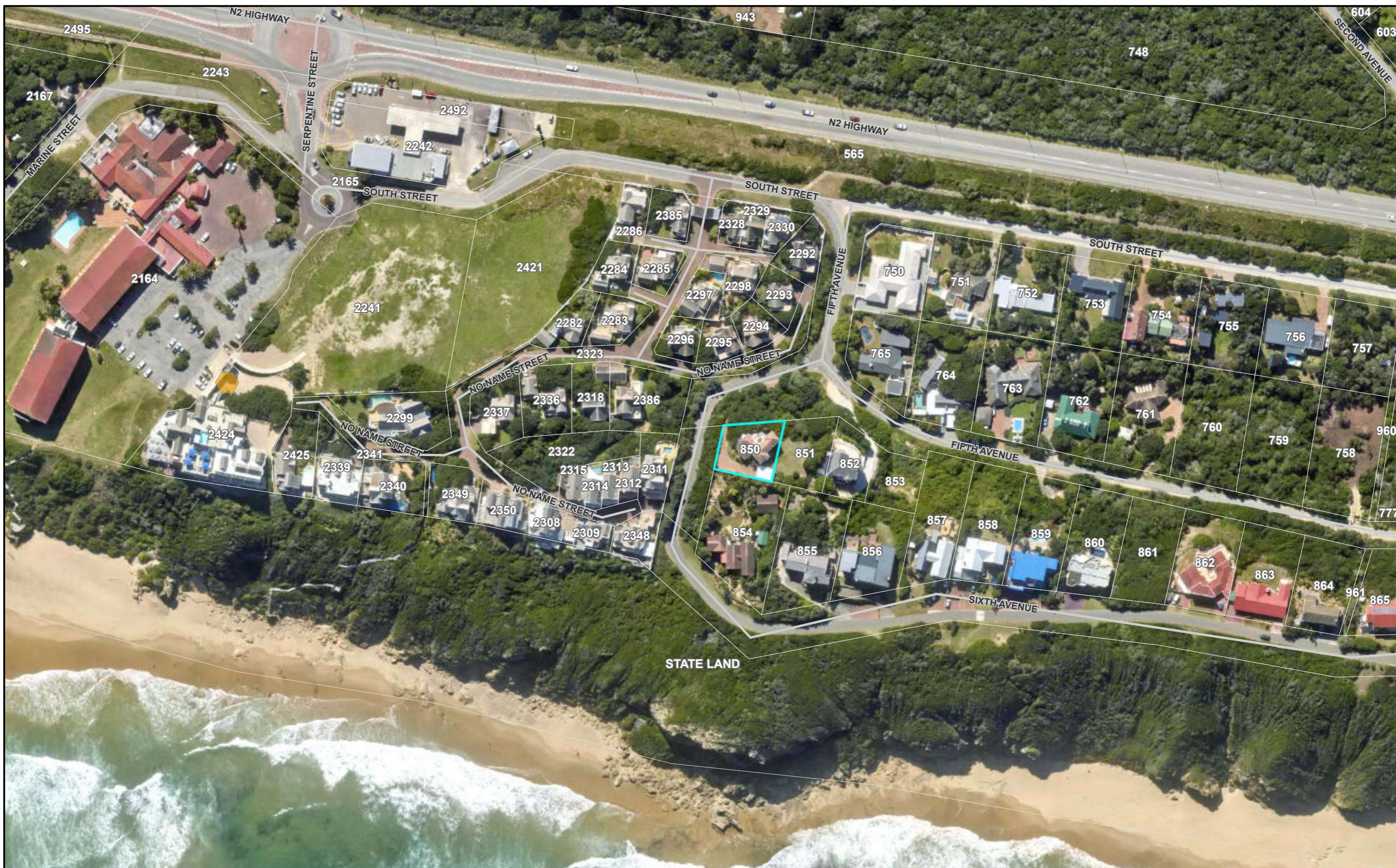
APPLICANT'S SIGNATURE		DATE	23 August 2024
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FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

Locality Plan	Building Plan/ Site Plan on A3/ A4	SG Diagram/ General Plan	Title Deed
Power of Attorney	Motivation	Neighbours Consent / Comment	HOA Consent
Bond Holder Consent	Proof of Payment	Conveyance Certificate	Other (Specify)

ANNEXURE "C" - LOCALITY PLAN

Erf 850 Wilderness - Locality plan



Date: 8/14/2024 2:04 PM

Scale: 1:1,910



Disclaimer
George Municipality makes no warranties as to the correctness of the information supplied.
Persons relying on this information do so entirely at their own risk.

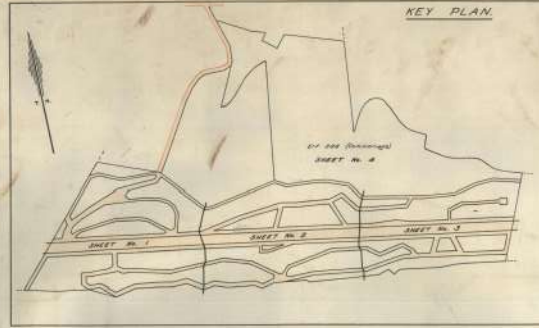
George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.

ANNEXURE "D" - GENERAL PLAN

This plan comprises 5 sheets.
WILDERNESS A/A T P
GENERAL PLAN 1065 L.D.
OF
WILDERNESS TOWNSHIP EXTENSION NO. 2. (C.D.R.)

N. 8036/353
 Approved
[Signature]
 Surveyor-General.

As shown on the plan of the proposed extension of the Wilderness Township Extension No. 2, the boundaries of the proposed extension are shown in red ink. The plan is subject to the provisions of the Survey Act, 1908, and the Survey Regulations, 1912. The plan is subject to the provisions of the Survey Act, 1908, and the Survey Regulations, 1912.



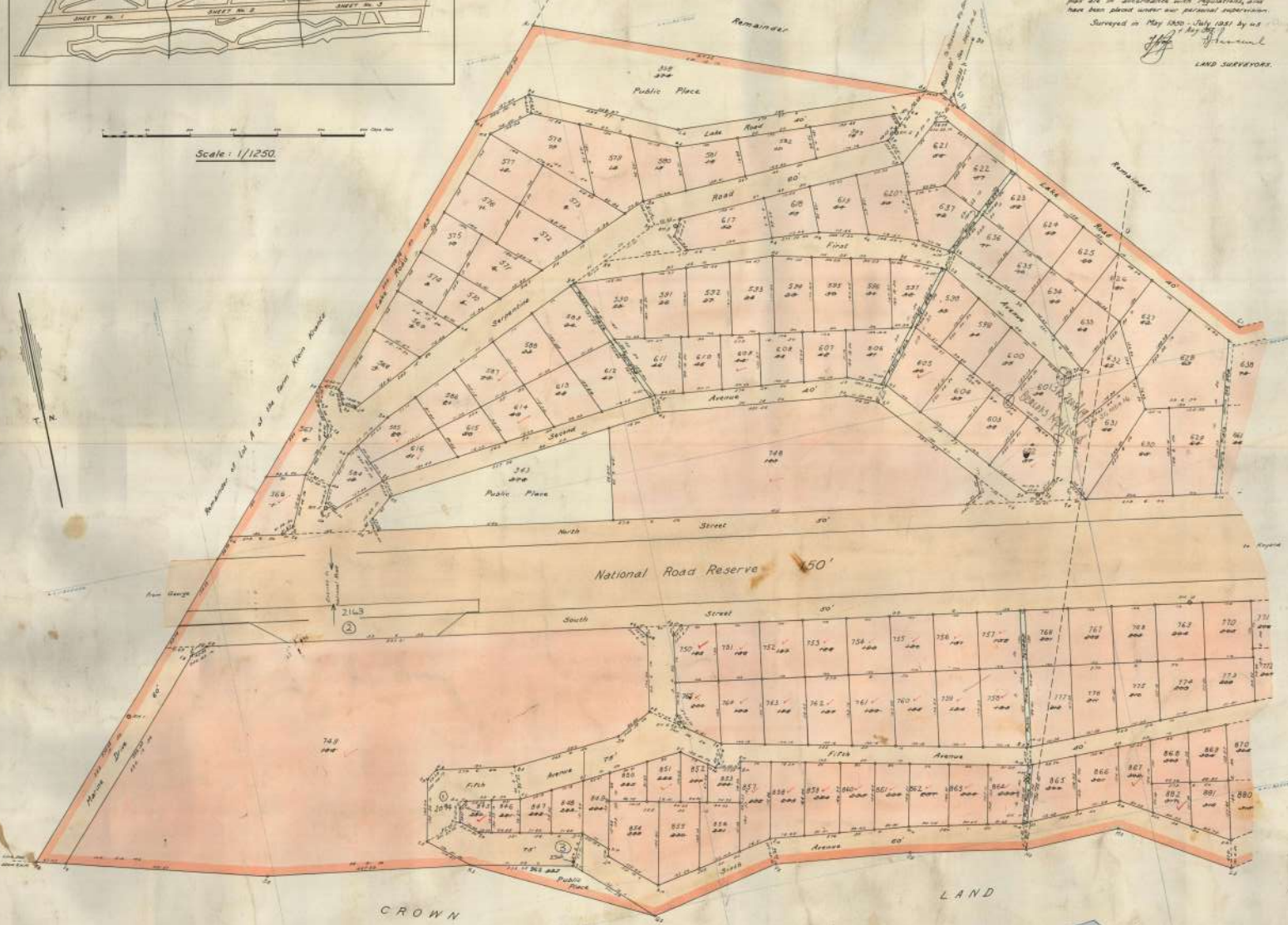
WILDERNESS comprising lots 374-379, 381-383, Public Places 374-387 and Thoroughfares, situated on PORTION 22 (a portion of Portion 21) of the Farm ALEN ABBOTS, in the DIVISION of GEORGE, PROVINCE of CANTON of GOOD HOPE, Vol. Dgm. No. 905/1952, approved to D17 1954 - 1959

The reasons of each act represented on this plan are in accordance with regulations, and have been placed under our personal supervision. Surveyed in May 1950 - July 1951 by us
[Signature]
 LAND SURVEYOR.

Scale: 1/1250

(C.D.R.)

1065 SHT-1



ENCUMBRANCES & OTHER EVENTS				
No.	Particulars	Reference	Remarks	Date
1	Portion of Road 14 2094 closed	14 2094	See Volume 14 2094 p. 16	1950-11-16
2	Portion of Road 61 2145 closed	61 2145	See Volume 61 2145 p. 216	1950-11-23
3	Portion of Road 67 2346 closed	67 2346	See Volume 67 2346 p. 318	1950-11-23
4	Portion of road closed 51 2418	51 2418	See Volume 51 2418 p. 218	1950-11-23
5	Portion of road closed 51 2253 & 2254	51 2253 & 2254	See Volume 51 2253 & 2254 p. 218	1950-11-23

SG OFFICE NOTES
 See Vol. 5 For Notes 1-14
 15. Lot 401, bearing enclosed in Reg 902 was 192318/1953
 16. Lot 728 & 2253 included in casual site Dgm 773/2018 21 2253
 17. Lot 128 & 2254 included in casual site Dgm 773/2018 21 2253

Continued from Sheet 5

Dep. Dgm. No. 1065/1952
 1st Ed. 1952
 2nd Ed. 1952
 3rd Ed. 1952
 4th Ed. 1952
 5th Ed. 1952

Printed under the provisions of the
 Survey Act, 1908, and the Survey
 Regulations, 1912.
 BY SURVEYOR-GENERAL
 1952



S.

ANNEXURE "E" - TITLE DEED

Raubenheimers Inc
PO Box 21
60 Cathedral Street
George
6530

Prepared by me

FEE
800,00
R. (650,00) \$

BC 082799/08
GEKANSELLEER CANCELLED
REGISTRAR
23 OCT 2008

Coetzee
CONVEYANCER
COETZEE AM

VERBIND MORTGAGED	
VIR FOR R 3 000 000,00	
B 000082299/2006	<i>Smeyers</i> REGISTRAR
11 AUG 2006	

T000061764/2006

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT
THILOSHINI GANGEN

appeared before me, REGISTRAR OF DEEDS, at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney which said Power of Attorney was signed at GEORGE on 31 May 2006 and granted to him by

CAREL DANIEL FRANCOIS SMIT
Identity Number 450923 5044 08 4
and
LAURETTE SMIT
Identity Number 460829 0041 08 2
Married in community of property to each other

DATA / VERIFY
29 AUG 2008

20

And the appearer declared that his said principal had, on 24 May 2006, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

OLYVENHOF SAFARIS CC
No. 1997/024751/23

or its Successors in Title or assigns, in full and free property

ERF 850 WILDERNESS
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE;

IN EXTENT 675 (SIX HUNDRED AND SEVENTY FIVE) SQUARE METRES

FIRST TRANSFERRED by Deed of Transfer No. T16501/1966 with Diagram No. 1818/66 relating thereto and held by Deed of Transfer No. T53620/2001.

A. SUBJECT to the conditions referred to in Certificate of Registered Title No. T19388/1954.

B. ENTITLED to benefits under the special conditions contained in Deeds of Transfer all dated 29th December 1908, Nos. T9379/1908, T9380/1908 and T9381/1908, namely:-

"That the two lakes on the remaining extent of the aforesaid farm called Klein Krantz shall remain for the joint use of the Appearer's Constituents, that is to say, for those who receive title upon partition of deducted portions, and those to receive undivided shares in the remaining extent."

C. SUBJECT FURTHER to the conditions contained in Deed of Transfer No. T16501/1966, imposed by the Administrator of the Province of the Cape of Good Hope in terms of Ordinance No. 33 of 1934, when approving of the establishment of WILDERNESS TOWNSHIP EXTENSION NO. 2, which reads as follows:-

- (1) Any words and expressions used in the following conditions shall have the same meaning as may have been assigned to them by the regulations published under Provincial Notice No. 401 dated 17th October 1935, and in the memorandum which accompanied the said regulations.

ⓐ

- (2) The owner of this erf shall without compensation, be obliged to allow electricity and water mains and sewage and drainage, including stormwater of any other erf or erven within or without this Township to be conveyed across this erf, if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time in order to construct, maintain, alter, remove or inspect any sewer, manhole, channel, conduit or other works pertaining thereto.
- (3) The owner of this erf shall be obliged, without compensation, to receive the material or permit excavation on the erf, as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of an within a period to be determined by the local authority.
- (4) This erf shall be subject to the following further conditions, provided especially that where, in the opinion of the Administrator after consultation with the Townships Board and the local authority, it is expedient that the restriction in any such condition should at any time be suspended or relaxed, he may authorise the necessary suspension or relaxation subject to compliance with such conditions as he may impose:
 - (a) it shall not be subdivided;
 - (b) not more than two-thirds of the area thereof shall be built upon;
 - (c) no building, structure or any portion thereof except boundary walls, fences, verandahs and balconies shall be erected nearer than 2,20 metres to the street line which forms a boundary of this erf.
 - (d) In the event of the provisions of a Town Planning Scheme being made applicable to this erf, which provisions are more restrictive than the provisions contained in the above, then the provisions of such Scheme shall apply.

D. SUBJECT FURTHER to the following conditions contained in Deed of Transfer No. T16501/1966 imposed by The Wilderness (1921) Limited for the benefit of all purchasers and their successors in title of the erven comprising Wilderness Township Extension No. 2 and for the benefit of the said Transferor and its successors in title as owners of the remaining extent of the said Township held by it under Certificate of Registered Title No. T19388/1954, namely:-

"DEFINITIONS"

The terms "Seller" in these conditions shall be deemed to include the successors in title of the Seller to the remainder of the land held under the aforesaid Certificate of Registered Title No. T19388/1954. The term "Purchaser" shall be deemed to include the heirs, executors, Administrators or Assigns, of the Purchaser, of the property hereby sold.

TRADE AND OTHER RESTRICTIONS

- (1) No sand or gravel shall be dug or removed from the lot except in the way of excavating for the foundations of any building to be erected thereon, or for use in such building or in preparing or laying out gardens to be occupied therewith, and no brick, tiles, clay or lime shall at any time be manufactured or burnt upon the lot.
- (2) All buildings and/or alterations erected on this lot shall be constructed of brick, stone or concrete, and no building shall be erected on the lot until the site and elevation plans thereof and the site of any offices or buildings together with the sanitation plans in relation thereto, shall have been approved by the Seller in writing. No such building shall, after erection, be altered without the like previous consent in writing. The Purchaser shall provide the Seller with plans in duplicate to the Seller's satisfaction.
- (3) The Seller shall be entitled to call upon the Purchaser to screen suitably any outbuildings erected on the lot.
- (4) All walls, fences, live hedges or like structures abutting upon any road or pathway, shall be of a type approved of by the Seller. The Seller shall not be liable to contribute to the cost of any party or dividing fence, or wall, nor to the cost of repair thereof, but he may call upon the Purchaser to enclose the said Lot. This provision eliminating any contribution by the Seller to the cost of repair of any party or dividing fence or wall shall not extend to any adjoining lot which the Seller may sell or dispose of subsequent to the date hereof, and the Purchaser of such lot adjoining the lot hereby sold shall in all respects be subject to the laws governing contributions to such party or dividing fences or walls.
- (5) No wind driven appliance or windmill or wireless aerial and poles shall be erected by the Purchaser without the specific written approval thereof and permission of the Seller.
- (6) All buildings or structures, fences, live hedges or the like erected on the lot shall be reasonably maintained externally by the Purchaser in good order and repair, the intention being that adjoining lots shall not be depreciated by any shabby, uncared for or dilapidated buildings, structures, fences or live hedges.
- (7) Should any buildings or structures be erected out of compliance with these conditions, the Seller shall have the right to insist upon the demolition thereof, and the Seller shall at all reasonable times, through its proper officers, have the right of access to and inspection of any building operations conducted by the Purchaser on the lot.

10

C

- (8) In respect of any lot upon the sea front, Purchasers shall not cut down or otherwise destroy the natural bush growth on the sea front and so endanger any plot to erosion by the sea or to shifting sands. Seller reserve the right to prescribe the level at which all buildings shall be placed on such lots, or any of them, and if called upon to do so by the Seller, Purchaser shall be obliged to plant and maintain suitable turf on any clear or open portions of such lots to guard against shifting sands.
- (9) The lot shall not be occupied either for building purposes or as a place of human residence or resort, whether by means of buildings thereon or tents or camps erected or placed thereon for any period, unless the said lot shall have previously been provided with water flush sanitation accommodation for the use of persons so residing or resorting upon the said lot. Such sanitation accommodation shall at all times be maintained in efficient working order by the owner of the plot.
- (10) The Purchaser agrees to be bound not to clear or destroy the trees and bush on the lot without first consulting the Seller, the intention being that it is desirable in the general interest that the scenery shall not be marred by excessive or undue clearing of the bush and trees and especially as it is the Seller's intention to avoid cutting of any lines or squares or angles which will show marked patterns on the scenic effect of the Township, but it is not the intention to interfere unreasonably with the Purchaser's full use and enjoyment of the said lot, and the Seller agrees that the frontage of any premises other than domestic should have a clear and uninterrupted view.
- (11) The Purchaser agrees to observe uniformity in respect of fencing line for all fences, walls, hedges or structures that may abut on to any road, pathway, open space or property of the Seller, and to maintain all boundary fences, walls, hedges or structures of the lot in good order and repair.

Q

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WHEREFORE the said Appearer, renouncing all right and title which the said

CAREL DANIEL FRANCOIS SMIT
and
LAURETTE SMIT

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

OLYVENHOF SAFARIS CC
No. 1997/024751/23

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R3 500 000,00 (THREE MILLION FIVE HUNDRED THOUSAND RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the Registrar of Deeds at Cape Town
on 11 August 2006

Goepens
q.q.

In my presence

[Signature]
REGISTRAR OF DEEDS

ANNEXURE "F" - COMPANY REGISTRATION CERTIFICATE

PAUW BOTH A & SMUTS INC / ING

ATTORNEYS & CONVEYANCERS
PROKUREURS & AKTEVERVAARDIGERS

FIRST FLOOR / EERSTE VLOER
NO. 1 HATFIELD SQUARE
CNR / H/V HILDA & BURNETT STS
HATFIELD
P O BOX / POSBUS 58934
ARCADIA 0007
P O BOX / POSBUS 1384
PRETORIA 0001
SOUTH AFRICA

DOCEX 68

DEEDS OFFICE LOG NO : 76
AKTEKANTOOR INDIEN NR : 76

TEL : (012) 362 6380

FAX : (012) 362 6388

DANIE ERASMUS AND PARTNERS
PER LEGAL EXPRESS

OUR REF / ONS VERW : GRETCHEN DE SMIT / LIZÉ HONIBALL / CE0098
YOUR REF / U VERW : OLGA LE ROUX / S.H. STEYN / V19
DATE / DATUM : 1 December 1997

Dear Olga

OLYVENHOF SAFARIS BK

We thank you for your letter dated 28 November 1997, together with the enclosures, received by our offices on same date.

We confirm that the amended founding statement was lodged on today's date and we will keep you advised.

Yours faithfully
PAUW BOTH A & SMUTS

per: 

WET OP BESLOTE KORPORASIES, 1984
CLOSE CORPORATIONS ACT, 1984

(Artikels 13, 15 en 60 / Sections 13, 15 and 60)
(Regulasies 2 en 16 / Regulations 2 and 16)

GEWYSIGDE STIGTINGSVERKLARING TEN OPSIGTE VAN REKENINGKUNDIGE BEAMPTEN EN ADRESSE
AMENDED FOUNDING STATEMENT IN RESPECT OF ACCOUNTING OFFICER AND ADDRESS

Kennisgewing van aanstelling en verandering van naam en adres van rekeningkundige beampte en besonderhede van posadres en geregistreerde kantoor van korporasie / Notice of appointment and change of name and address of accounting officer and particular postal address and registered office of corporation

(Moet in drievoud ingeleë word / To be lodged in triplicate)

Voor voltooiing van die vorm, let op notas op keerse / Before completing the form, take note of notes on reverse side

REGISTRASIENOMMER VAN KORPORASIE REGISTRATION NUMBER OF CORPORATION	CK 1997 / 024751	723
--	------------------	-----

Volle naam van korporasie
Full name of corporation Olyvenhof Safaris CC

DEEL 1 / PART I (Moet voltooi word / To be completed)

REKENINGKUNDIGE BEAMPTEN / ACCOUNTING OFFICER

1. Naam en posadres van rekeningkundige beampte / nuwe rekeningkundige beampte
Name and postal address of accounting officer / new accounting officer PricewaterhouseCoopers

Postbus 9, Welkom, 9460

(Heb skriftelike toestemming tot aanstelling aan / Attach written consent to appointment)

Volle naam van erkende profesie van rekeningkundige beampte
Full name of recognised profession of accounting officer Geëkspertiseerde Rekenmeesters (SA)

Lid/praktykno
Membership/practice No 904236A

2. Die rekeningkundige beampte het met ingang van
The accounting officer has with effect from N.v.t.

sy adres verander na
changed his address to N.v.t.

3. Die rekeningkundige beampte,
The accounting officer, N.v.t.

het met ingang van
has with effect from N.v.t.

sy naam verander en s
changed his name

bekend staan as
future be known as N.v.t.

*Skrap wat nie van toepassing is nie / Delete which is not applicable

Geteken deur of namens elke lid (in die geval van die aanstelling van nuwe rekeningkundige beampte)
Signed by or on behalf of every member (in the case of the appointment of a new accounting officer)

Geteken deur rekeningkundige beampte (in die geval van 2 en 3 hierbo)
Signed by accounting officer (in the case of 2 and 3 above)

NAAM VAN KORPORASIE
NAME OF CORPORATION

OLYVENHOF SAFARIS BK

REGISTRASIENOMMER
REGISTRATION NUMBER

CK 97, 2475 | 123

DEEL 2 / PART 2 (Moet voltooi word / To be completed)

ADRESSE / ADDRESSES

Die posadres en die ligging van die geregistreerde kantoor van die korporasie het/gaan verander*
The postal address and the situation of the registered office of the corporation have/will be changed*

(i) Posadres:
Postal address: PO Box 80, FERNDALE, 2160

(ii) Adres van geregistreerde kantoor (nie posbus nie):
Address of registered office (not post office box): 20 HANS STREJDOM DRIVE,
RANDBURG, 2194

Datum van verandering
Date of change: 26 November 1997

1997-12-2

Geteken deur of namens elke lid
Signed by or on behalf of each member

 (WV) J. van der Merwe

Datum
Date: 25-11-97

OF / OR

Deur die rekeningkundige beampte wat soos volg sertifiseer:
By the accounting officer who certifies as follows:

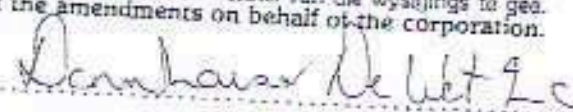
EK DANHANSER DE WED INC.

die behoorlik aangestelde rekeningkundige beampte van die korporasie
the duly appointed accounting officer of the corporation

sertifiseer dat die korporasie die wysigings in hierdie Deel aangedui,
certify that the corporation has approved the amendments indicated in this Part

goedgekeur het en dat ek gemagtig is om namens die korporasie kennis van die wysigings te gee.
and that I am authorised to give notice of the amendments on behalf of the corporation.

Handtekening van rekeningkundige beampte
Signature of accounting officer



Datum
Date: 26-11-97

*Skrap wat nie van toepassing is nie / Delete which is not applicable

Alle veranderings geregistreer op
All changes registered on

1997-12-2

REGISTRASIENOMMER REGISTRATION NUMBER	CK 97124751 /23
--	-----------------

VIR SLEUTEL TOT BESONDERHEDE, KYK NOTA 10 OP KEERSY VAN BLADSY 2
FOR KEY TO PARTICULARS SEE NOTE 10 ON REVERSE SIDE OF PAGE 2

1	(a)	DE VILKERS														
	(b)	WILLEM HIRMANUS														
2	(i)	5	2	1	2	2	1	5	0	5	1	0	0	0		
2	(ii)	N/A										3	50%			
4		R 50-00														
5		STELLENBOSCH PLACE, 7 SUNSET RIDGE, NORTHCLIFF														
6		P O BOX 1961 KELVIN 2054														
7		31/10/97														
8	1	1997-12-31	2	1997-12-31	3	31/10/97	4	1997-12-31	5	1997-12-31	6	31/10/97	7	1997-12-31	8	31/10/97

1	(a)	OLIVIER														
	(b)	EMMARENTIA														
2	(i)	6	7	0	6	1	4	0	1	2	0	0	8	6		
2	(ii)	N/A										3	50%			
4		R 50-00														
5		14 COLLINS AVENUE RANDPARK RIDGE, EXT 13														
6		P O BOX 1961 KELVIN 2054														
7		31/10/97														
8	1	31/10/97	2	1997-12-31	3	31/10/97	4	1997-12-31	5	1997-12-31	6	31/10/97	7	1997-12-31	8	31/10/97

1	(a)															
	(b)															
2	(i)															
2	(ii)											3	%			
4		R														
5																
6																
7																
8	1		2		3		4		5		6		7		8	

1	(a)															
	(b)															
2	(i)															
2	(ii)											3	%			
4		R														
5																
6																
7																
8	1		2		3		4		5		6		7		8	


NAAM VAN KORPORASIE
NAME OF CORPORATION

OLYVENHOF SAFARIS CC

REGISTRASIENOMMER
REGISTRATION NUMBER

CK 97 / 24751 /23

PERSONE WAT OPHOU OM LID TE WEES / PERSONS WHO CEASE TO BE MEMBERS

Volle naam en van van lid Full name and surname of member	Identiteitsnommer Identity number	Handtekening Signature
MARK ANDREW KOATEN	6710095009006	

Lidmaatskap eindig op die datum van registrasie van die Gewysigde Stigingsverklaring.
Membership ceases on the date of registration of the Amended Founding Statement.

NAAM VAN KORPORASIE / NAME OF CORPORATION Olyvenhof Safaris CC

REGISTRASIENOMMER / REGISTRATION NUMBER CK 1997/ 024751 /23

DEEL 2 / PART 2 (Moet voltooi word / To be completed)

ADRESSE / ADDRESSES

Die posadres en die ligging van die geregistreerde kantoor van die korporasie het/saam verander*
The postal address and the situation of the registered office of the corporation have/will be changed*

(i) Posadres: PricewaterhouseCoopers Ingelyf
Postal address: Posbus 9, Welkom, 9460

(ii) Adres van geregistreerde kantoor (nie posbus nie): Suite 204, Nedbank Gebou, Rykstraat
Address of registered office (not post office box): Welkom, 9459

Datum van verandering / Date of change

Geteken deur of namens elke lid / Signed by or on behalf of each member [Signature]

Datum / Date [Signature]

OF / OR

Deur die rekeningkundige beampte wat soos volg sertifiseer:
By the accounting officer who certifies as follows:

Ek PricewaterhouseCoopers Ingelyf

die behoorlik aangestelde rekeningkundige beampte van die korporasie
the duly appointed accounting officer of the corporation

sertifiseer dat die korporasie die wysigings in hierdie Deel aangedui
certify that the corporation has approved the amendments indicated in this Part

goedgekeur het en dat ek gemagtig is om namens die korporasie kennis van die wysigings te gee
and that I am authorised to give notice of the amendments on behalf of the corporation.

Handtekening van rekeningkundige beampte / Signature of accounting officer

Datum / Date

*Skrap wat nie van toepassing is nie / Delete which is not applicable

Alle veranderings geregistreer op / All changes registered on

REGISTRATEUR VAN BESLOTE KORPORASIES / REGISTRAR OF CLOSE CORPORATIONS

DATUM / DATE

OLYVENHOF SAFARIS BK. 166

REG NR / REG NO: CK 97/24751/23

EIENAARS/ OWNERS: WILLEM & EMMARENTIA DE VILLIERS

TEL: (012) 666-9238

POSBUS / P.O. BOX 8844

FAKS / FAX: (012) 666-9238

CENTURION, 0046

GOUWSLAAN / -AVENUE 1/43, RASLOUW, CENTURION

Datum : Donderdag 22 Junie 2006

**Aandag: Nortje & Nagdee Inc
Francis**

I.S. OLYVENHOF SAFARI'S

IB nommer: Dr. W.H. de Villiers

0218/004/42/2

ID: 521221 5051 083

IB nommer: Mev. E. de Villiers

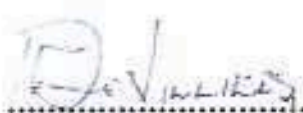
1257/481/14/1

ID: 670614 0120 086

Byvoorbaat dank

Groete


.....
(Dr.) W.H. de Villiers


.....
(Mev / Mrs)E. de Villiers

OLYVENHOF SAFARI'S BK / CC

REG NR / REG NO: CK 97/24751/23

EIENAARS / OWNERS: WILLEM HERMANUS & EMMARENTIA DE VILLIERS

CELL: 063 414 4576

CELL: 082 957 1951

e-mail: whdevilliers@gmail.com

e-mail: emmarentiadevilliers@yahoo.co.za

POSBUS / P. O. BOX 4984

GEORGE-006 / GEORGE EAST

6539

BTW Nr / VAT No: 4770170878

PLAAS / FARM DIEPEKLOOF 226, PORTION 18 OF PORTION 38, SINKSABRUG, GEORGE DISTRIK /
Datum: 10 Mei 2021 DISTRICT, WESKAAP / WESTERN CAPE

I.S.: Posadres en Fisieseadres van Dr. Willem H. de Villiers en Mev. Emmarentia de Villiers

Beide direkteure,

Dr. Willem Hermanus de Villiers

ID Nr: 521221 5051 083

en

Mev. Emmarentia de Villiers

ID: 670614 0120 086

Verklaar hiermee dat hulle posadres en fisieseadres onder hulle BK, Olyvenhof Safari's BK is en dat hulle 50% en 50% aandeelhouers van die BK is.

Posbus 4984

George-Oos

6539

en

Porsie 38 van Porsie 18 van die Plaas Diepekloof Nr 226, Sinksabrug, George Distrik in die Wes-Kaap Provinsie, 6535



DR. W. H. DE VILLIERS



MRS. E. DE VILLIERS

ANNEXURE "G" - POWER OF ATTORNEY

OLYVENHOF SAFARI'S BK / CC

REG NR / REG NO: CK 97/24751/23

EIENAARS / OWNERS: WILLEM HERMANUS & EMMARENTIA DE VILLIERS

CELL: 083 414 4576

CELL: 082 957 1951

e-mail: wildevilliers@gmail.com

e-mail: emmarentiadevilliers@yahoo.co.za

POSBUS / P. O. BOX 4984

GEORGE-008 / GEORGE EAST

6539

BTW Nr / VAT No: 4770170678

PLAAS / FARM DIEPEKLOOF 226, PORTION 18 OF PORTION 38, SINKSABRUG, GEORGE DISTRIK /
DISTRICT, WESKAAP / WESTERN CAPE

Datum: 15 Augustus 2024

IS: Erf 850 Wilderness, Distrik George

Gragte leser,

Hiermee gee ons, Dr. Willem Hermanus de Villiers ID: 5212215051083 en Mev. Emmarentia de Villiers ID: 6706140120086, toestemming aan Mnr. Jan Vrolijk om namens Olyvenhof Safari's BK te kan aansoek doen vir verslapping van grense van Erf 850.

Byvoorbaat dankie



.....
DR. W. H. DE VILLIERS



.....
MRS. E. DE VILLIERS

ANNEXURE "H" - CONVEYANCER CERTIFICATE

CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023

ERF 850 WILDERNESS

APPLICATION DETAILS

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for a permanent departure for the relaxation of the southern side and rear boundary building lines on Erf 850 Wilderness from 2.0 metres to 0.0 metres to accommodate a proposed studio and open balcony on the first floor of the double garage.

APPLICATION DATE

August 2024

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T61764/2006 (current Title Deed)

in respect of:

**ERF 850 WILDERNESS
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT: 675 (SIX SEVEN FIVE) SQUARE METRES

HELD BY DEED OF TRANSFER NUMBER T61764/2006

REGISTERED in the name of

OLYVENHOF SAFARIS CC REGISTRATION NO 1997/024751/23

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.
4. There is no bond registered over the property.

SIGNED at GEORGE on 21 August 2024

A handwritten signature in black ink, appearing to be 'A. J. van der Merwe', written in a cursive style.

CONVEYANCER