

Our Ref.: 1297/GEO/23
Your Ref.: Erf 642, George

9 September 2024

The Municipal Manager
George Municipality
PO Box 19
GEORGE
6530

ATTENTION: MR. CLINTON PETERSEN

BY HAND

Dear Mr. Petersen,

PROPOSED REZONING, SUBDIVISION AND DEPARTURE: ERF 642, 10 MYRTLE ROAD, GEORGE MUNICIPALITY AND DIVISION

1. The above matter refers.
2. Attached hereto find the following:
 - A copy of the required documentation;
3. We hope that you will be able to process the application as soon as possible.

Yours Faithfully
DELPLAN Consulting

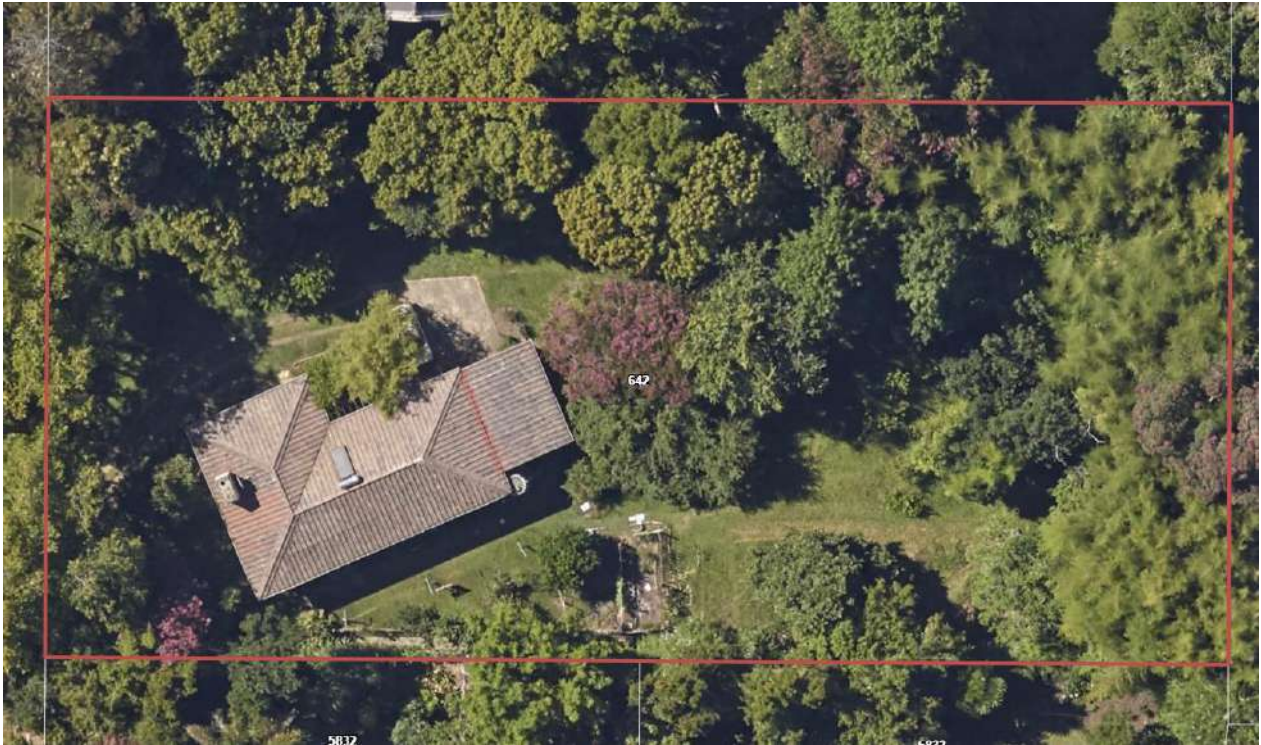


DELAREY VILJOEN Pr. Pln

<https://delplan.sharepoint.com/sites/Delplan/Shared Documents/General/Documents/PROJECTS/2023/1297-GEO-23/Korrespondensie/b1.docx>

Cc: TRUE STORY HOLDINGS PROPRIETARY LIMITED

**PROPOSED DEPARTURES ON: ERF 14212, 5 WALVIS STREET, MOSSEL BAY
MUNICIPALITY AND DIVISION**



FOR: MAGNOLIA RIDGE PROPERTIES 221 (PTY) LTD



URBAN & REGIONAL PLANNERS

D E V E L O P M E N T E N V I R O N M E N T L I N K

CONTENTS

1. INTRODUCTION	3
1.1 Title Deed	3
1.2 Land Use Application	3
2. CONTEXTUAL INFORMATION	4
2.1 The Locality of the Subject Property	4
2.2 Existing Land Uses and Character of the Area	5
2.3 Zoning.....	6
3. DEVELOPMENT PROPOSAL.....	7
3.1 Proposed Development	7
3.2 Accessibility.....	11
3.3 Engineering Services	11
3.4 Heritage.....	11
3.5 Pre application consultation	11
4. RELEVANT SPATIAL PLANNING POLICIES.....	14
4.1 George Municipal Spatial Development Framework (GMSDF) (2023).....	14
5. STATUTORY FRAMEWORKS.....	15
5.1 Spatial Planning and Land Use Management Act, 2013 (ACT 16 OF 2013) (SPLUMA).....	15
5.1.1 Development Principles	15
5.1.2 Public Interest	17
5.1.3 Environmental Legislation	17
5.2 Land Use Planning Act (LUPA).....	17
5.2.1 Compliance/Consistency with Spatial Policy Directives	18
5.2.2 Need and Desirability	18
6. CONCLUSION	19

ANNEXURES

1. POWER OF ATTORNEY
2. TITLE DEED
3. SG DIAGRAM
4. CONVEYANCER CERTIFICATE
5. LOCALITY
6. LAND USE PLAN
7. CURRENT ZONING
8. PROPOSED ZONING
9. SUBDIVISION PLAN
10. SITE DEVELOPMENT PLAN
11. ENGINEERING SERVICES REPORT
12. HERITAGE PERMIT APPLICATION
13. PRE-APPLICATION CONSULTATIONS
14. SURVEYED TREE MAP
15. ARCHITECTURAL GUIDELINES
16. APPLICATION FORM

**PROPOSED REZONING, SUBDIVISION AND DEPARTURE: ERF 642, 10 MYRTLE ROAD, GEORGE
MUNICIPALITY AND DIVISION**

1. INTRODUCTION

Erf 642 George, hereafter referred to as “the subject property “, is currently developed with a dwelling house, and associated outbuildings. A demolition permit was obtained for the existing house, but approval is awaited from Heritage Western Cape. The subject property is in the densification zone as identified by the Municipal Spatial Development Framework, 2023 (MSDF). The owner wishes to develop 5 group housing erven. The owner appointed *DELPLAN Consulting* to prepare and submit the required land use application, a copy of the Power of Attorney (and Company Resolution) to submit this land use application is attached as **Annexure 1**.

1.1 Title Deed

The subject properties are registered in the name of True Story Holdings Proprietary Limited (Registration Number 2018/436474/07) according to Title Deed T2522/2024. The property measures 2689m² in extent. The title deed is attached as **Annexure 2** and accompanying SG diagrams are attached as **Annexure 3**. There are no title deed restrictions prohibiting the proposed application, this is confirmed with the conveyancer’s certificate attached as **Annexure 4**.

1.2 Land Use Application

This land use application entails the following:

1. Rezoning in terms of Section 15(2)(a) of the George Municipality: Land Use Planning By-Law, 2023 of Erf 642, George from Single Residential Zone I to General Residential Zone II (group housing).

2. Subdivision in terms of Section 15(2)(d) of the George Municipality: Land Use Planning By-Law, 2023 of Erf 642, George into 5 portions, namely:

- Remainder (±665.29m²);
- Portion A (±488.85m²);
- Portion B (±488.86m²);
- Portion C (±488.86m²); and
- Portion D (±557.38m²).

3. Departure in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-Law, 2023 of the Development Parameter f(i) for group housing to allow the garage door facing the private right of way servitude from 5m to 0m on Erf 642, George.

2. CONTEXTUAL INFORMATION

2.1 The Locality of the Subject Property

The subject property is located at 10 Myrtle Road, George; in the neighbourhood Heatherlands, north-west of the George CBD. **Figure 1** indicates the subject property in relation to other surrounding properties and the rest of George. For a more detailed view, please refer to **Figure 2** and the locality plan attached hereto as **Annexure 5**.



Figure 1: The location of the subject properties in relation to surrounding land uses

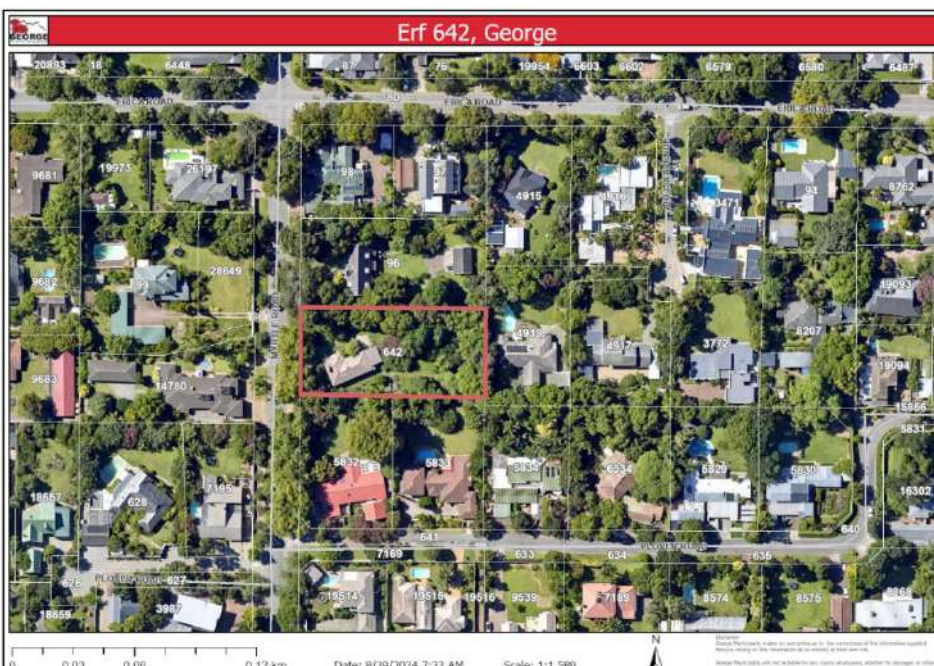


Figure 2: Detailed view of subject property and immediate surrounding land uses

2.2 Existing Land Uses and Character of the Area

The subject property is located in the densification zone as per the MSDF, 2023. The density aim for George is 25du/ha. The proposal for 5 group housing erven on Erf 642, George will have a density of 19du/ha. Although, the zoning scheme allows a maximum density of 35du/ha, the proposed group housing development is in line with the character of area and therefore a lower density is proposed.

The suburb of Heatherlands is an old established residential neighbourhood, characterised by large properties and low density residential. However, there are a number of properties in the neighbourhood that have a second dwelling that is part of a sectional title scheme (this was allowed a few years ago) and more recently a few properties have successfully obtained group housing development rights. A few historic group housing developments exist along the main route, Davidson Road, opposite the state hospital.

The exponential growth of George has led to a lack in housing provision and therefore the MSDF encourages higher density housing. However, the proposal is sensitive to the character of the area and decided to develop less group housing units, however bigger in size to fit into the character of the area where big residential homes are commonly known.

Currently all the surrounding properties are Single Residential Zone I, however all the properties fall within the densification area and have the potential to develop higher density residential. The existing group housing developments and sectional title schemes are illustrated in **Figure 3** below, indicating the pockets of higher density residential in orange and the surrounding land uses are contained in the Land Use Plan, attached as **Annexure 6**.



Figure 3: High density residential development in close proximity to subject properties

The proposed 5 group housing units will comply with the prescribed building lines in the George Integrated Zoning Scheme, 2023 and the access gate that will provide entrance and exit point for the 5 group housing units will be set back from Myrtle Road at 6m to ensure the provision of adequate stacking distance to ensure that vehicles entering and existing the property does not cause any traffic hinderance.

Figure 4 indicate the subject property form Myrtle Road. The existing house on Erf 642, George is older than 60 years and therefore a Heritage Permit application was submitted to Heritage Western Cape for approval. However, the demolition permit was already granted for the existing structures on site. **Figure 5** indicate Myrtle Road looking south towards CJ Langenhoven Road. Myrtle Road is a quiet neighbourhood street, intersecting with CJ Langenhoven Road which is a main transportation corridor and a Go George bus route. The properties will therefore be easily accessible and a mere 200m walk to CJ Langenhoven Road, a public transportation route.



Figure 4: Indicate the subject property from Myrtle Road



Figure 5: Indicate Myrtle Road towards CJ Langenhoven Road

2.3 Zoning

As can be seen in **Figure 6**, the current zoning of the subject property according to the George Integrated Zoning Scheme By-Law is “Single Residential Zone I”.

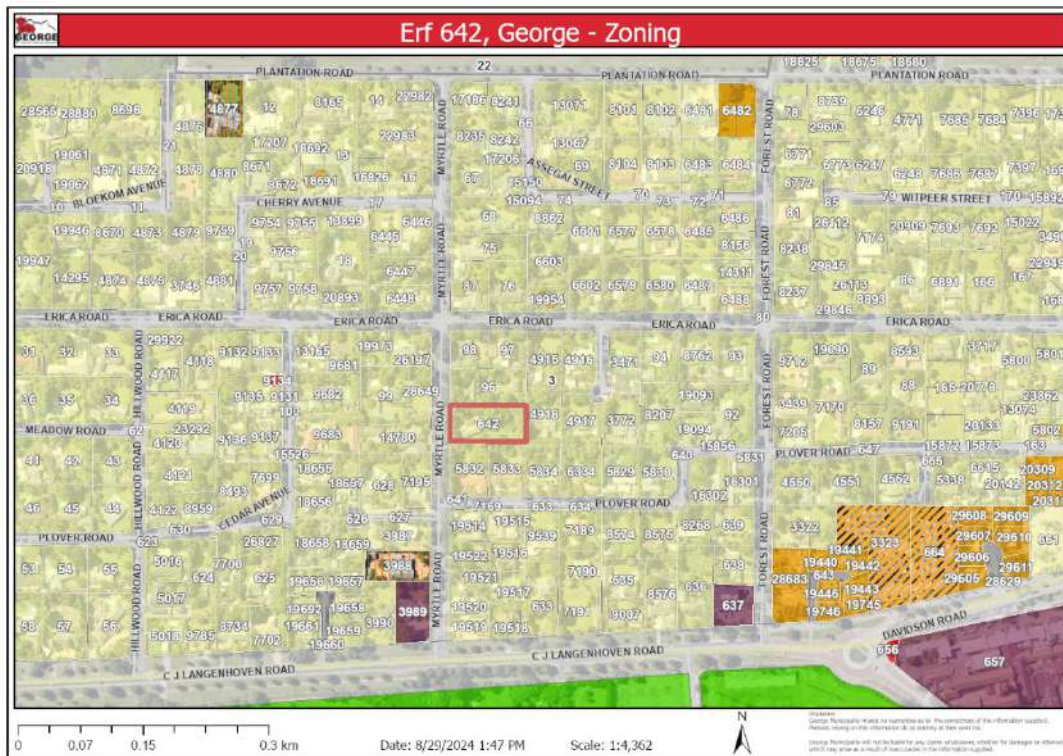


Figure 6: An illustration of the zoning of subject property and surrounds

The neighbourhood Heatherlands is generally associated with large properties with Single Residential Zone I zoning. However, the neighbourhood is located along a main transportation route that indicate a 500m walkable area from such routes to be the densification area. Some densification was recently approved in terms of General Residential Zone II (group housing) on Erf 6482, George and Erf 18731, George. The Land Use Plan indicating the surrounding land uses can be found in **Annexure 6**. The Current Zoning can be found in **Annexure 7** with the Proposed Zoning in **Annexure 8**.

3. DEVELOPMENT PROPOSAL

3.1 Proposed Development

The proposed development entails the rezoning of Erf 642, George from *Single Residential Zone I* to *General Residential Zone II* and the subsequent subdivision of the group housing site into 5 group housing erven as well as a departure from the building line development parameter for the placement of garages and parking bays. The proposed development as seen in **Figure 7** indicates 5 group housing properties ranging in size from 488.86m² to 665.29m² with a private right-of-way servitude to provide access to the subdivided portions of Erf 642, George. The subdivision plan is also attached as **Annexure 9**. The departure from the Development Parameter f(i) for group housing to allow the garage facing the private right-of-way servitude from 5m to 0m is required for the development proposal.



Figure 7: Subdivision Plan

The proposed development complies with all the other development parameters for Group Housing. The right-of-way servitude is exempted in terms of Section 24 of the Land Use Planning Bylaw for George Municipality, 2023 and will therefore only be submitted to the municipality after successful rezoning and subdivision of Erf 642, George.

The extract of the site plan indicated in **Figure 8** below and attached as **Annexure 10**, indicate the position of the proposed group housing units on Erf 642, George. The proposed group housing units comply with the building lines and a refuse yard is provided adjacent to Myrtle Road.

As can be seen in **Figure 8**, 16 parking bays are provided. In terms of the George Integrated Zoning Scheme, 2023 parking bays should be provided as follows:

- 1.75 bays per dwelling unit with 3 habitable rooms or more, and
- 0.25 bays per unit for visitors.

The proposed development provides 6 more parking bays than the required parking bays per the George Integrated Zoning Scheme, 2023. The development proposal ensures that the inhabitants and visitors will have sufficient parking bays on site. As can be seen in **figure 9** (also attached as **Annexure 10**), there is more than enough functional open space per group housing unit, this measures 654,6m² in extent, which is approximately 40% of the subject property.

Thus, more than double the amount of functional open space will be provided for the proposed 5 group housing units. The additional functional open space will create an attractive living environment for the inhabitants of the proposed group housing units.



Figure 8: Site Plan



Figure 9: Site Plan indicating functional open space

As per **Figure 8 (Annexure 10)** there are two different unit types proposed. Four of the five units will be Type-A and one unit will be Type B. The only reason for type-B is to provide sufficient space for the refuse area along Myrtle Road – the Type B is a mirror image of Type A. **Figure 10** indicates the floor plan and elevations for type-A units and **Figure 11** indicates the floor plan and elevations for the type-B unit. The group housing units are designed to accommodate sustainable and quality living, by creating braai rooms and a swimming pool for each group housing unit as well as sufficient functional open space. Architectural guidelines for the development is attached as **Annexure 15**.

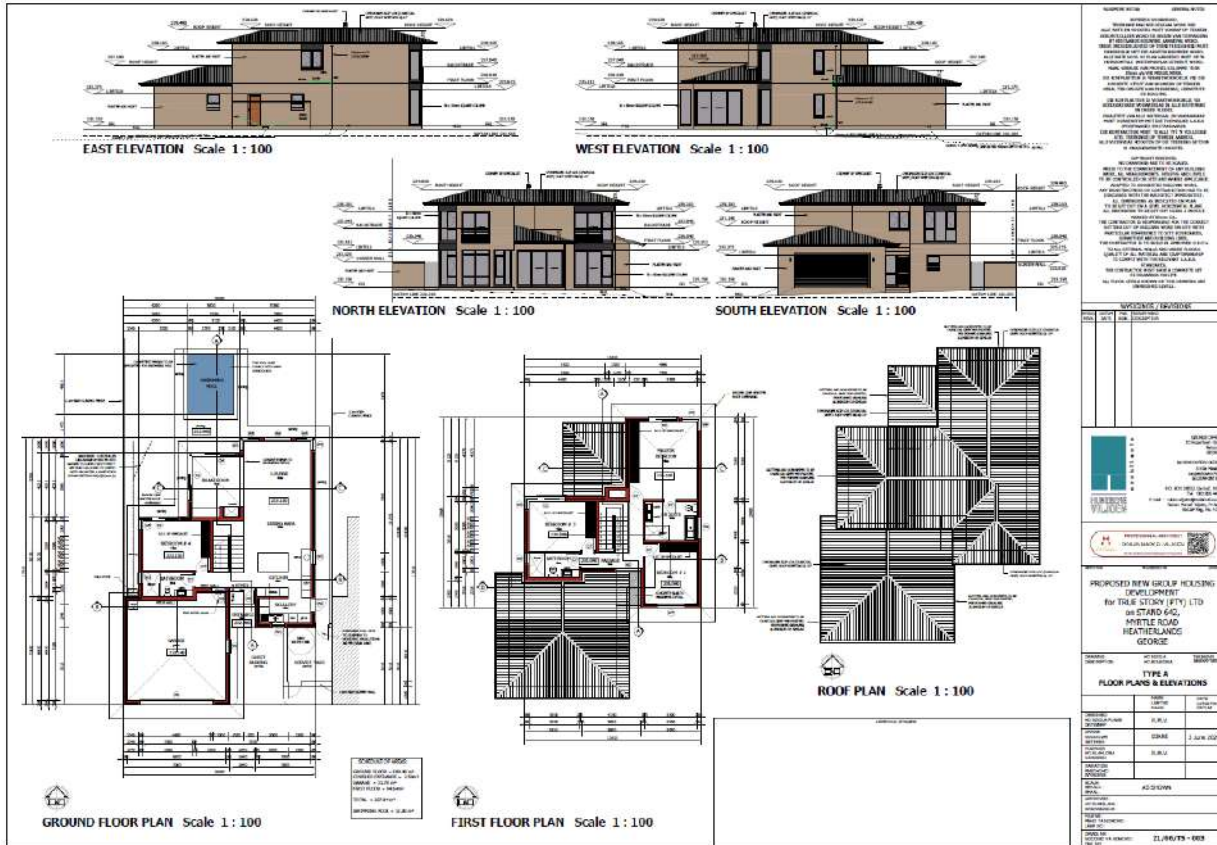


Figure 10: Type-A floor plan and elevations

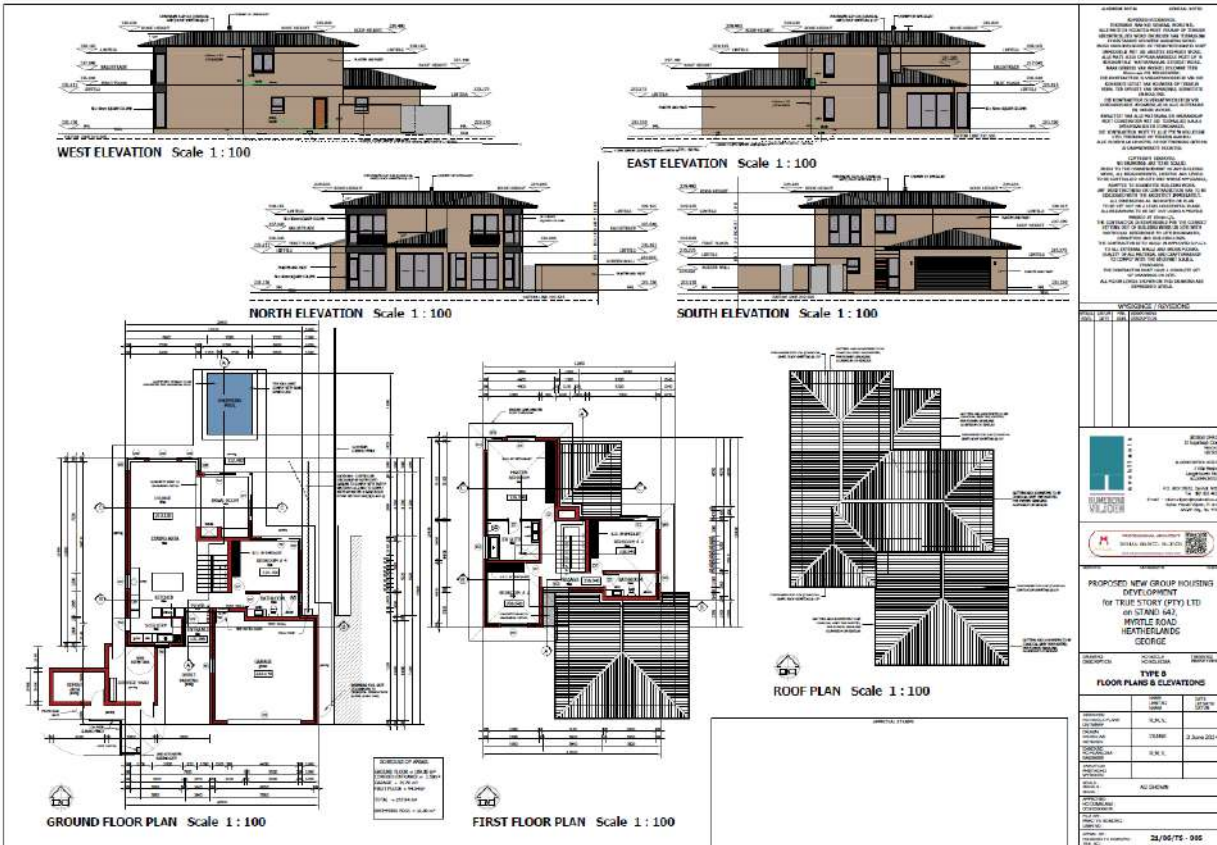


Figure 11: Type-B floor plan and elevations

3.2 Accessibility

Access to the subject property remains from Myrtle Road and will be 6m in width in line with the development parameters. The entrance and exit are placed around the existing mature tree on the sidewalk. An automated sliding gate is proposed for the entrance and exit from Myrtle Road and a stacking distance of approximately 6m will be provided. There is adequate manoeuvring space for the proposed parking bays and garages as the private right-of-way servitude is 9,5m in width (including the stormwater channel on the southern side of the site).

The refuse area is situated next to Myrtle Road for easy access for refuse removal. No access issues could be identified. Although more than the required parking bays are provided, the subject property is located an easy walking distance south of the Myrtle Go-George bus stop and CJ Langenhoven Road toward the south of the subject property is also a major bus route. Thus, the higher density of the subject property is consistent with MSDF to promote higher densities on properties with easy access to public transport.

3.3 Engineering Services

The subject property is located within an already developed and serviced residential area, however, services will require upgrades to sufficiently accommodate the proposed development. The necessary Development Contributions will be payable. A Engineering Services Report is attached as **Annexure 11**.

3.4 Heritage

The existing house on the subject property is now just more than 60 years old and therefore a Permit application was submitted to Heritage Western Cape to demolish the house, in August 2024. The house is in a very poor condition dated back to 13 August 1963. The new owner approached the Municipality to demolish the existing house on 7 February 2024 and the demolition permit was granted on 27 February 2024. However, the owner did not act immediately on the demolition permit, and it is advised that a permit application be obtained from Heritage Western Cape for the demolition permit as the demolition permit from the Municipality is in contradiction with the National Heritage Resources Act (Act 25 of 1999). Building plans were also submitted for one of the proposed new group housing units, which were approved by the Municipality on conditions that the existing house be demolished. The Heritage Permit application is attached as **Annexure 12**.

3.5 Pre application consultation

Pre application consultation was held on 10 July 2024, the feedback can be found below, and attached as **Annexure 13**.

Town Planning comments:

- The applicant to take note of the comments as provided on pre-application report dated 31 May 2023.

Noted.

- It was advised that the applicant motivates the application in terms of the required statutory legislation (George MSDP 2023, SPLUMA etc.).

Noted, motivated as such.

- The proposed development may have a visual impact, therefore impacting on the character of the surrounding environment. The applicant needs to motivate mitigation measures in this regard. The sense of place for the residential neighbourhood should not be negatively impacted by the proposed development.

Noted, addressed in the motivational report.

- Applicant to provide a list of tree species that are currently located on the site and indicate which trees will be retained and which will be removed.

*Noted. M Jacobs surveyor was appointed and compiled a surveyed tree map (attached as **Annexure 14**). The existing trees on site is mostly fruit and alien trees. All the mature trees on the northern boundary will be retained and only be trimmed. This will safeguard the lush garden feeling on the site and in the neighbourhood. **Figure 12** (Annexure 13) below indicate all the trees on the subject property.*

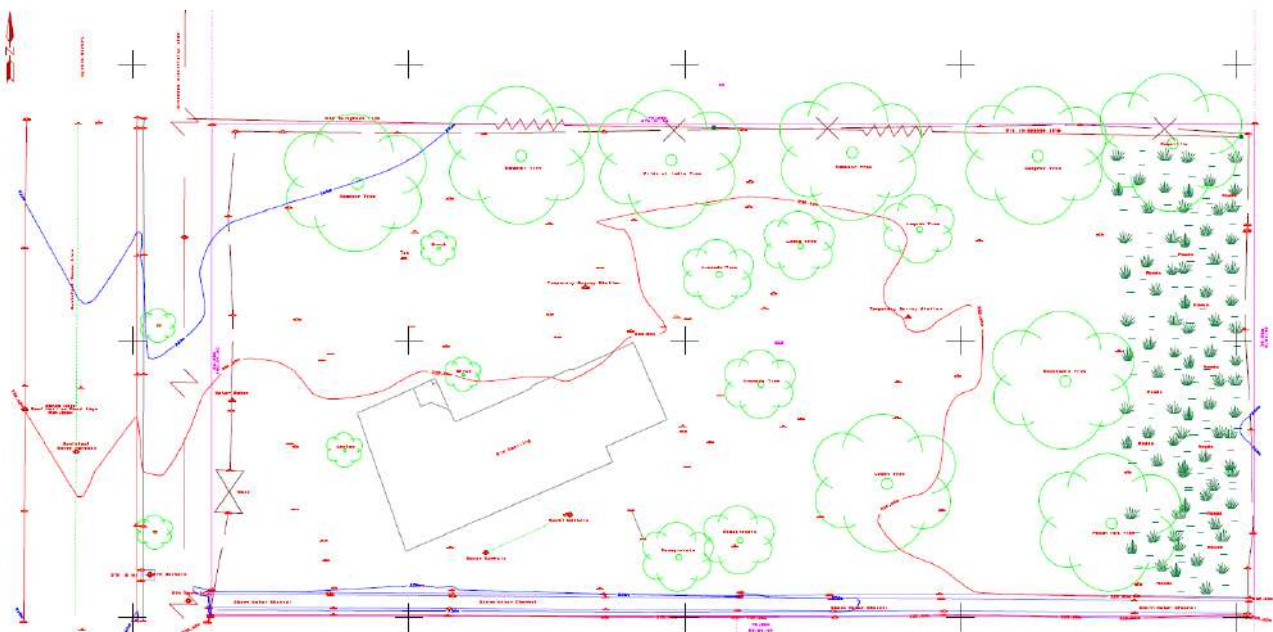


Figure 12: Surveyed trees

- According to the applicant, the existing dwelling house on the site is 58 years old. In this regard, a Notice of Intent to Develop should be submitted to Heritage Western Cape, for comments.

*Noted. The existing house is now more than 60 years old, and a Permit Application was submitted to Heritage Western Cape and attached as **Annexure 12**. Refer to section 3.4 of this motivational report.*

- A subdivision plan and site layout plan must be submitted with the application, clearly indicating the extent of the proposed land uses, parking, access, property boundaries, building lines etc.

*Noted, attached as **Annexure 9 and 10**.*

CES comments

- Access: Restricted to Myrtle Road. Sufficient stacking distance should be provided (minimum of 6,0 meters). Internal road to be transfer to a HOA/BC which will be responsible for the maintenance of the road and associated stormwater.

Noted, access is from Myrtle Road, 6m stacking distance is provided and a private right-of-way are proposed.

- Stormwater: Exiting stormwater to be maintained, as same manages stormwater from Erica Road.

Noted, the existing stormwater channel to remain.

- The appointed Civil Engineer must evaluate and confirm services capacity. Any upgrades required, because of the development, will be for the cost of the developer. Should it be required, a servitude should be registered over the existing stormwater line on the site.

Noted. The engineering report confirmed the stormwater channel will suffice in terms of stormwater runoff volume, that will be generated by the newly proposed development.

- Stormwater for the development is subject to the Stormwater By-law.

Noted.

- Water & Sewer: Internal services to be installed by the developer at his cost.

Noted.

- DC: Normal DC's will be applicable.

Noted.

- Trees: Note that should a forestry license be required, the developer to take note of the application process and timeline.

Noted.

4. RELEVANT SPATIAL PLANNING POLICIES

This section briefly addresses the relevant spatial policy frameworks that provide guidance to development proposals in general and its applicability to this proposed development. These include:

4.1 George Municipal Spatial Development Framework (GMSDF) (2023)

The MSDF, 2023 under the Priority Investment Areas (intensification areas: nodes/precincts and densification areas) states that the main corridors include an approximate 500m graded densification zone on either side of the corridors. There is considerable scope for the absorption of residential growth within the densification zones. The subject property is located within the 500m densification zone.

The MSDF describes the spatial concept as the arrangements of people, places, services and environments. The subject property is located in the densification zone. The GMSDF, 2023 explains Residential Densification as follows (GMSDF: p90):

- Densification zones are areas within existing settlements where residential densification should be accommodated and promoted through appropriate mechanisms such as redevelopment, infill, subdivision, second dwellings, sectional title, greenfield or brownfield development.
- Densification is promoted in all urban areas with specific focus on areas surrounding primary transport corridors and identified nodes. Density – measured as walking distance from public transport route (80u/ha (or more to be motivated) for 150m, 60u/ha in 151-350m and 45u/ha for 351-500m.

The proposal is to develop Erf 642, George with a group housing complex with 5 group housing units. The subject property is 2689m² in extent, thus the group housing will be at a density of 19du/ha. This is lower than the maximum density for group housing that is 35du/ha. The lower density is proposed to safeguard the character of the area, however the subject property is located in the demarcated residential densification area which support high density residential developments.

Policy C2 Growth Management states that densification reduces land consumption, facilitates delivery of services (engineering and socio-economic) to households in a more cost-effective manner and supports affordability and tenure. It established the threshold for viable public transport systems and business. Densification is supported in all nodal precincts and in density zones along main transportation corridors. The position, nature, composition, scale, design of higher density residential development will relate to the context of the development site. A graded density approach will be followed in residential areas. Higher density to be considered in all areas of the CBD and nodes and precincts. Densification facilitated in the mixed-use infill sites and catalytic project sites by requiring a density mix to be illustrated in development proposals/applications.

The subject property is compliant with the GMSDF guidelines as the proposed development is for 5 group housing units and the maximum height is aligned with the single residential development parameters to ensure safeguarding the dominant low-density residential character of the area.

Policy D2 – A variety of housing typologies should be facilitated, is also applicable to the proposed development of 5 group housing units. The proposed higher density development for 5 group housing units will create opportunities for prospective homeowners in a well-established residential neighbourhood, located close to medical facilities, churches and shops.

The subject property in Heatherlands neighbourhood is not discussed in any Local Spatial Development Frameworks.

5. STATUTORY FRAMEWORKS

Following the most recent legislative and procedural changes that have become applicable to the management of land use planning in South Africa and consequently the Western Cape Province, it is considered necessary to summarise the implications of the current statutory framework within the context of this land-use planning application. Set out below are a set of principles and ethical conventions related to this application.

5.1 Spatial Planning and Land Use Management Act, 2013 (ACT 16 OF 2013) (SPLUMA)

The nature of this land use application only partially affects the five development principles of the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SPLUMA). Only the most relevant aspects are addressed below.

5.1.1 Development Principles

1) Spatial Justice

This principle refers to the need for improved access and use of land in order to readdress past spatial - and development imbalances as well as the need for SDF's and relevant planning policies, spatial planning mechanisms, land use management systems and land development procedures to address these imbalances.

- *The GMSDF does identify the area for densification, though not specifically referring to the subject property. Different housing typologies create opportunities for different income groups. The proposed group housing development will provide a different housing opportunity within a well-established residential neighbourhood.*

2) Spatial Sustainability

This principle refers to the need for spatial planning and land use management systems to promote land development that is viable and feasible within a South African context, to ensure the protection of agricultural land and to maintain environmental management mechanisms. It furthermore relates to the need to promote effective/equitable land markets, whilst considering the cost implications of future development on infrastructure and social services as well as the need to limit urban sprawl and ensure viable communities.

This land-use application does not affect prime - or unique agricultural land, nor does it influence any environmental management mechanisms. The property is situated in an already developed area and will not negatively affect the efficient and equitable functioning of land markets. It could be argued that the proposed development for higher density residential development, promote this principle as different housing opportunities will be created.

3) Spatial Efficiency

This principle relates to the need for optimal use of existing resources and infrastructure as well as decision-making that minimises negative financial, social, economic, or environmental impacts and development application procedures that are efficient and streamlined.

- *As mentioned above, the proposed development is situated in the 500m walkable densification zone and is sufficiently serviced. The proposed development will therefore utilise the existing resources and infrastructure available whilst promoting the optimal use of a property located in the densification zone. It is not anticipated that the proposed application will have negative financial, social, economic, or environmental impact.*

4) Spatial Resilience

This principle refers to the extent to which spatial plans, policies and land use management systems are flexible and accommodating to ensure sustainable livelihoods in communities most likely to suffer the impacts of economic and environmental shocks.

- *The development proposal does not undermine the aim of any relevant spatial plan.*

5) Good Administration

This principle refers to the obligation of all spheres of government to ensure implementation of the above as efficiently, responsibly, and transparently as possible.

- *The application for higher density residential development, aligns with all relevant principles and frameworks. George Municipality should consider the application within the prescribed timeframes and follow due process in an efficient manner. Public participation must – and will be transparent regarding the relevant policies and legislation as procedures should be clear to inform and empower members of the public regarding new developments.*

5.1.2 Public Interest

There are no significant public interests as the existing dwelling house and associated outbuildings are in a dilapidated state and the redevelopment of Erf 642, George will improve the immediate surrounding area. The property and house was neglected for many years. The subject property is in the densification zone as per the MSDF, 2023 which means the property is currently underutilised. The only interest with regards to the development on this site could vest in the adjacent residential properties.

However, the design and position of the proposed group housing units are sensitive to the low-density residential character. The proposed units have 4 bedrooms and is bigger than the average group housing unit. The size of the group housing units suits the character of the area, and the height of the proposed buildings are the same as for dwelling houses (maximum 8,5m). The provision of group housing units will assist in the provision of much needed more affordable housing typologies in George.

5.1.3 Environmental Legislation

As the site falls within the urban edge, an already serviced area that is not utilised for any agricultural purposes and no relevant vegetation or critical biodiversity exists, no listed activities as contemplated by the National Environmental Management Act, 1998 (as amended) (NEMA) are triggered by this application. The trees on the subject site were surveyed as is attached as **Annexure 14**. The trees are mostly fruit and alien trees. However, all the mature trees on the northern boundary of Erf 642, George will be retained within the proposed group housing development.

5.2 Land Use Planning Act (LUPA)

The development objectives entrenched in SPLUMA have been assimilated into the Western Cape Land Use Planning Act, 2014 (Act 3 of 2014) and sets out a basis for the adjudication of land use planning applications in the province. It requires that local municipalities have due regard to at least the following when doing so:

- Applicable spatial development frameworks;
- Applicable structure plans;
- Land use planning principles referred to in Chapter VI (Section 59);
- The desirability of the proposed land use; and
- Guidelines that may be issued by the Provincial Minister regarding the desirability of proposed land use.

The land-use planning principles of LUPA (Section 59) are, in essence, the expansion of the five development principles of SPLUMA listed above. Spatial resilience and - justice have very few associations with this application. The principles of sustainability, efficiency and good administration have been addressed under subsection 5.1.1.

5.2.1 Compliance/Consistency with Spatial Policy Directives

Section 19(1) and (2) of LUPA states that the following:

“(1) If a spatial development framework or structure plan specifically provides for the utilisation or development of land as proposed in a land use application or a land development application, the proposed utilisation or development is regarded as complying with that spatial development framework or structure plan;

(2) If a spatial development framework or structure plan does not specifically provide for the utilisation or development of land as proposed in a land use application or a land development application, but the proposed utilisation or development does not conflict with the purpose of the relevant designation in the spatial development framework or structure plan, the utilisation or development is regarded as being consistent with that spatial development framework or structured plan.”

In view of the nature of this land use application and its location within George, this proposal complies with the GMSDF.

5.2.2 Need and Desirability

The concept “*desirability*” in the land use planning context may be defined as the degree of acceptability of a proposed land use development. This section expresses the desirability of the proposed rezoning, taken in conjunction with the development principles and criteria set out through the statutory planning framework listed above, as well as the degree to which this proposal may be considered within the context of broader public interest. It is our view that the initial investigation into the desirability of the proposal reveals no obvious negative impacts.

The concept of “*need*” refers to whether the proposed development is in fact needed to maintain proper operations within the city or maintain the current and future prospects of the GMSDF.

The desirability of this development is in the interest of the general public, as George has a shortage of accommodation units. The existing dwelling house and associated outbuildings will be demolished and the underutilised site in the residential density area will be optimally utilised by the provision of 5 group housing units which will provide accommodation opportunities for 5 families. The new group housing site is also in close proximity to public transport routes, medical facilities and shops.

As previously stated, the need for the rezoning, subdivision and departures of the subject property is not specifically addressed in the MSDF, however, the current and future need for different housing typologies is structured around the densification of areas in close proximity to a variety of public transport modes, which does include the subject property. The proposed development does not influence the aim of the GMSDF and complies with its current prospects for increased densification.

6. CONCLUSION

We believe that the abovementioned principles, considerations and guidelines for this land use application for Erf 642, George satisfies the applicable legislation. As a result, it is trusted that this application can be finalised successfully.



DELAREY VILJOEN Pr. Pln

September 2024

ANNEXURE 1

COMPANY RESOLUTION

TRUE STORY HOLDINGS (PTY) LTD

RESOLUTION PASSED ON 29 JULY 2024

It was resolved that **Oeloff Abraham Visser** be appointed as representative for the above entity and can sign documentation on behalf of the company.

This decision was approved by all parties concerned.



Charlotte Visser

I, **Oeloff Abraham Visser**, hereby accept my appointment as representative of the above entity without any objections.



OA Visser

POWER OF ATTORNEY

I, Oeloff Abraham Visser, the undersigned and authorised representative of True Story Holdings (Pty) Ltd, the registered owner of Erf 642, George Municipality and Division hereby instruct Delarey Viljoen of *DELPLAN Consulting* to submit the land use application with the local authority.



OA Visser


Date: 29/7/24

Witnesses:

1.



2.



**Certificate issued by the Companies and Intellectual Property
Commission on Thursday, October 15, 2020 02:56
Certificate of Confirmation**



Companies and Intellectual
Property Commission

A member of the SAG group

Registration number 2018/436474/07
Enterprise Name TRUE STORY HOLDINGS (PTY) LTD

Name
Postal Address

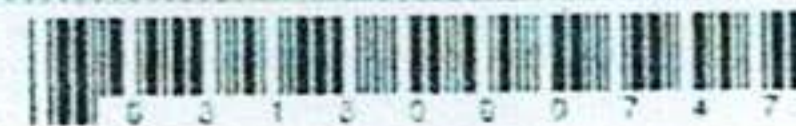
Active Directors / Officers

Surname and first names	ID number or date of birth	Director type	Appoint-ment date	Addresses
VISSER, CHARLOTTE	6709050071083	Director	01/10/2020	Postal: 333B ALBERTS STREET, WATERKLOOF, PRETORIA, GAUTENG, 0186 Residential: 333B ALBERTS STREET, WATERKLOOF, PRETORIA, GAUTENG, 0186
VISSER, OELOFF ABRAHAM	6507055007080	Director	15/08/2018	Postal: 333B ALBERTS STREET, WATERKLOOF, PRETORIA, GAUTENG, 0186 Residential: 333B ALBERTS STREET, WATERKLOOF, PRETORIA, GAUTENG, 0186



The Companies and Intellectual Property Commission
of South Africa

P.O. BOX 429, PRETORIA, 0001, Republic of South Africa. Docex 258, PRETORIA
Call Centre Tel 086 100 2472, Website www.cipc.co.za



ANNEXURE 2

**JOOSTE
ATTORNEYS
BOX 180**

Tel:
079 492 1743

Prepared by me


CONVEYANCER
ANNA WAGNER (M17487)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 2 900 000.00	R. 2 014.00
Reason for exemption	Category Exemption	Exemption on Sec/Reg Act/Proc

DATA / VERIFY

29 JAN 2023

Unathi Jongqo

T 000002522 / 2024

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

ANTON LUTHER POSTHUMUS (LPCM No. 80715)

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

**The Executor in the Estate Late
JULIETTE VALERIE ESPINOZA
ESTATE NUMBER 012140/2023**

- JAMES IAN ESPINOZA**
Identity Number 380516 5057 182
Unmarried

DATA / CAPTURE

26 JAN 2024

Normzamo Siyoko

which said Power of Attorney was signed at JOHANNESBURG on 1st of November 2023 and at GQEBERHA on 22nd of November 2023

And the appearer declared that his/her said principal had, on 20 September 2023, truly and legally sold by Private Treaty, and that he/she, the said appearer, in his/her capacity aforesaid, did, by virtue of these presents, convey and transfer to and on behalf of:

TRUE STORY HOLDINGS PROPRIETARY LIMITED
Registration Number 2018/436474/07

or its Successors in Title or assigns, in full and free property

**ERF 642 GEORGE, IN THE MUNICIPALITY AND DIVISION OF GEORGE,
WESTERN CAPE PROVINCE**

**IN EXTENT 2689 (TWO THOUSAND SIX HUNDRED AND EIGHTY NINE)
Square metres**

FIRST TRANSFERRED by Deed of Transfer Number T10888/1951 with Diagram No. 7437/46 relating hereto and **HELD** by Deed of Transfer Number T1585/2002

- A. **SUBJECT** to the conditions referred to in Deed of Transfer Number T3560/1963.
- B. **SUBJECT FURTHER** to the following special condition contained in Deed of Transfer Number T3754/1931, namely:-

"The Transferor, viz. The Municipality of George, reserves the right to construct, use and maintain across the above property any pipe line for water leading, sewerage, drainage, and any poles or structures for the conduct of any electric or other light or power."

WHEREFORE the said Appearer, renouncing all rights and title which the said

- 1. Estate Late JULIETTE VALERIE ESPINOZA
- 2. JAMES IAN ESPINOZA, Unmarried

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the said and that by virtue of these presents, the said

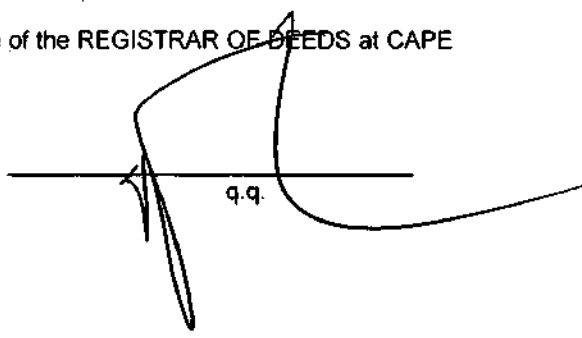
TRUE STORY HOLDINGS PROPRIETARY LIMITED
Registration Number 2018/436474/0

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R2 900 000,00 (TWO MILLION NINE HUNDRED THOUSAND RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 23 JAN 2024

g.g.



In my presence



REGISTRAR OF DEEDS

For Information Only



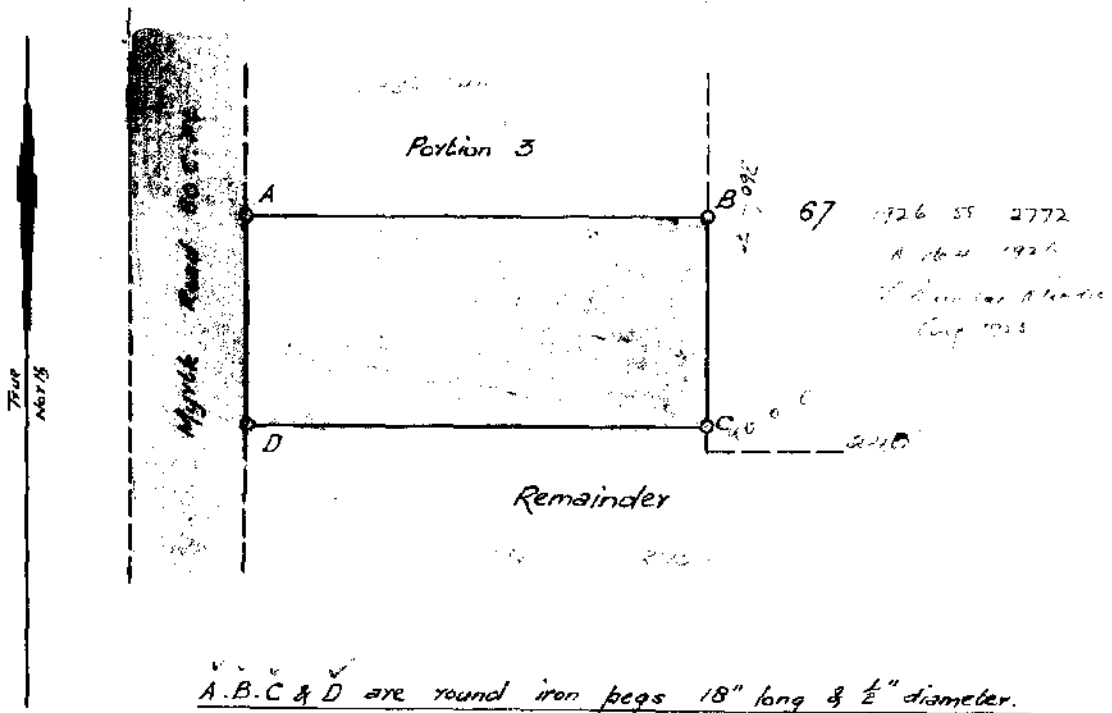

ANNEXURE 3

SUB-DIVISIONAL DIAGRAM
Sect. 24 (b), Act No. 9 of 1927.

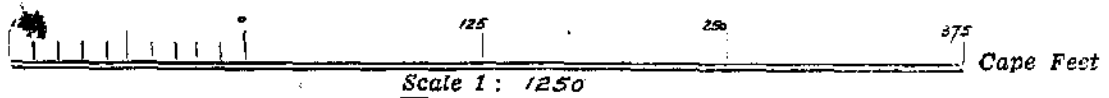
S.G. No. 7437/46

SIDES Cape Feet.		ANGLES	
AB	240	A	90.0.0
BC	113	B	90.0.0
CD	240	C	90.0.0
DA	113	D	90.0.0

Approved
Ken. C. Lomborg
Surveyor-General
1946



* E/F 642, GEORGE



The figure 'A B C D'

represents 27120 Square Feet of land being

* Portion 4 of Lots Nos. 66 & 89 of Part F of the
George Town Commisn

situate in the Municipality and Division of GEORGE,
Province of Cape of Good Hope.

Surveyed in Aug. 1946 by me

J. Basual
Land Surveyor.

This diagram is annexed to

D.T. No. 10886/1951

25-6-51.

The original diagram is
A 845/1931
No. : annexed to
D.T. 1931-82 3754

S.G. File No. 5 8775, 56

S.R. No. E. 1667/46

Gen. Plan G 426,
George Township Sheet No. 1

Registrar of Deeds.

S

C

B

[Handwritten signature]

ANNEXURE 4

CONVEYANCER'S CERTIFICATE

in terms of Section 38(1)(n) of the George Municipality: Land Use Planning By-law (2023)

I, the undersigned, Ann Marjory Coetzee, a duly qualified and admitted conveyancer, practicing at Raubenheimers Inc., 60 Cathedral Street, George, Western Cape Province, hereby certify:

1. that I have perused the conditions of title in respect of:

ERF 642 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE

IN EXTENT: 2 689 (TWO THOUSAND SIX HUNDRED AND EIGHTY NINE)
SQUARE METRES

HELD BY DEED OF TRANSFER T2522/2024

registered in the name of

TRUE STORY HOLDINGS PROPRIETARY LIMITED
REGISTRATION NUMBER 2018/436474/07

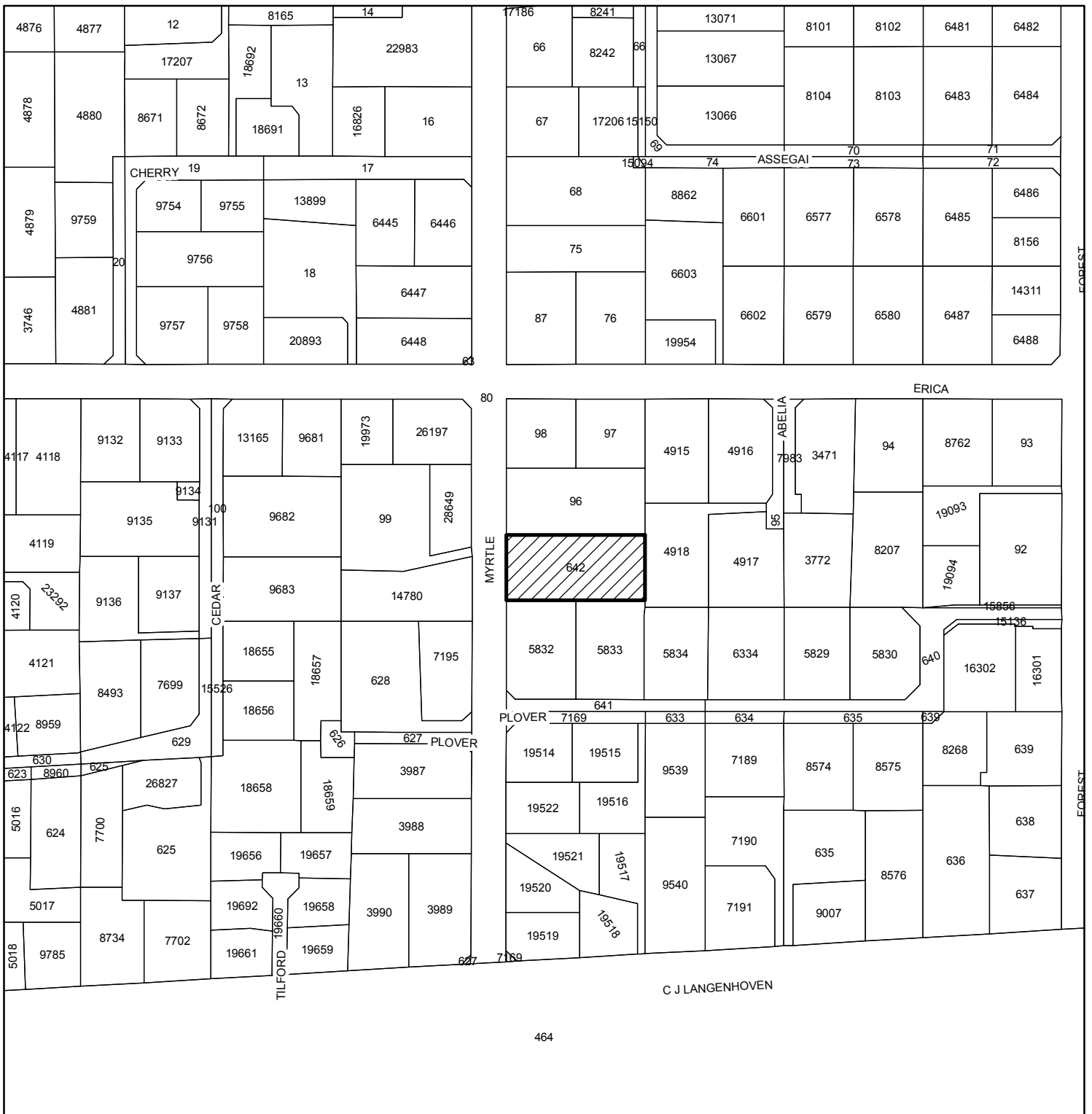
2. that I have been advised that application will be made for the following:
- 2.1 **Rezoning** in terms of Section 15(2)(a) of the George Municipality: Land Use Planning By-Law, 2023 from Single Residential Zone I to General Residential Zone II (group housing);
- 2.2 **Subdivision** in terms of Section 15(2)(d) of the George Municipality: Land Use Planning By-Law, 2023 of Erf 642, George into 5 portions, namely:
Remainder ($\pm 665.29\text{m}^2$);
Portion A ($\pm 488.85\text{m}^2$);
Portion B ($\pm 488.86\text{m}^2$);
Portion C ($\pm 488.86\text{m}^2$); and
Portion D ($\pm 557.38\text{m}^2$).
- 2.3 **Departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-Law, 2023 of the Development Parameter f(i) for group housing, to allow the garage door facing the private right of way servitude from 5m to 0m on Erf 642, George.
3. that there are no conditions contained in the abovementioned title deed which restrict the contemplated applications in terms of the proposed application,
4. that there are no mortgage bonds registered over the property.

Dated at George on 02 September 2024.



A M COETZEE
LPC no. 83392

ANNEXURE 5



LEGEND:



A4 Scale:
1:3,000

PROJECT:

Proposed subdivision
for True Story (Pty) Ltd

PROJEK:

DESCRIPTION:

Erf 642, Myrtle Street, George

BESKRYWING:

TITLE:

Locality plan

TITEL:

1297/GEO/24/GIS/Ligging

DESIGNED: SG
ONTWERP:

DRAWN: MV
GETEKEN:

DATE: SEP 2024
DATUM:

PLAN NO: ANNEXURE
PLAN NR:

Tel: 044 873 4566, Email: planning@delplan.co.za
www.delplan.co.za



URBAN & REGIONAL PLANNERS

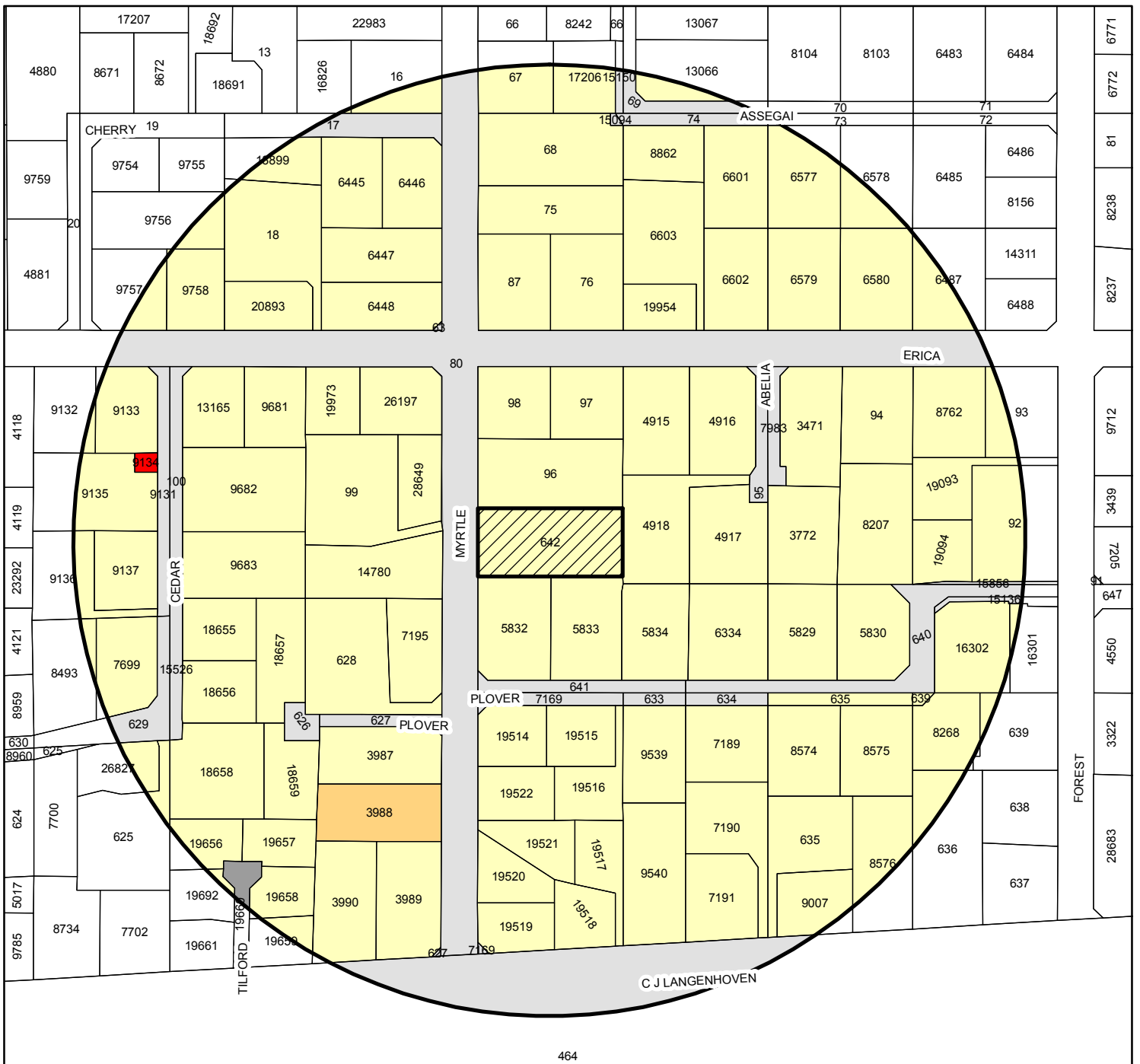
COPYRIGHT:

This drawing is the copyright of DELplan Consulting. Do not scale from it but refer to figured dimensions. All measurements must be checked and confirmed by a professional Land Surveyor. Any discrepancies should please be reported to DELplan immediately.

KOPIEREG:

Die kopiereg van hierdie tekening behoort aan DELplan Consulting. Moenie daarvan afskaal nie, maar verwys na afstande soos aangedui. Alle afmetings moet deur 'n professionele Landmeter nagegaan en bevestig word. Enige teenstrydighede moet asseblief dadelik aan DELplan rapporteer word.

ANNEXURE 6



LAND USE:

- Dwelling house
- Guest house
- Road
- ?
- Utility

LEGEND:



A4 Scale:
1:3,000

PROJECT:

Proposed subdivision
for True Story (Pty) Ltd

PROJEK:

DESCRIPTION:

Erf 642, Myrtle Street, George

BESKRYWING:

TITLE:

Land use plan

TITEL:

1297/GEO/24/GIS/LandUse

DESIGNED: SG
ONTWERP:

DRAWN: MV
GETEKEN:

DATE: SEP 2024
DATUM:

PLAN NO: ANNEXURE
PLAN NR:

Tel: 044 873 4566, Email: planning@delplan.co.za
www.delplan.co.za



URBAN & REGIONAL PLANNERS

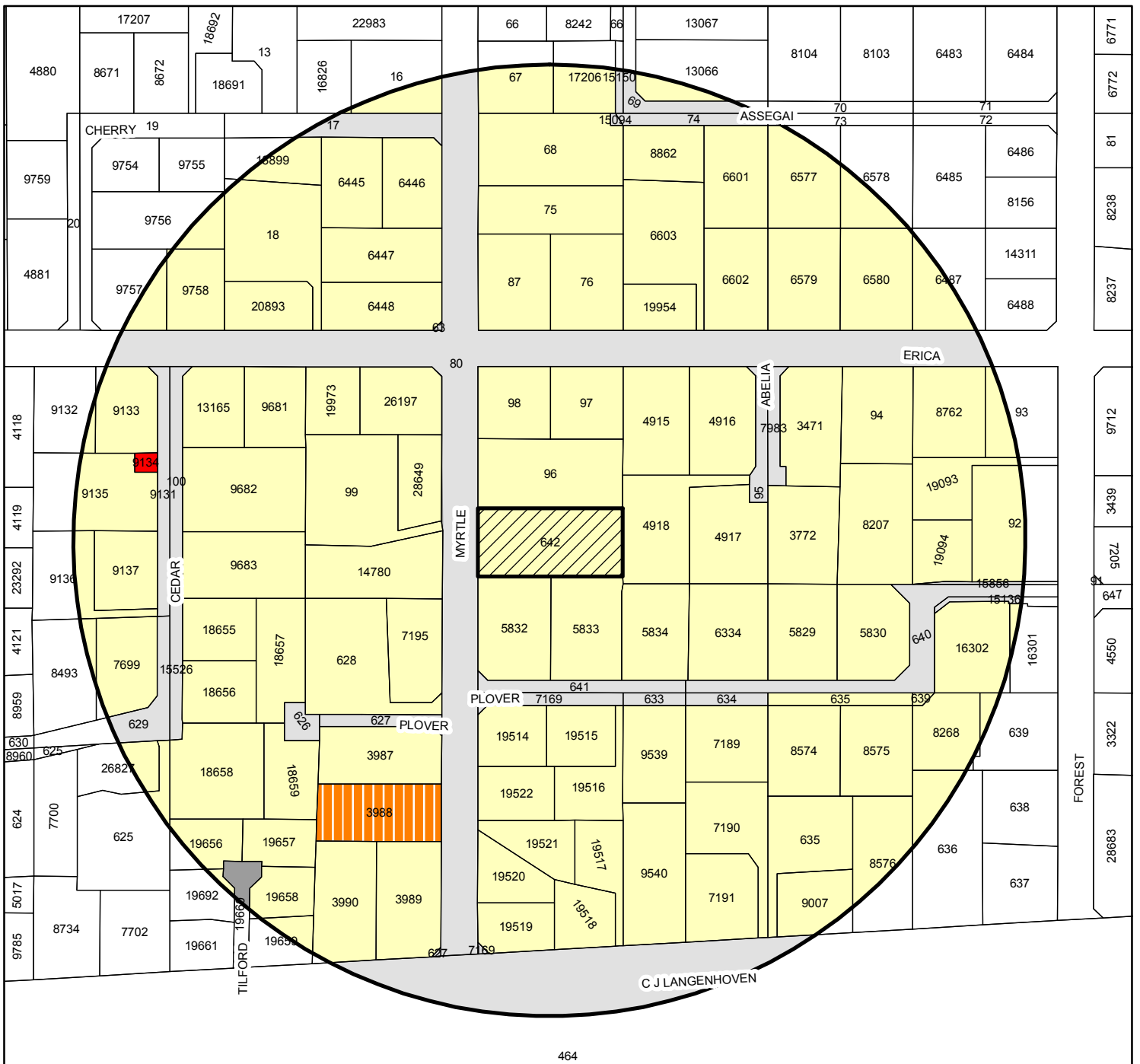
COPYRIGHT:

This drawing is the copyright of DELplan Consulting. Do not scale from it but refer to figured dimensions. All measurements must be checked and confirmed by a professional Land Surveyor. Any discrepancies should please be reported to DELplan immediately.

KOPIEREG:

Die kopiereg van hierdie tekening behoort aan DELplan Consulting. Moenie daarvan afskaal nie, maar verwys na afstande soos aangedui. Alle afmetings moet deur 'n professionele Landmeter nagegaan en bevestig word. Enige teenstrydighede moet asseblief dadelik aan DELplan rapporteer word.

ANNEXURE 7



ZONING:

Single Residential Zone I
 General Residential Zone V
 Transport Zone II
 Transport Zone III
 Utility Zone

LEGEND:



A4 Scale:
1:3,000

PROJECT:

Proposed subdivision
for True Story (Pty) Ltd

PROJEK:

DESCRIPTION:

Erf 642, Myrtle Street, George

BESKRYWING:

TITLE:

Zoning plan

TITEL:

1297/GEO/24/GIS/Zoning

DESIGNED: SG
ONTWERP:

DRAWN: MV
GETEKEN:

DATE: SEP 2024
DATUM:

PLAN NO: ANNEXURE
PLAN NR:

Tel: 044 873 4566, Email: planning@delplan.co.za
www.delplan.co.za



URBAN & REGIONAL PLANNERS

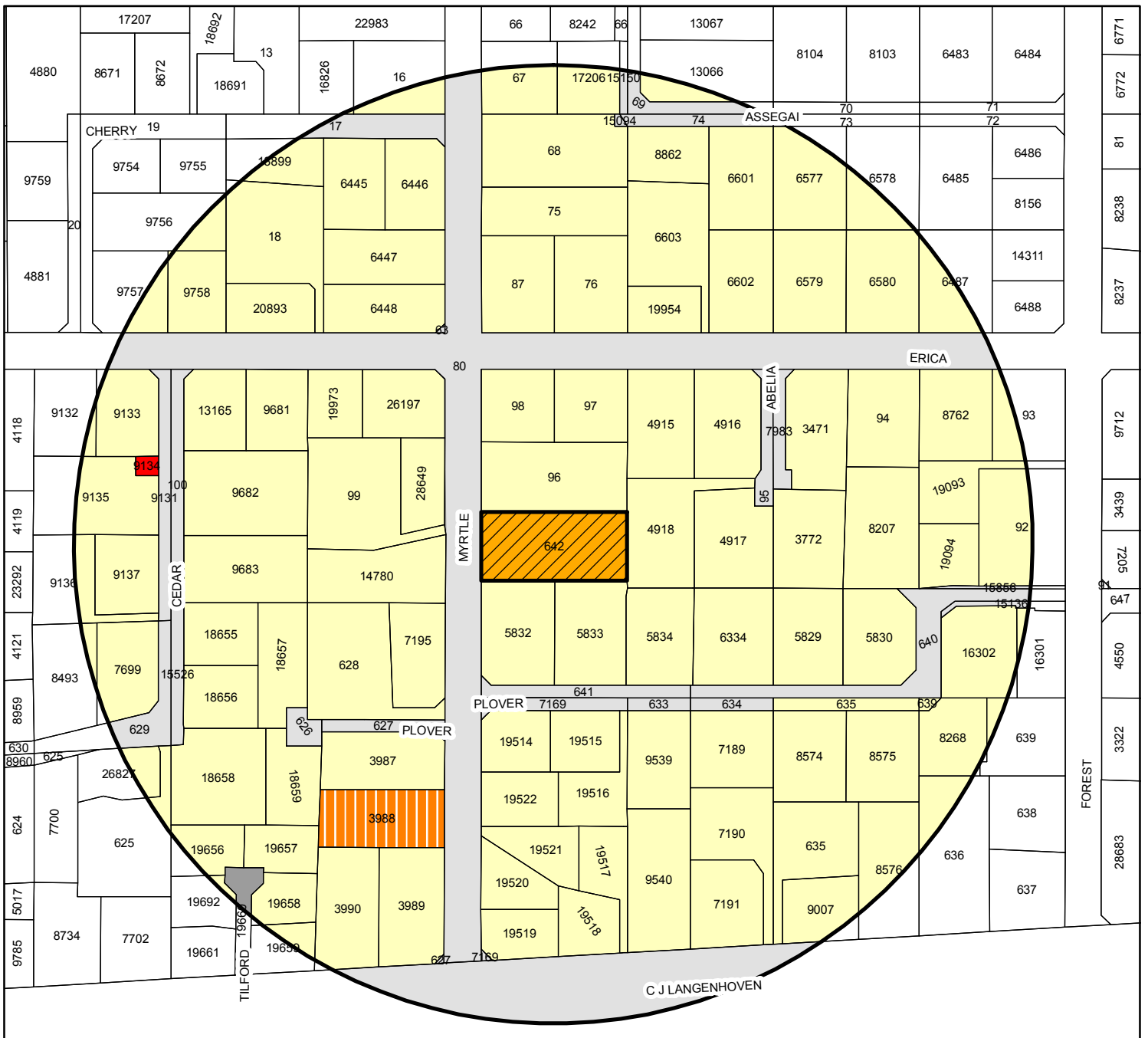
COPYRIGHT:

This drawing is the copyright of DELplan Consulting. Do not scale from it but refer to figured dimensions. All measurements must be checked and confirmed by a professional Land Surveyor. Any discrepancies should please be reported to DELplan immediately.

KOPIEREG:

Die kopiereg van hierdie tekening behoort aan DELplan Consulting. Moenie daarvan afskaal nie, maar verwys na afstande soos aangedui. Alle afmetings moet deur 'n professionele Landmeter nagegaan en bevestig word. Enige teenstrydighede moet asseblief dadelik aan DELplan rapporteer word.

ANNEXURE 8



ZONING:

- Single Residential Zone I
- General Residential Zone II – Group housing
- Transport Zone II
- Utility Zone
- General Residential Zone V
- Transport Zone III

LEGEND:



A4 Scale:
1:3,000

PROJECT:

Proposed subdivision
for True Story (Pty) Ltd

PROJEK:

DESCRIPTION:

Erf 642, Myrtle Street, George

BESKRYWING:

TITLE:

Proposed zoning plan

TITEL:

1297/GEO/24/GIS/PropZon

DESIGNED: SG
ONTWERP:

DRAWN: MV
GETEKEN:

DATE: SEP 2024
DATUM:

PLAN NO: ANNEXURE
PLAN NR:

Tel: 044 873 4566, Email: planning@delplan.co.za
www.delplan.co.za



URBAN & REGIONAL PLANNERS

COPYRIGHT:

This drawing is the copyright of DELplan Consulting. Do not scale from it but refer to figured dimensions. All measurements must be checked and confirmed by a professional Land Surveyor. Any discrepancies should please be reported to DELplan immediately.

KOPIEREG:

Die kopiereg van hierdie tekening behoort aan DELplan Consulting. Moenie daarvan afskaal nie, maar verwys na afstande soos aangedui. Alle afmetings moet deur 'n professionele Landmeter nagegaan en bevestig word. Enige teenstrydighede moet asseblief dadelik aan DELplan rapporteer word.

ANNEXURE 9



COPYRIGHT: This drawing is the copyright of DELplan Urban & Regional Planning. Do not scale from it but refer to figured dimensions. All measurements must be checked and confirmed by a Professional Land Surveyor. Any discrepancies should please be reported to DELPlan immediately.

KOPIEREG: Die kopiereg van hierdie tekening behoort aan DELplan Stads- & Streekbeplanning. Moenie daarvan afskaal nie, maar verwys na afstande soos aangedui. Alle afmetings moet deur 'n Professionele Landmeter nagegaan en bevestig word. Enige teenstrydighede moet asseblief dadelik aan DELplan rapporteer word.

PROJECT: Proposed subdivision for True Story (Pty) Ltd

PROJEK:

DESCRIPTION: Erf 642, Myrtle Street, Heatherlands, George

BESKRYWING:

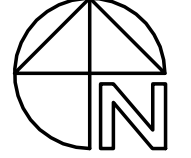
TITLE: Subdivision plan

TITEL:

NOTES: Proposed subdivision of Erf 642, George, onto:

NOTAS:

- Portion A: 488.85m²
- Portion B: 488.86m²
- Portion C: 488.87m²
- Portion D: 557.38m²
- Remainder: 665.29m²

A3 Scale:  1:500

Tel: 044 873 4566 • Email: planning@delplan.co.za
www.delplan.co.za

DELPLAN
CONSULTING

URBAN & REGIONAL PLANNERS

DESIGNED: DV
 DRAWN: MV

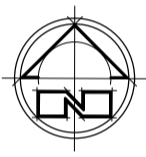
FILE PATH: 1297/GEO/23/Tek/SKF
 PLAN NO: SUB1

DATE: SEPTEMBER 2024
 DATUM:

PLAN NAME: ANNEXURE
 PLAN NAAM:

ANNEXURE 10

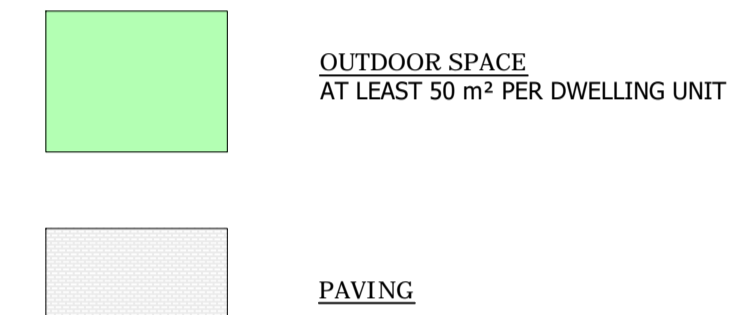
MYRTLE STREET



LANDSCAPING PLAN Scale 1 : 200



STAND 4918



APPROVAL STAMPS

ALGEMENE NOTAS GENERAL NOTES

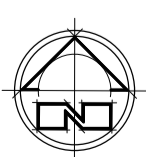
KOPIEREG VOORBEHOU. TEKENINGE MAG NIE GESKAAL WORD NIE. ALLE MATE EN HOOGTES MOET VOORAF OP TERREIN GEKONTROLEER WORD EN INDIEN VAN TOEPASSING BY BESTAANDE BOUWERK AANGEPAAS WORD. ENIGE ONDUIDELIKHEID OF TWEENSTREIDIGHEID MOET ONMIDDELIK MET DIE ARGITEK BESPREK WORD. ALLE MATE SOOS OP PLAN AANGEDUI MOET OP 'N HORIZONTALLE WATERVLAAK UITGEST WORD. MAAK GEBRUIK VAN PROFIEL KOLOMME TEEN 85mm s/s VIR MESSELWERK. DIE KONTRAKTEUR IS VERANTWOORDELIK VIR DIE KORREKTE UITSET VAN BOUWERK OP TERREIN VERAL TEN OPSIGTE VAN ERFRENSSE, SERWITUTE EN BOULYNE. DIE KONTRAKTEUR IS VERANTWOORDELIK VIR GOEDGEKEURDE VOGWERLAE IN ALLE BUITEMURE EN ONDER VLOERE. KWALITEIT VAN ALLE MATERIAAL EN VAKMANSKAP MOET OOREENSTEM MET DIE TOEPASLIKE S.A.B.S SPESIFIKASIES EN STANDAARDE. DIE KONTRAKTEUR MOET TE ALLE TYE 'N VOLLEDIGE STEL TEKENINGE OP TERREIN AANHOU. ALLE VLOERVLAK HOOGTES OP DIE TEKENING GETOON IS ONAFGEWERKTE HOOGTES.

COPYRIGHT RESERVED. NO DRAWINGS ARE TO BE SCALED. PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK, ALL MEASUREMENTS, HEIGHTS AND LEVELS TO BE CONTROLLED ON SITE AND WHERE APPLICABLE, ADAPTED TO SUGGESTED BUILDING WORK. ANY INDISTINCTNESS OR CONTRADICTION HAS TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY. ALL DIMENSIONS AS INDICATED ON PLAN TO BE SET OUT ON A LEVEL HORIZONTAL PLANE. ALL BRICKWORK TO BE SET OUT USING A PROFILE MARKED AT 85mm C/L. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECT SETTING OUT OF BUILDING WORK ON SITE WITH PARTICULAR REFERENCE TO SITE BOUNDARIES, SERWITUTE AND BUILDING LINES. THE CONTRACTOR IS TO BUILD IN APPROVED D.P.C.'S TO ALL EXTERNAL WALLS AND UNDER FLOORS. QUALITY OF ALL MATERIAL AND CRAFTSMANSHIP TO COMPLY WITH THE RELEVANT S.A.B.S. STANDARDS. THE CONTRACTOR MUST HAVE A COMPLETE SET OF DRAWINGS ON SITE. ALL FLOOR LEVELS SHOWN ON THIS DRAWING ARE UNFINISHED LEVELS.

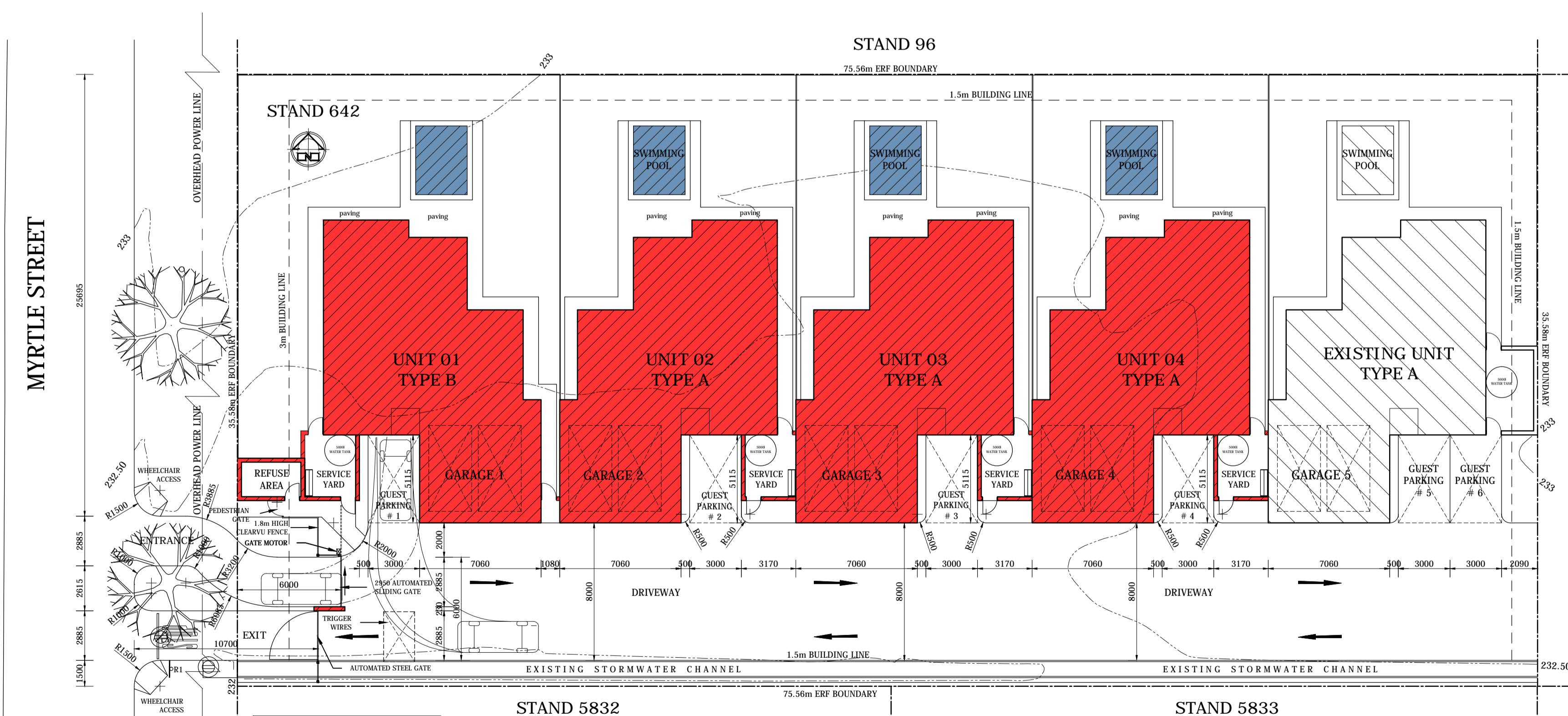
WYSIGINGS / REVISIONS

WYSIG. REVS.	DATUM DATE	PAR. SGN.	BESKRIVING DESCRIPTION
--------------	------------	-----------	------------------------

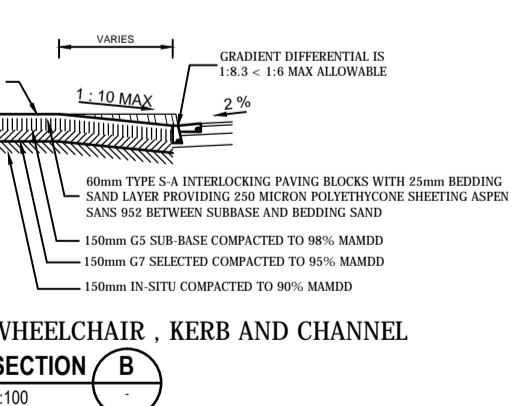
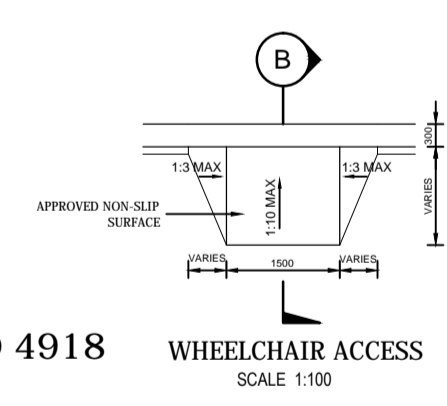
MYRTLE STREET



PARKING LAYOUT PLAN Scale 1 : 200



R1 ROAD SIGNS



THE SLOPE OF PARKING BAYS WILL NOT EXCEED THE FOLLOWING GRADIENTS:

- LONGITUDINAL DIRECTION: 3%
- CROSSFALL: 5%

THE LONGITUDINAL GRADIENT OF THE ACCESS ROAD/DRIVEWAY ON THE ERF WILL NOT EXCEED 5%. THE GRADIENT OF THE ACCESS ROAD OVER THE SIDEWALK AND THE FIRST/LAST 5m ON THE ERF WILL NOT EXCEED 4%.

PARKING REQUIREMENTS

TYPE A	: 04 x 1.75 PARKINGS	7.00
TYPE B	: 01 x 1.75 PARKINGS	1.75
VISITORS	: 05 x 0.25 PARKINGS	1.25
TOTAL PARKINGS REQUIRED		10.00
PARKINGS PROVIDED		16.00

SCHEDULE OF AREAS

EXISTING UNIT - TYPE A :	163.20m ²
GROUND FLOOR :	94.64m ²
FIRST FLOOR :	257.84m ²
TOTAL AREA OF EXISTING UNIT :	257.84m ²
UNIT - TYPE A : 03 x 257.84 m²	773.52 m²
UNIT - TYPE B : 01 x 257.84 m²	257.84 m²
TOTAL AREA NEW BUILDING :	1 031.36 m²
TOTAL AREA OF BUILDINGS :	1 289.20 m ²
AREA OF BUILDINGS ON SITE :	816.00 m ²
AREA OF SITE :	2 689.00 m ²
COVERAGE :	30.35 %
PERMISSIBLE COVERAGE:	50.00 %
REFUSE AREA :	9.64 m ²
SWIMMING POOLS : 5 x 12.00 m ²	60.00 m ²

NOTE: FOR ENTRANCE DETAILS PLEASE SEE SHEET 21 / 06 / TS - 007

NOTE: GATE CONTROL WILL BE DONE VIA REMOTE CONTROL BY EACH OWNER. AN INTERCOM WILL BE SUPPLIED FOR VISITORS. AN AUTOMATIC TRIGGER SYSTEM WILL BE INSTALLED ON THE INSIDE OF THE PREMISES FOR OPENING FOR RESIDENTS AND GUESTS.

GEORGE OFFICE
10 Sugarbush Close
Fancourt
GEORGE

BLOEMFONTEIN OFFICE
5 Villa Masimo
Langenhoven Park
BLOEMFONTEIN

P.O. BOX 29552, Danhof, 9310
Tel: 082 826 4428
E-mail: rohan.viljoen@vodamail.co.za
Rohan Marcel Viljoen, Pr Arch
SACAP Reg. No. 4701



SERVICE MOSEBETSI DIENS

PROPOSED NEW GROUP HOUSING DEVELOPMENT
for TRUE STORY (PTY) LTD
on STAND 642,
MYRTLE ROAD
HEATHERLANDS
GEORGE

DRAWING DESCRIPTION HO NGOLA HO BOLEDISA TEKENING BESKRIVING

LANDSCAPING & PARKING LAYOUT PLANS

DESIGNED	NAME LETSISO NAAM	DATE LETSATS DATUM
HO NGOLA A PLANE ONTWERP	R.M.V.	
DRAWN NGODILWE GETEKEN	DIANE	3 June 2024
CHECKED HO HLAPLOBA NAGESIEN	R.M.V.	
VARIATION PHETHOHO WYSIGING		

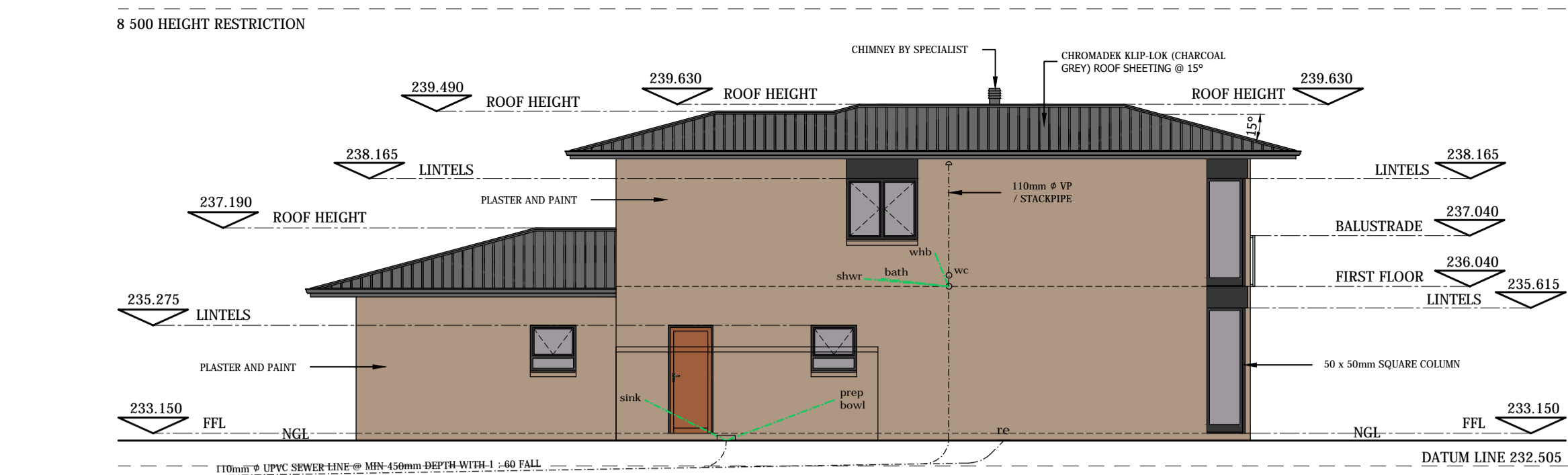
SCALE: SEKALA: AS SHOWN

APPROVED: HO DUMELANA: GOEDGEKEUR:

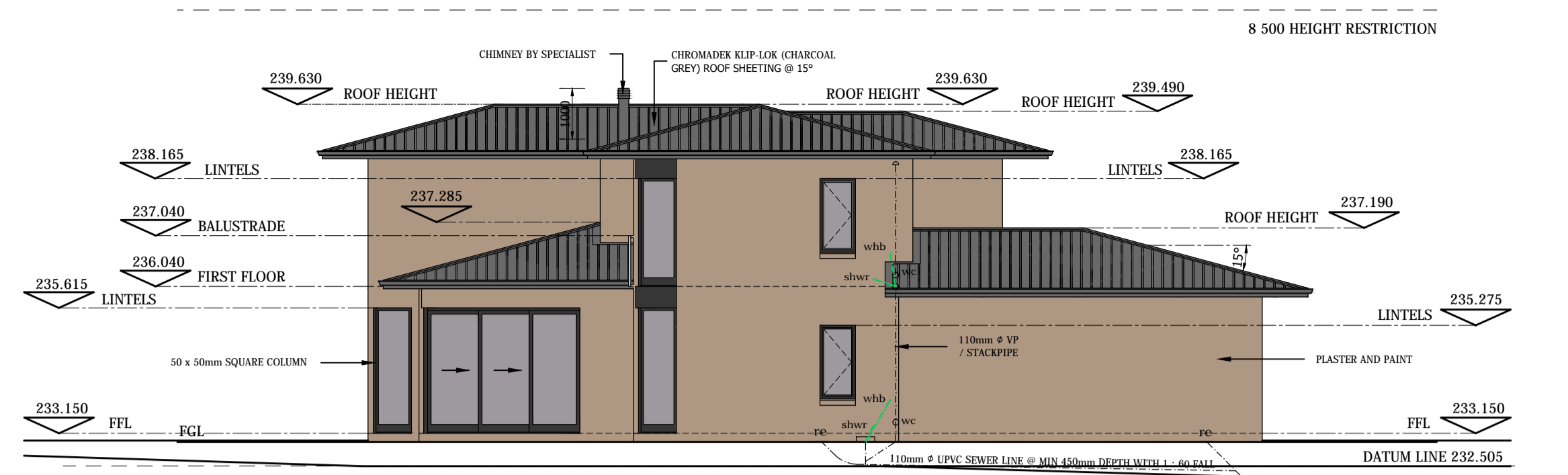
FILE NR: PEHO YA NOMORO: LEER NO:

DRWG. NR: NGODISO YA NOMORO: 21/06/TS - 002

TEK. NO:



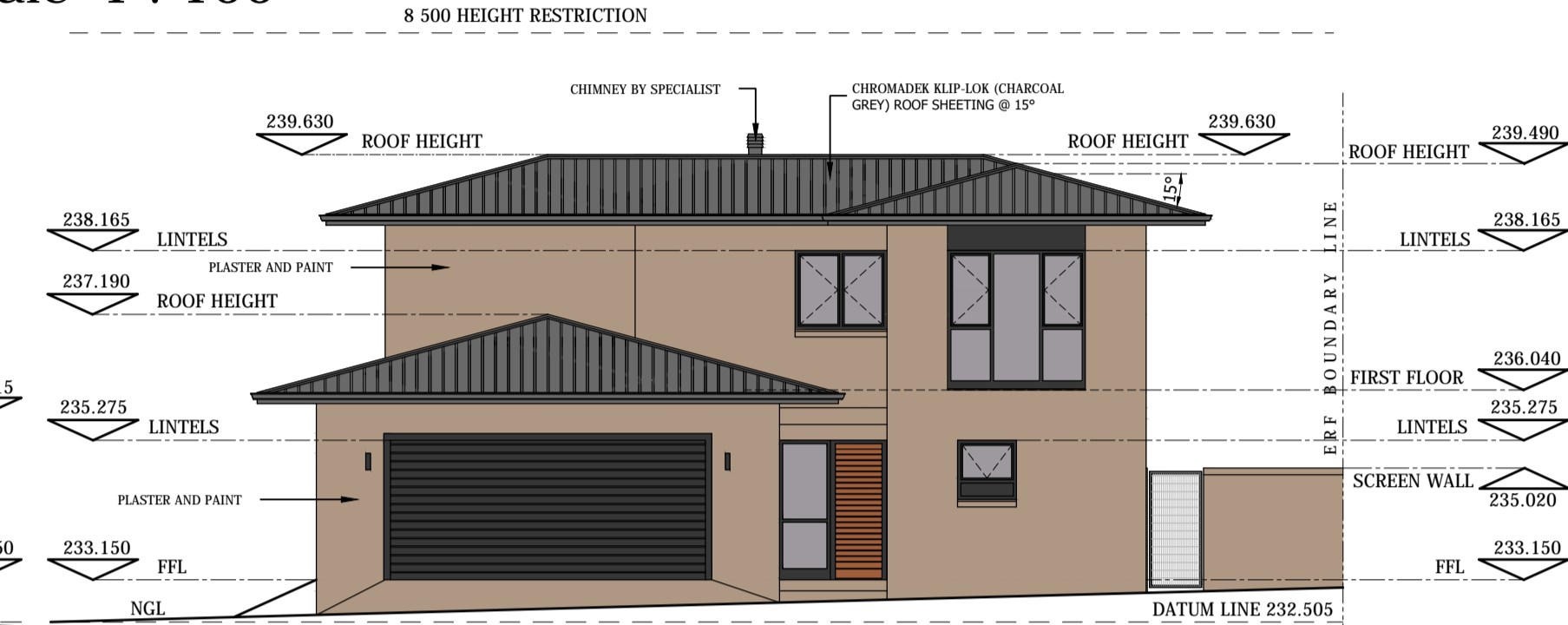
EAST ELEVATION Scale 1 : 100



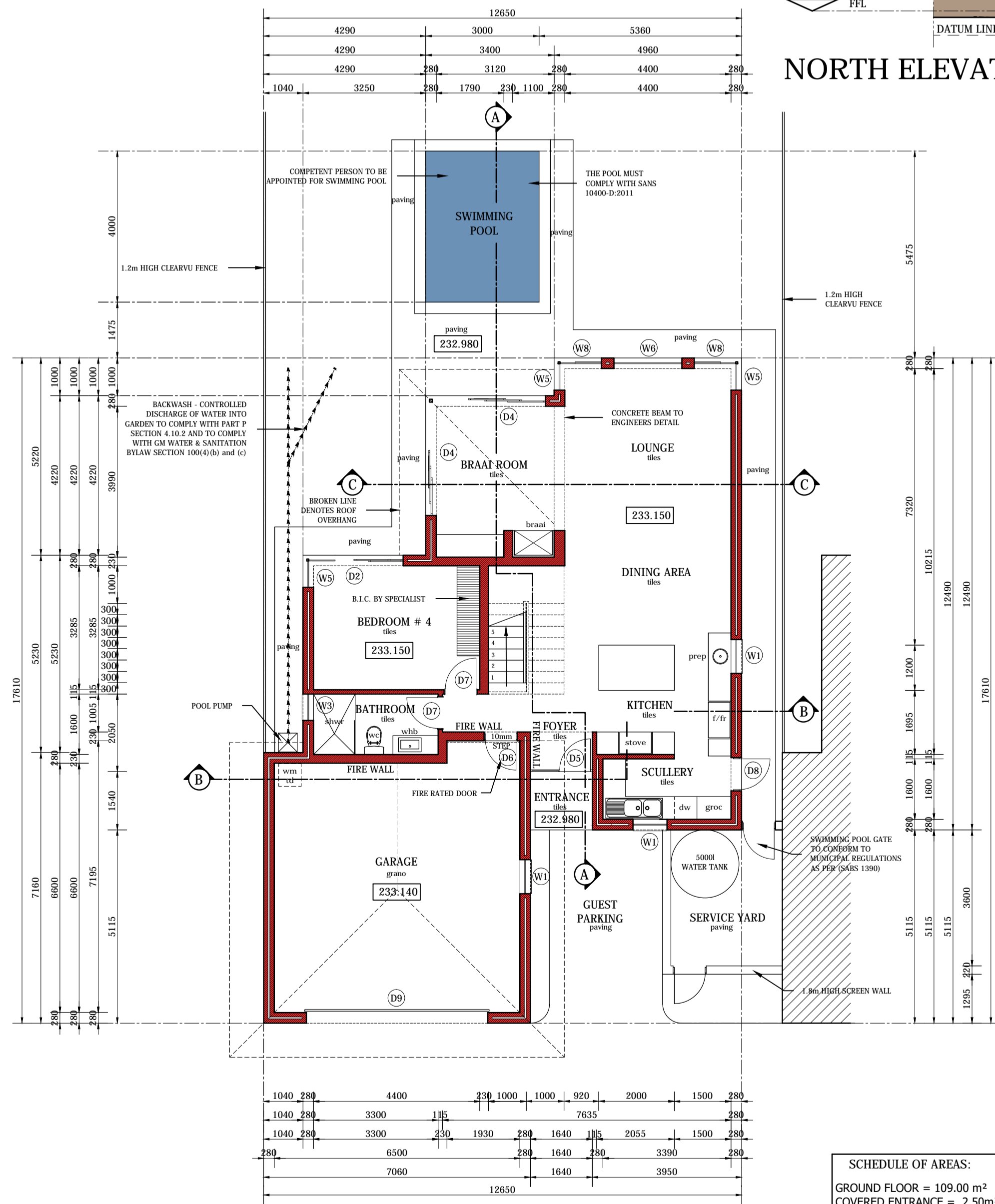
WEST ELEVATION Scale 1 : 100



NORTH ELEVATION Scale 1 : 100



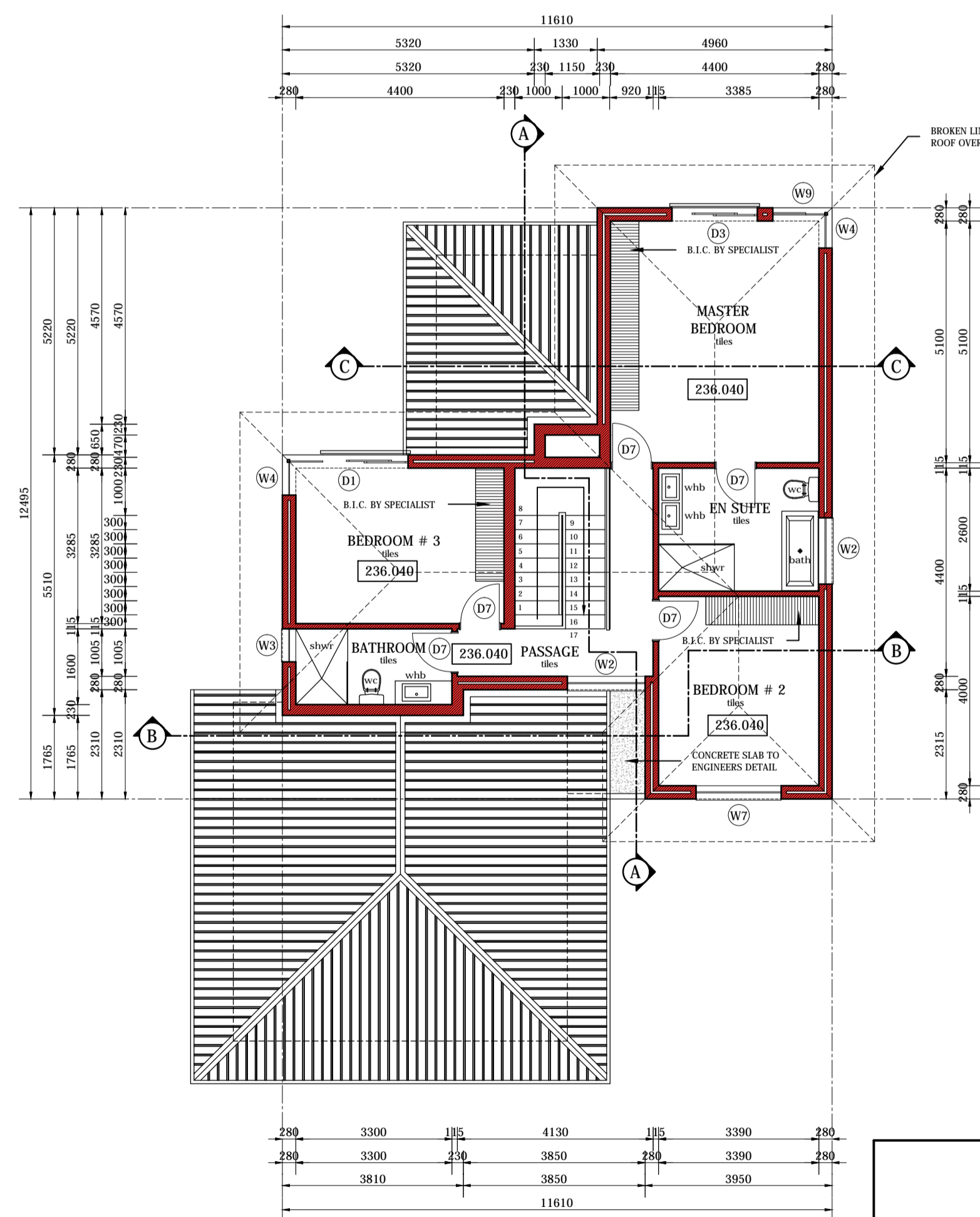
SOUTH ELEVATION Scale 1 : 100



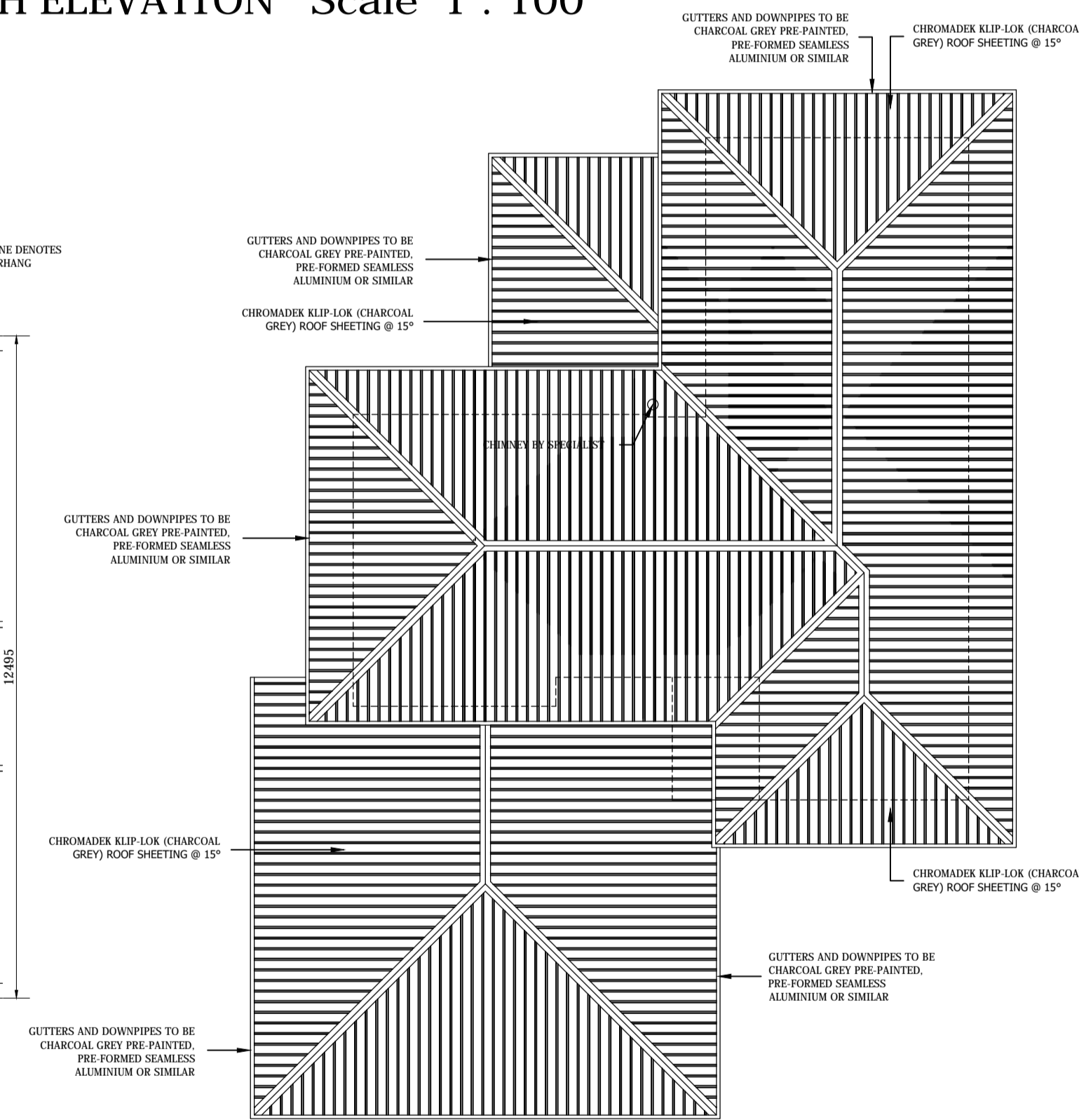
GROUND FLOOR PLAN Scale 1 : 100

SCHEDULE OF AREAS:

GROUND FLOOR	= 109.00 m ²
COVERED ENTRANCE	= 2.50m ²
GARAGE	= 51.70 m ²
FIRST FLOOR	= 94.64m ²
TOTAL	= 257.84 m ²
SWIMMING POOL	= 12.00 m ²



FIRST FLOOR PLAN Scale 1 : 100



ROOF PLAN Scale 1 : 100

APPROVAL STAMPS

ALGEMENE NOTAS GENERAL NOTES

KOPIEREG VOORBEHOU.
 TEKENINGE MAG NIE GESKAAL WORD NIE.
 ALLE MATE EN HOOGTES MOET VOORAF OP TERREIN GEKONTROLEER WORD EN INDIEN VAN TOEPASSING BY BESTAANDE BOUWERK AANGEPAAS WORD.
 ENIGE ONDUDELIKHEID OF TEENSTREIDIGHEID MOET ONMIDDELIK MET DIE ARGITEK BESPREK WORD.
 ALLE MATE SOOS OP PLAN AANGEDUI MOET OP 'N HORIZONTALALE WATERPUSLAK UITGESTO WORD.
 MAAK GEBRUIK VAN PROFIEL KOLOMME TEEN 85mm s/s VIR MESSELWERK.
 DIE KONTRAKTEUR IS VERANTWOORDELIK VIR DIE KORREKTE UITSIT EN BOUWERK OP TERREIN VERAL TEN OPSIGTE VAN ERFGRENSE, SERWITUTE EN BOULYNE.
 DIE KONTRAKTEUR IS VERANTWOORDELIK VIR GOEDGEKURDE VOGWERLAE IN ALLE BUITERWEGE EN ONDER VLOERE.
 KWALITEIT VAN ALLE MATERIAAL EN VAKMANSKAP MOET OOREENSTEM MET DIE TOEPASLIKE S.A.B.S SPESIFIKASIES EN STANDAARDE.
 DIE KONTRAKTEUR MOET TE ALLE TYE 'N VOLLEDIGE STEL TEKENINGE OP TERREIN AANHOU ALLE VLOERLAK HOOGTES OP DIE TEKENING GETOON IS ONAFGEWERKTE HOOGTES.
 COPYRIGHT RESERVED.
 NO DRAWINGS ARE TO BE SCALED.
 PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK, ALL MEASUREMENTS, HEIGHTS AND LEVELS TO BE CONTROLLED ON SITE AND WHERE APPLICABLE, ADAPTED TO SUGGESTED BUILDING WORK.
 ANY INDISTINCTNESS OR CONTRADICTION HAS TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY.
 ALL DIMENSIONS AS INDICATED ON PLAN TO BE SET OUT ON A LEVEL HORIZONTAL PLANE.
 ALL BRICKWORK TO BE SET OUT USING A PROFILE MARKED AT 85mm C/L.
 THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECT SETTING OUT OF BUILDING WORK ON SITE WITH PARTICULAR REFERENCE TO SITE BOUNDARIES, SERWITUTE AND BUILDING LINES.
 THE CONTRACTOR IS TO BUILD IN APPROVED D.P.C.'s TO ALL EXTERNAL WALLS AND UNDER FLOORS.
 QUALITY OF ALL MATERIAL AND CRAFTSMANSHIP TO COMPLY WITH THE RELEVANT S.A.B.S STANDARDS.
 THE CONTRACTOR MUST HAVE A COMPLETE SET OF DRAWINGS ON SITE.
 ALL FLOOR LEVELS SHOWN ON THIS DRAWING ARE UNFINISHED LEVELS.

WYSIGINGS / REVISIONS

WYSIG. REVS.	DATUM DATE	PAR. SGN.	PAR. BESKRYWING DESCRIPTION

GEORGE OFFICE
 10 Sugarbush Close
 Fancourt
 GEORGE

BLOEMFONTEIN OFFICE
 5 Villa Masimo
 Langenhoven Park
 BLOEMFONTEIN

P.O. BOX 295552, Danhof, 9310
 Tel: 082 826 4428
 E-mail: rohan.viljoen@vodanet.co.za
 Rohan Marcel Viljoen, Pr Arch
 SACAP Reg. No. 4701

PROFESSIONAL ARCHITECT
 ROHAN MARCEL VILJOEN

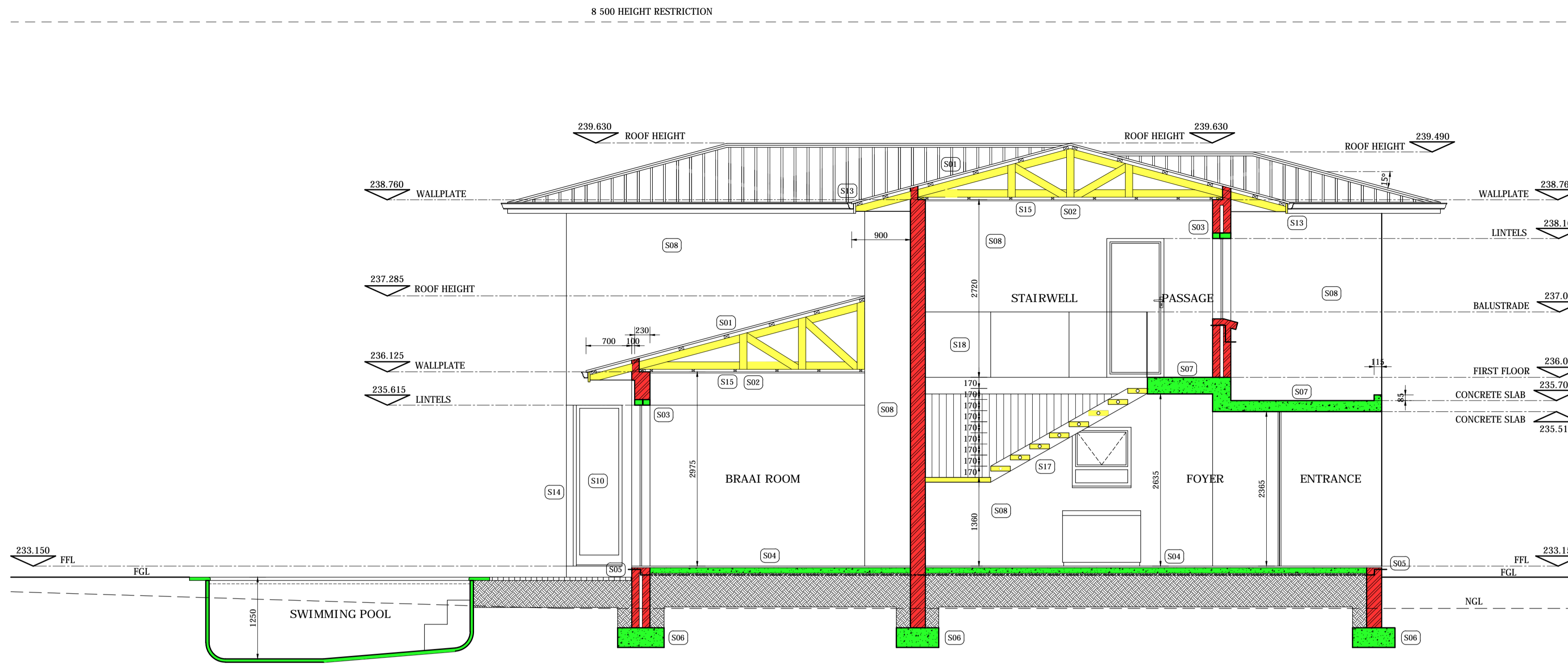
SERVICE MOSEBETSI DIENS

PROPOSED NEW GROUP HOUSING DEVELOPMENT
 for TRUE STORY (PTY) LTD
 on STAND 642,
 MYRTLE ROAD
 HEATHERLANDS
 GEORGE

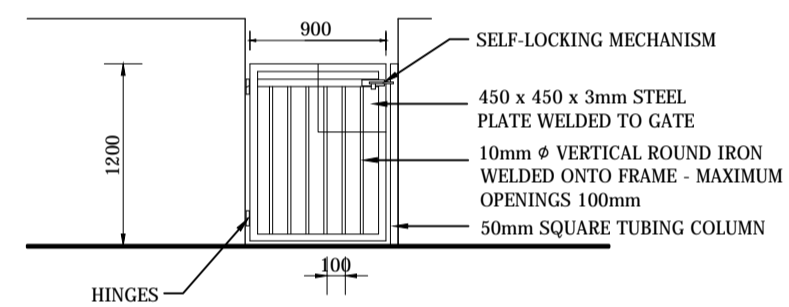
DRAWING DESCRIPTION HO NGOLA HO BOLEDISA TEKENING BESKRYWING

TYPE A
 FLOOR PLANS & ELEVATIONS

DESIGNED	NAME LETSISO NAAM	DATE LETSATSI DATUM
HO NGOLA PLANE ONTWERP	R.M.V.	
DRAWN NGODILWE GETEKEN	DIANE	3 June 2024
CHECKED HO HLAPHLORA NAGESIEN	R.M.V.	
VARIATION PHETHOHO WYSIGING		
SCALE: SEKALA: SKAAL:	AS SHOWN	
APPROVED: HO DJUMELANA: GOEDGEKURER:		
FILE NR: PEHO YA NOMORO: LEER NO:		
DRWG. NR: NGODISO YA NOMORO: TEK. NO:	21/06/TS - 003	



SECTION A - A Scale 1 : 50



ELEVATION OF SAFETY GATE
Scale 1 : 25

NOTES:

- S01 : CHROMADEK KLIP LOK SHEETING - IBR PROFILE - CHARCOAL GREY - INSTALLED AS PER MANUFACTURERS SPECIFICATIONS ON GUNDELE PLASTIC UNDER SHEETING FOR WATERPROOFING ON 75 x 50mm S.A. PINE BRANDING ON GANGNAIL TRUSSES WITH A MINIMUM OF 900mm C/C ON 114 x 38mm WALLPLATE, AT 15°
- S02 : 6.4mm RHINOBOARD CEILING WITH H-PROFILE JOINTS TO 28 x 38mm SA PINE BRANDING ON GANGNAIL TRUSSES, SUPPLY GYPSUM CORNICE
- S03 : LINTELS OVER ALL OPENINGS AT 2125mm HEIGHT
- S04 : 25mm THICK SCREED ON CONCRETE SLAB. MIXTURE: 2 PARTS PLASTER SAND, 2 PARTS 3mm ROCK AND ONE PART CEMENT. 80mm THICK CONCRETE SLAB, 20MPa CONCRETE ON LAYERS
- S05 : DAMP PROOF COURSE IN WALLS AND FFL
- S06 : CONCRETE STRIP FOUNDATION 600 x 350mm AS PER ENGINEERS DETAILS
- S07 : CONCRETE SLAB AND BEAMS AS PER ENGINEERS DETAILS
- S08 : WALL TO BE FINISHED WITH PLASTER AND PAINT
- S09 : WHITE MELAMINE ON INSIDE OF CUPBOARDS, OUTSIDE FINISHES AS PER ARCHITECT. POST FORMED TOPS INSTALLED BY SPECIALIST
- S10 : CHARCOAL ALUMINIUM SLIDING DOORS, SIDELIGHTS, STACK DOORS AND WINDOWS AS SHOWN ON FLOOR PLAN
- S11 : BALUSTRADE BY SPECIALIST - CHARCOAL POWDER COATED TO MATCH WINDOWS AND TO CONFORM TO MUNICIPAL REGULATIONS
- S12 : FULL BORE WATER OUTLET
- S13 : WATERITTE GUTTERING DOMESTIC OGEE PROFILE ALUMINIUM H300H 14 SEAMLESS CUTTER, OVERALL SIZE 125 x 85 x 0.6mm THICK COATED INTERNALLY AND EXTERNALLY WITH COLOURTECH G4 IN CHARCOAL
- S14 : 50 x 50mm SQUARE STEEL COLUMN
- S15 : 140mm FLEXIBLE FIBRE GLASS BLANKET - CEILING INSULATION
- S16 : CHARCOAL GREY ALUMINIUM SECTIONAL OVERHEAD GARAGE DOOR
- S17 : TIMBER AND STEEL STAIRCASE BY SPECIALIST
- S18 : FRAMELESS GLASS BALUSTRADE AS PER SPECIALIST
- S19 : CHIMNEY BY SPECIALIST

APPROVAL STAMPS

ALGEMENE NOTAS GENERAL NOTES

KOPIEREG VOORBEHOU. TEKENINGE MAG NIE GESKAAL WORD NIE. ALLE MATE EN HOOGTES MOET VOORAF OP TERREIN GEKONTROLEER WORD EN INDIEN VAN TOEPASSING BY BESTAANDE BOUWERK AANGEPAAS WORD. ENIGE ONDUIDELIKHEID OF TEENSTREIDIGHEID MOET ONMIDDELIK MET DIE ARGITEK BESPREK WORD. ALLE MATE SOOS OP PLAN AANGEDUI MOET OP 'N HORIZONTALLE WATERVLAAK UITGESTE WORD. MAAK GEBRUIK VAN PROFIEL KOLOMME TEEN 85mm s/s VIR MESSELWERK. DIE KONTRAKTEUR IS VERANTWOORDELIK VIR DIE KORREKTE UITSTIT VAN BOUWERK OP TERREIN VERAL TEN OPSIGTE VAN ERFGRENSSE, SERWITUTE EN BOULYNE. DIE KONTRAKTEUR IS VERANTWOORDELIK VIR GOEDGEKEURDE VOGWERLAE IN ALLE BUITEMURE EN ONDER VLOERE. KWALITEIT VAN ALLE MATERIAAL EN VAKMANSKAP MOET OOREENSTEM MET DIE TOEPASLIKE S.A.B.S SPESIFIKASIES EN STANDAARDE. DIE KONTRAKTEUR MOET TE ALLE TYE 'N VOLLEDIGE STEL TEKENINGE OP TERREIN AANHOU. ALLE VLOERVLAK HOOGTES OP DIE TEKENING GETOON IS ONAFGEWERKTE HOOGTES.

COPYRIGHT RESERVED. NO DRAWINGS ARE TO BE SCALED. PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK, ALL MEASUREMENTS, HEIGHTS AND LEVELS TO BE CONTROLLED ON SITE AND WHERE APPLICABLE, ADAPTED TO SUGGESTED BUILDING WORK. ANY INDISTINCTNESS OR CONTRADICTION HAS TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY. ALL DIMENSIONS AS INDICATED ON PLAN TO BE SET OUT ON A LEVEL HORIZONTAL PLANE. ALL BRICKWORK TO BE SET OUT USING A PROFILE MARKED AT 85mm C/L. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECT SETTING OUT OF BUILDING WORK ON SITE WITH PARTICULAR REFERENCE TO SITE BOUNDARIES, SERWITUTE AND BUILDING LINES. THE CONTRACTOR IS TO BUILD IN APPROVED D.P.C.'s TO ALL EXTERNAL WALLS AND UNDER FLOORS. QUALITY OF ALL MATERIAL AND CRAFTSMANSHIP TO COMPLY WITH THE RELEVANT S.A.B.S. STANDARDS. THE CONTRACTOR MUST HAVE A COMPLETE SET OF DRAWINGS ON SITE. ALL FLOOR LEVELS SHOWN ON THIS DRAWING ARE UNFINISHED LEVELS.

WYSIGINGS / REVISIONS

WYSIG. REVS.	DATUM DATE	PAR. SIGN.	BESKRYWING DESCRIPTION

GEORGE OFFICE
10 Sugarbush Close
Fancourt
GEORGE

BLOEMFONTEIN OFFICE
5 Villa Masimo
Langenhoven Park
BLOEMFONTEIN

P.O. BOX 29552, Danhof, 9310
Tel 082 826 4426
E-mail - rohan.viljoen@vodamail.co.za
Rohan Marcel Viljoen, Pr Arch
SACAP Reg. No. 4701



SERVICE MOSEBETSI DIENS

PROPOSED NEW GROUP HOUSING DEVELOPMENT
for TRUE STORY (PTY) LTD
on STAND 642,
MYRTLE ROAD
HEATHERLANDS
GEORGE

DRAWING DESCRIPTION HO NGOLA HO BOLEDISA TEKENING BESKRYWING

TYPE A SECTIONS

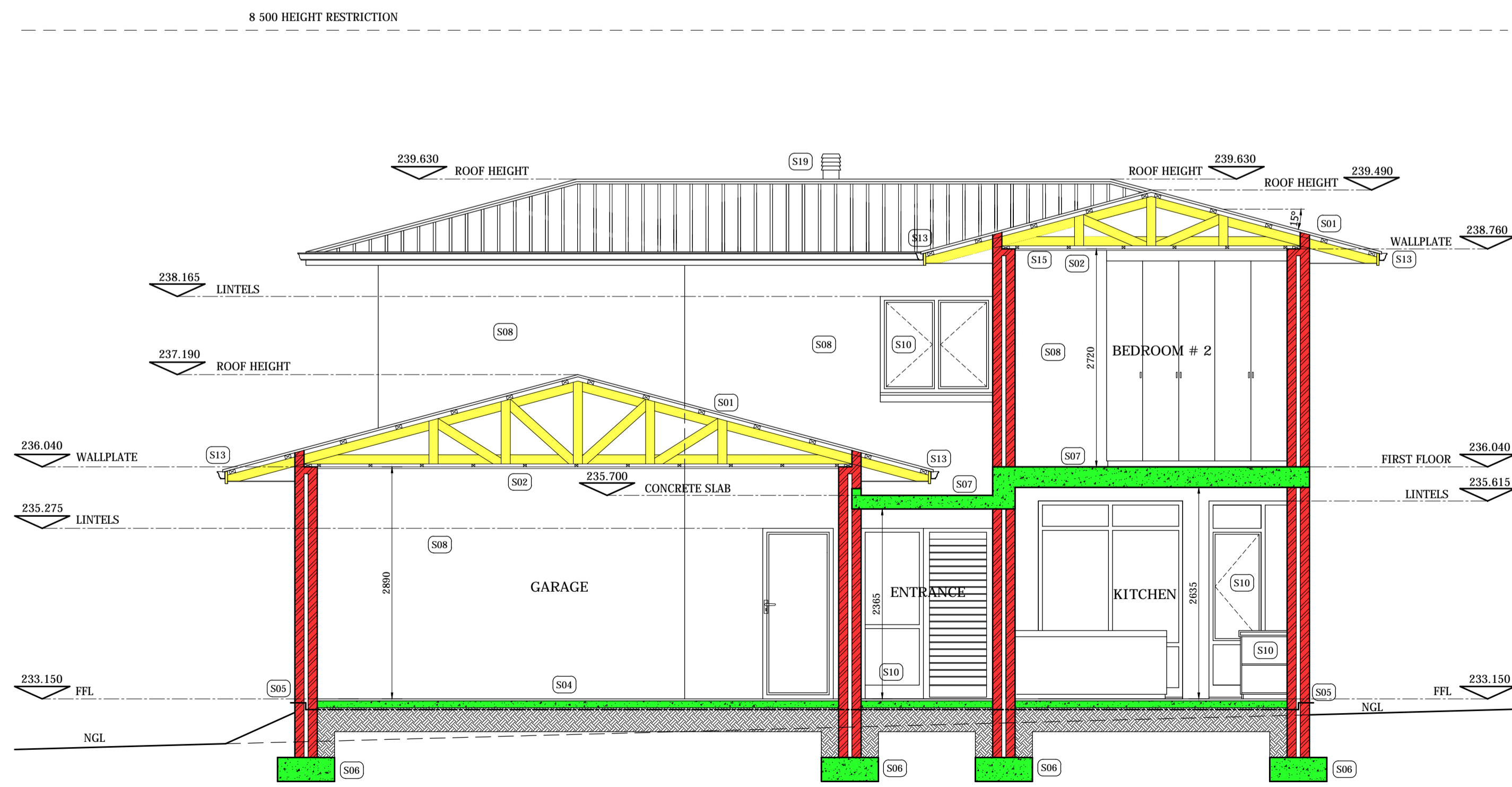
DESIGNED	NAME	DATE
HO NGOLA A PLANE ONTWERP	R.M.V.	
DRAWN NGODILWE GETEKEN	DIANE	3 June 2024
CHECKED HO HLAPHLABA NAGESIEN	R.M.V.	
VARIATION PHETHOHO WYSIGING		

SCALE: SEKALA : SKAAL : AS SHOWN

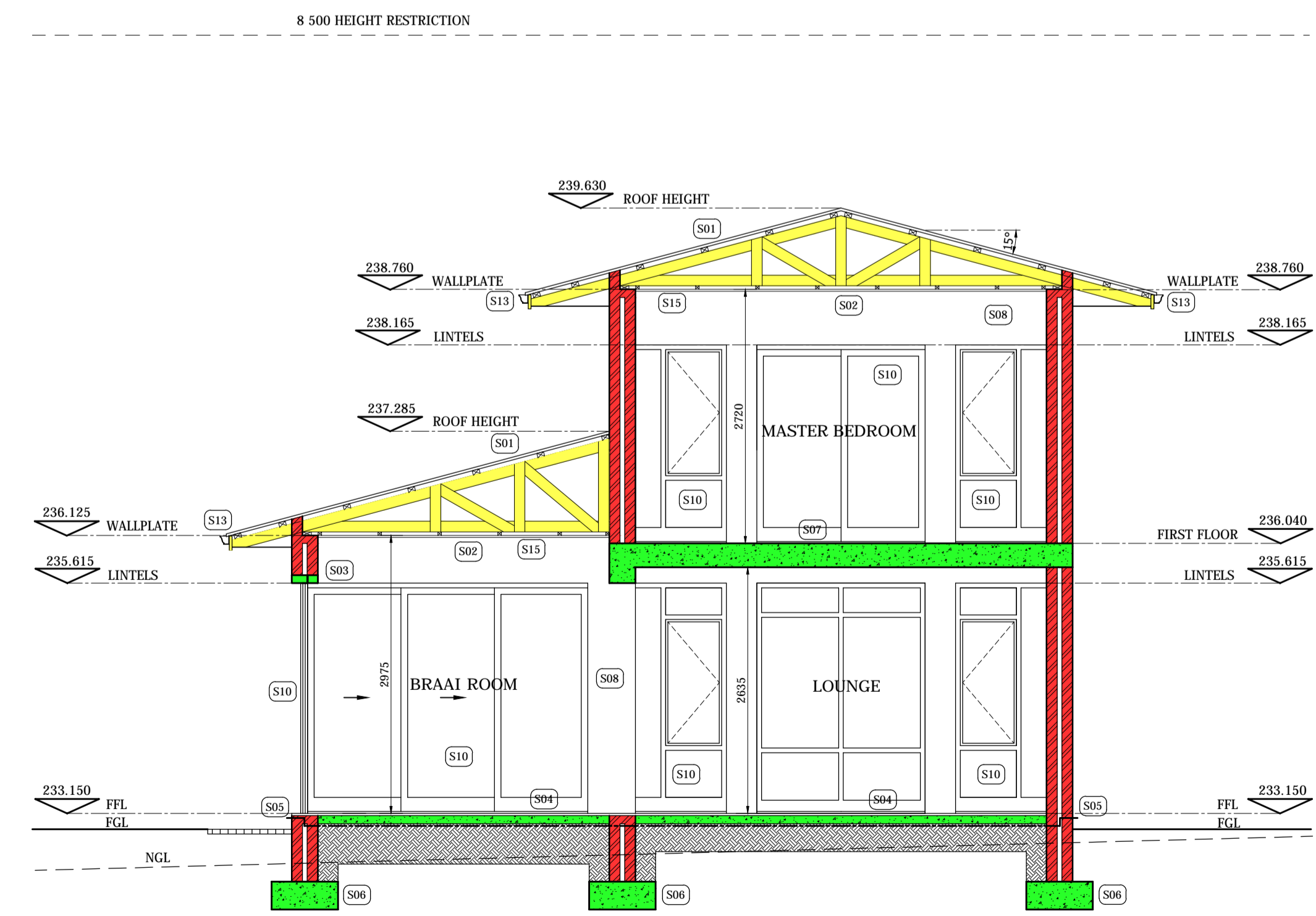
APPROVED: HO DUMELANA : GOEDGEKEUR :

FILE NR : PEHO YA NOMORO : LEER NO :

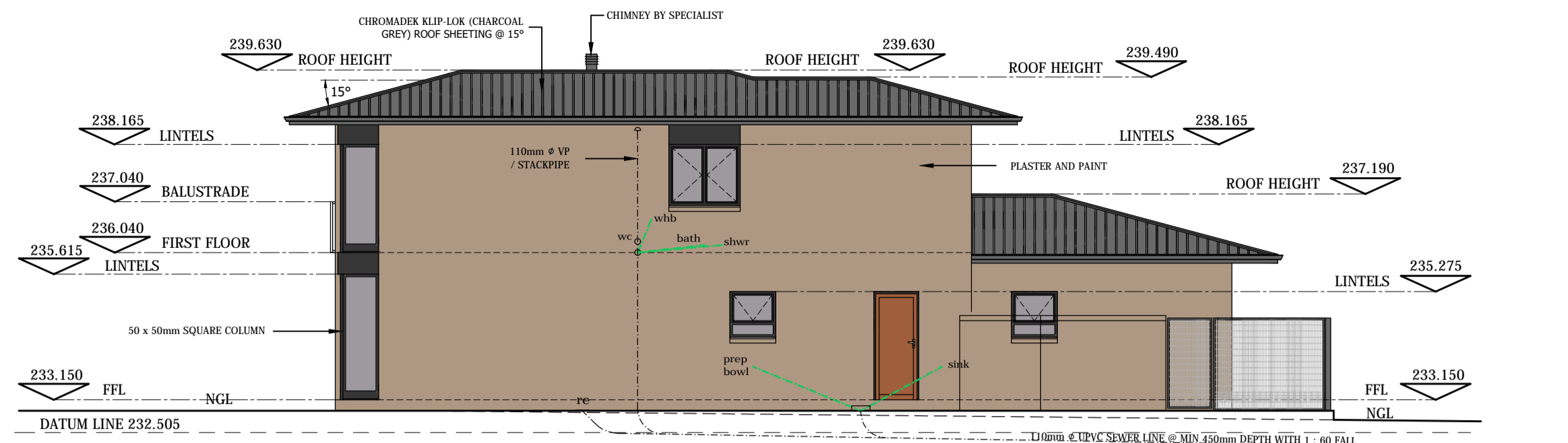
DRWG. NR : NGODISO YA NOMORO : 21/06/TS - 004
TEK. NO :



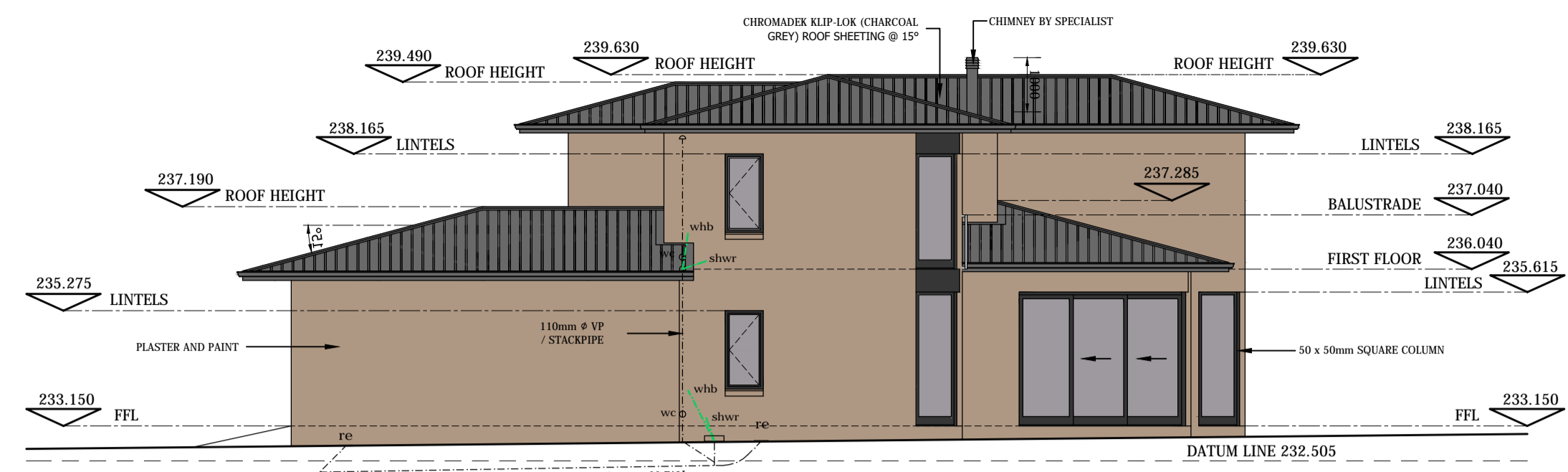
SECTION B - B Scale 1 : 50



SECTION C - C Scale 1 : 50



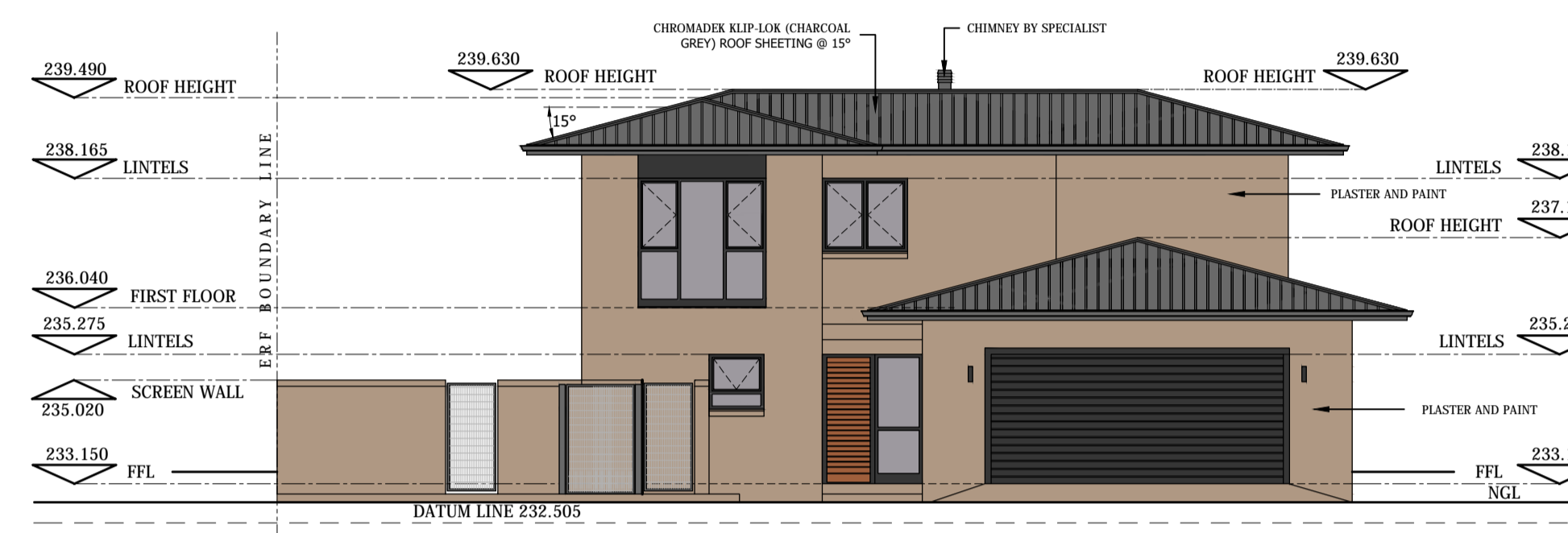
WEST ELEVATION Scale 1 : 100



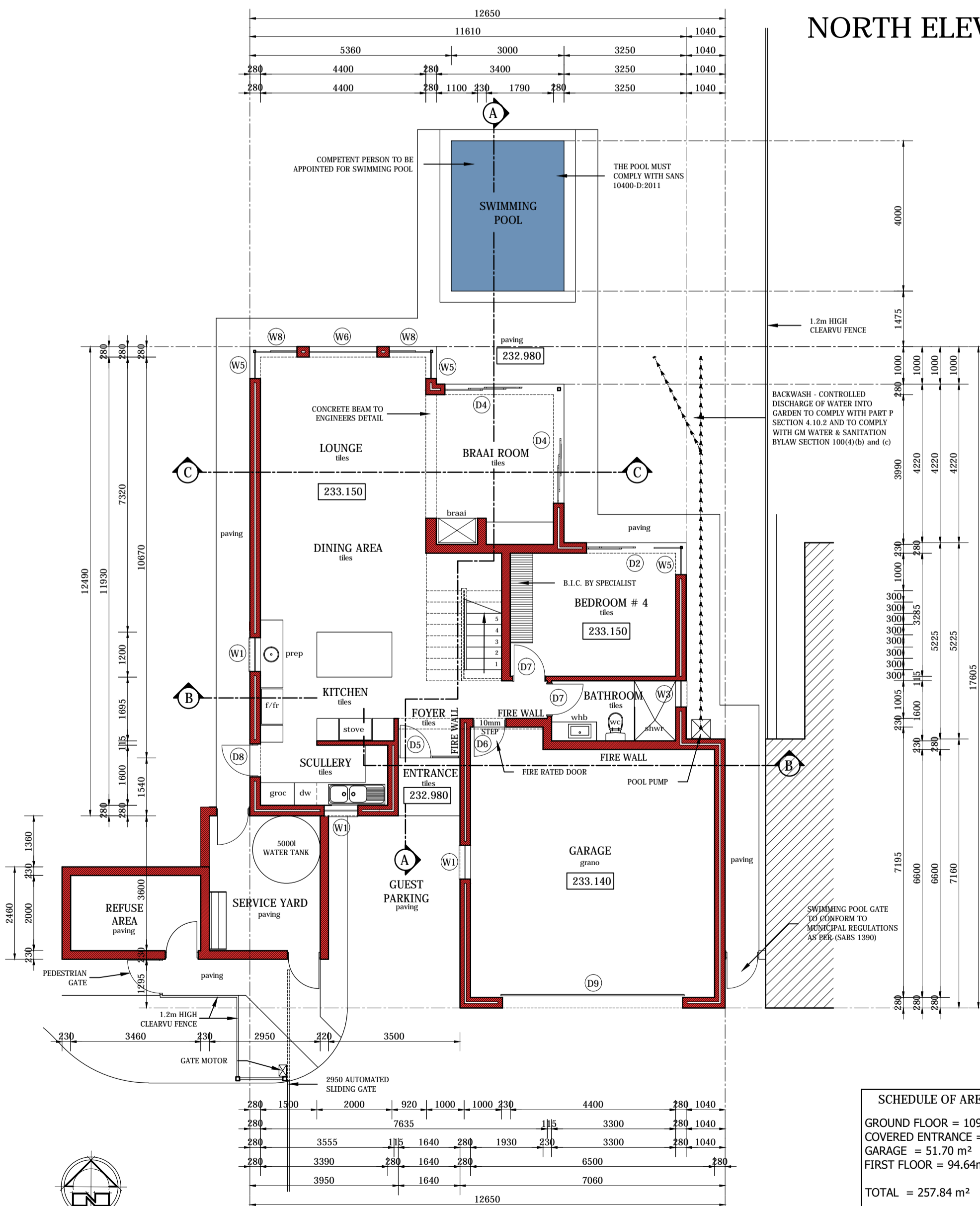
EAST ELEVATION Scale 1 : 100



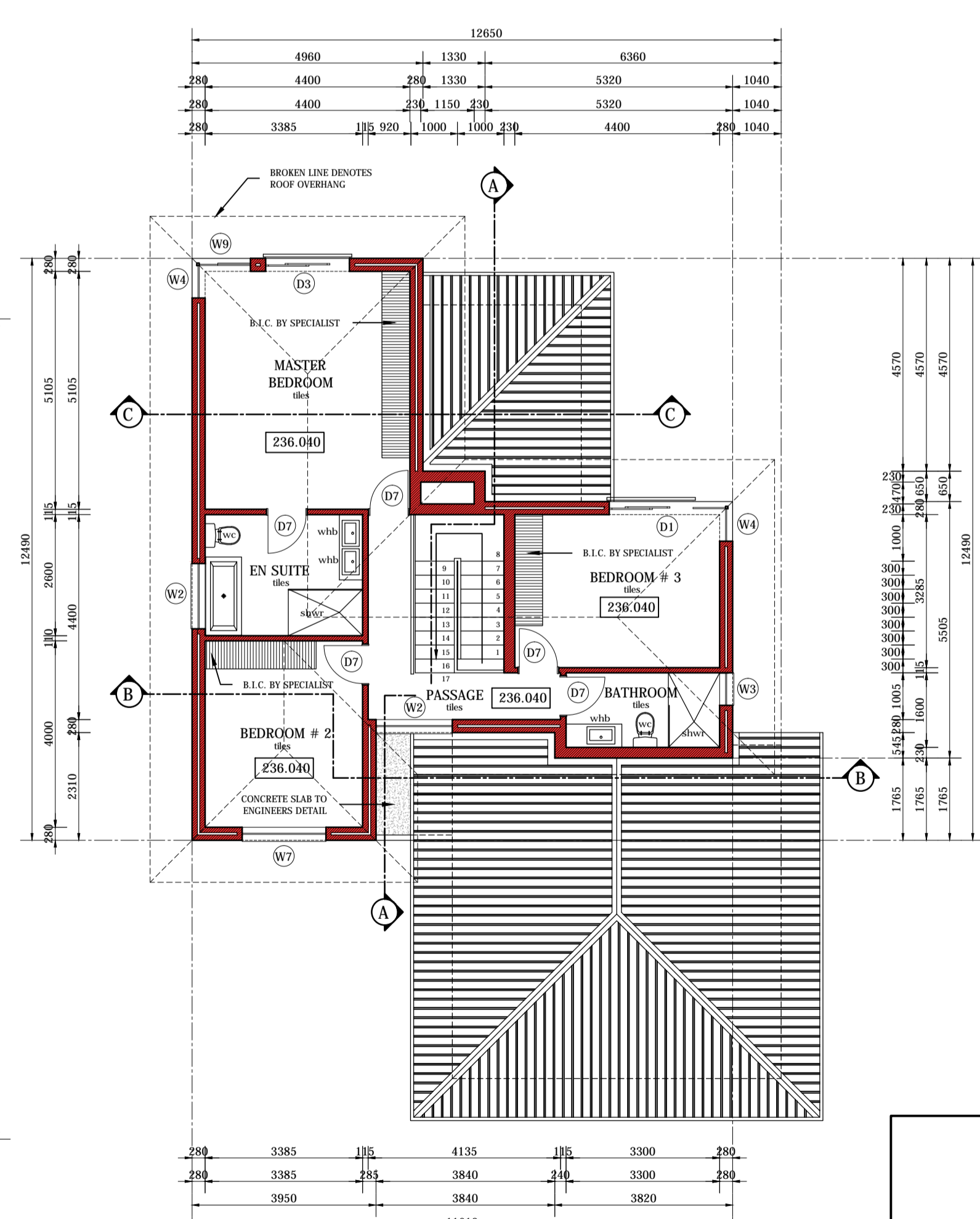
NORTH ELEVATION Scale 1 : 100



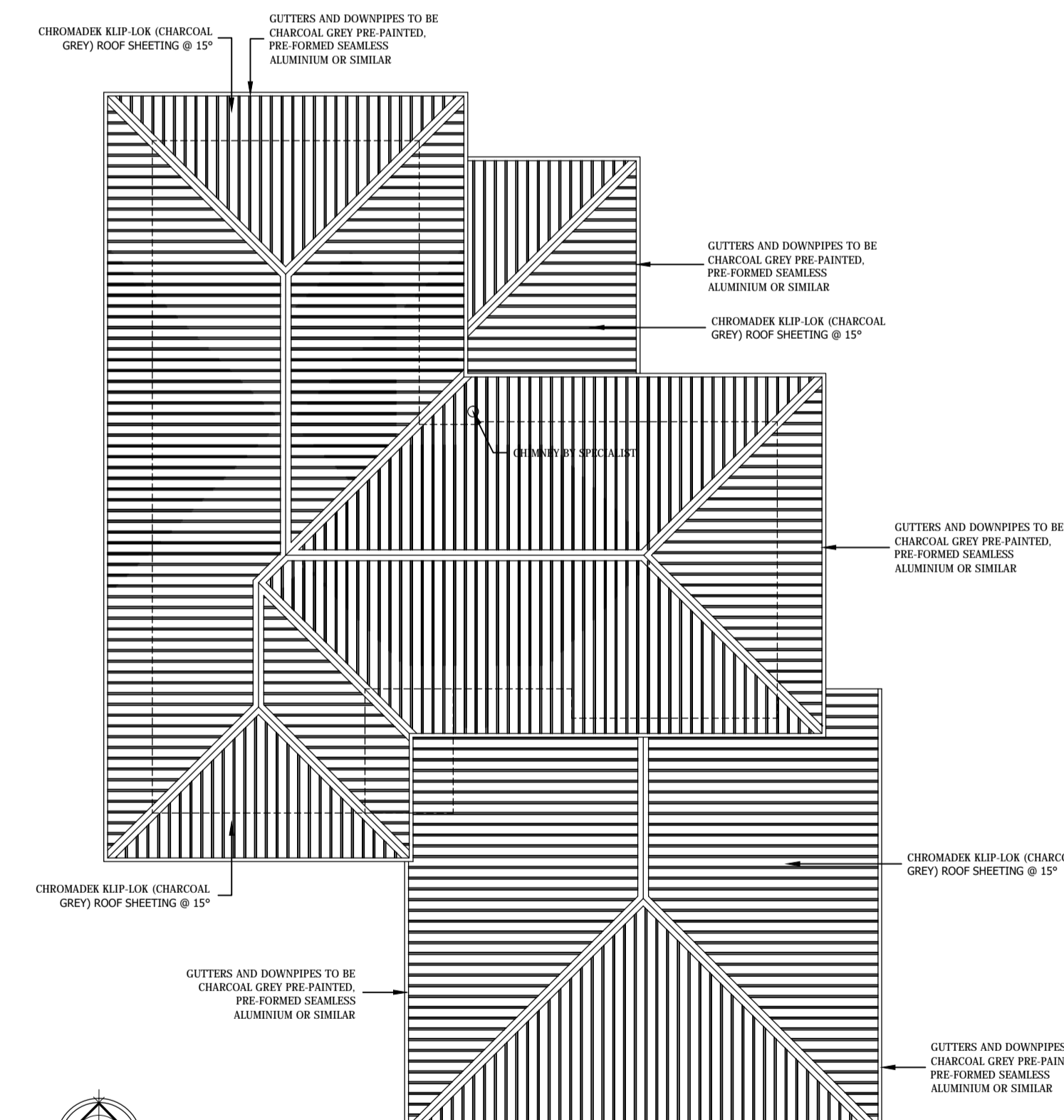
SOUTH ELEVATION Scale 1 : 100



GROUND FLOOR PLAN Scale 1 : 100



FIRST FLOOR PLAN Scale 1 : 100



ROOF PLAN Scale 1 : 100

SCHEDULE OF AREAS:

GROUND FLOOR	= 109,00 m ²
COVERED ENTRANCE	= 2,50m ²
GARAGE	= 51,70 m ²
FIRST FLOOR	= 94,64m ²
TOTAL	= 257,84 m²
SWIMMING POOL	= 12,00 m ²

ALGEMENE NOTAS GENERAL NOTES

KOPIEREG VOORBEHOU.
 TEKENINGE MAG NIE GESKAAL WORD NIE.
 ALLE MATE EN HOOGTES MOET VOORAF OP TREKKEIN GEKONTROLEER WORD EN INDIEN VAN TOEPASSING BY BESTAANDE BOUWERK AANGEPAAS WORD.
 ENIGE ONDUIDELIHEID OF TWEENSTREIDIGHEID MOET ONMIDDELIK MET DIE ARGITEK BESPREEK WORD.
 ALLE MATE SOOS OP PLAN AANGEDUI MOET OP 'N HORIZONTALLE WATERVULSLAK UITGESTE WORD.
 MAAK GEBRUIK VAN PROFIEL KOLOMME TEEN 85mm s/s VIR MESSELWERK.
 DIE KONTRAKTEUR IS VERANTWOORDELIK VIR DIE KORREKTE UITSIT VAN BOUWERK OP TREKKEIN VERAL TEN OPSIGTE VAN ERFGRENSSE, SERWITUTE EN BOULYNE.
 DIE KONTRAKTEUR IS VERANTWOORDELIK VIR GOEDGEKEURDE VOGWERLAE IN ALLE BUITEMURE EN ONDER VLOERE.
 KWALITEIT VAN ALLE MATERIAAL EN VAKMANSKAP MOET OOREENSTEM MET DIE TOEPASLIKE S.A.B.S SPESIFIKASIES EN STANDAARDE.
 DIE KONTRAKTEUR MOET TE ALLE TYE 'N VOLLEDIGE STEL TEKENINGE OP TREKKEIN AANHOU ALLE VLOERLAK HOOGTES OP DIE TEKENING GETOON IS ONAFGEWERKTE HOOGTES.
 COPYRIGHT RESERVED.
 NO DRAWINGS ARE TO BE SCALED.
 PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK, ALL MEASUREMENTS, HEIGHTS AND LEVELS TO BE CONTROLLED ON SITE AND WHERE APPLICABLE, ADAPTED TO SUGGESTED BUILDING WORK.
 ANY INDISTINCTNESS OR CONTRADICTION HAS TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY.
 ALL DIMENSIONS AS INDICATED ON PLAN TO BE SET OUT ON A LEVEL HORIZONTAL PLANE.
 ALL BRICKWORK TO BE SET OUT USING A PROFILE MARKED AT 85mm C/L.
 THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECT SETTING OUT OF BUILDING WORK ON SITE WITH PARTICULAR REFERENCE TO SITE BOUNDARIES, SERWITUTE AND BUILDING LINES.
 THE CONTRACTOR IS TO BUILD IN APPROVED D.P.C.'s TO ALL EXTERNAL WALLS AND UNDER FLOORS.
 QUALITY OF ALL MATERIAL AND CRAFTSMANSHIP TO COMPLY WITH THE RELEVANT S.A.B.S STANDARDS.
 THE CONTRACTOR MUST HAVE A COMPLETE SET OF DRAWINGS ON SITE.
 ALL FLOOR LEVELS SHOWN ON THIS DRAWING ARE UNFINISHED LEVELS.

WYSIGINGS / REVISIONS

WYSIG. REVS.	DATUM DATE	PAR. SGN.	BESKRYWING DESCRIPTION

GEORGE OFFICE
 10 Sugarbush Close
 Fancourt
 GEORGE

BLOEMFONTEIN OFFICE
 5 Villa Massimo
 Langenhoven Park
 BLOEMFONTEIN

P.O. BOX 29552, Danhof, 9310
 Tel: 082 826 4428
 E-mail - rohan.viljoen@vodamail.co.za
 Rohan Marcel Viljoen, Pr Arch
 SACAP Reg. No. 4701

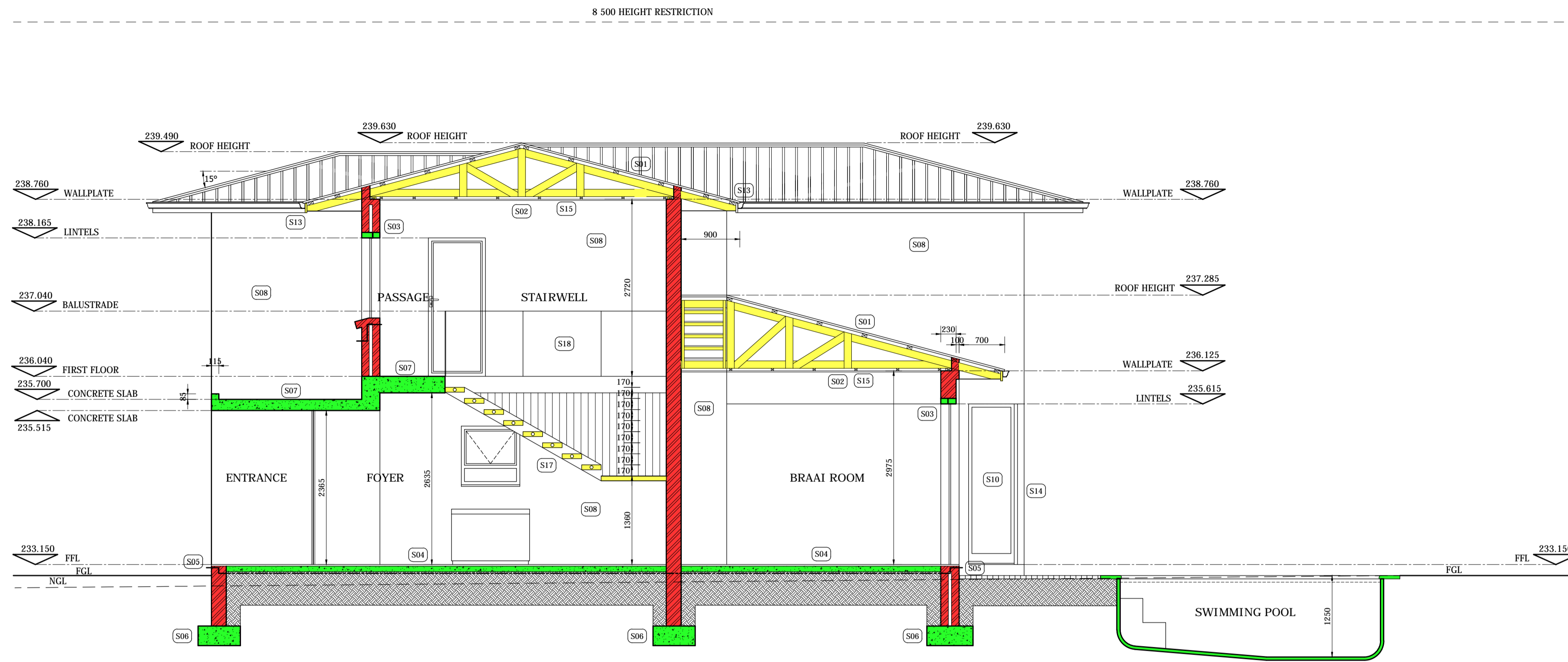


SERVICE MOSEBETSI DIENS

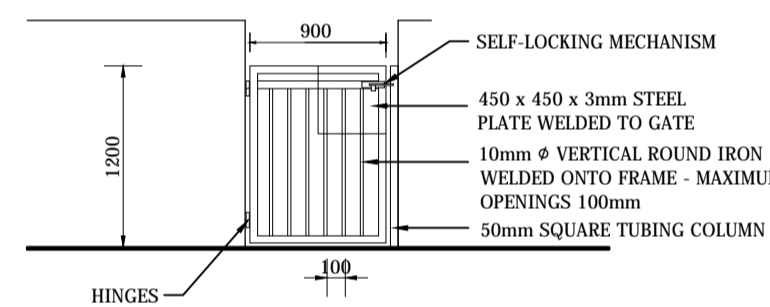
PROPOSED NEW GROUP HOUSING DEVELOPMENT
 for TRUE STORY (PTY) LTD
 on STAND 642,
 MYRTLE ROAD
 HEATHERLANDS
 GEORGE

DRAWING DESCRIPTION	HO NGOLA HO BOLEDISA	TEKENING BESKRYWING
TYPE B FLOOR PLANS & ELEVATIONS		

DESIGNED	NAME	DATE
HO NGOLA PLANE ONTWERP	R.M.V.	
DRAWN NGODILWE GETEKEN	DIANE	3 June 2024
CHECKED HO HLAPHLABA NAGESIEN	R.M.V.	
VARIATION PHETHOHO WYSHIGING		
SCALE: SEKALA: SKAAL:	AS SHOWN	
APPROVED: HO DUMELANA: GOEDGEKEUR:		
FILE NR.: PEHO YA NOMORO: LEER NO.:		
DRWG. NR.: NGODISO YA NOMORO: TEK. NO.:		21/06/TS - 005



SECTION A - A Scale 1 : 50



ELEVATION OF SAFETY GATE
Scale 1 : 25

NOTES:

- S01 : CHROMADEK KLIP LOK SHEETING - 1BR PROFILE - CHARCOAL GREY - INSTALLED AS PER MANUFACTURERS SPECIFICATIONS ON GUNDE PLASTIC UNDER SHEETING FOR WATERPROOFING ON 75 x 50mm S.A. PINE BRANDING ON GANGNAIL TRUSSES WITH A MINIMUM OF 900mm C/C ON 114 x 38mm WALLPLATE, AT 15°
- S02 : 6.4mm RHINOBOARD CEILING WITH H-PROFILE JOINTS TO 38 x 38mm SA PINE BRANDING ON GANGNAIL TRUSSES, SUPPLY GYPSUM CORNICE
- S03 : LINTELS OVER ALL OPENINGS AT 2125mm HEIGHT
- S04 : 25mm THICK SCREED ON CONCRETE SLAB. MIXTURE: 2 PARTS PLASTER SAND, 2 PARTS 3mm ROCK AND ONE PART CEMENT. 80mm THICK CONCRETE SLAB, 20MPa CONCRETE ON LAYERS
- S05 : 150mm HARCORE FILLING
- S06 : DAMP PROOF COURSE IN WALLS AND FFL
- S07 : CONCRETE STRIP FOUNDATION 600 x 350mm AS PER ENGINEERS DETAILS
- S08 : CONCRETE SLAB AND BEAMS AS PER ENGINEERS DETAILS
- S09 : WALL TO BE FINISHED WITH PLASTER AND PAINT
- S10 : WHITE MELAMINE ON INSIDE OF CUPBOARDS, OUTSIDE FINISHES AS PER ARCHITECT. POST FORMED TOPS INSTALLED BY SPECIALIST
- S11 : CHARCOAL ALUMINIUM SLIDING DOORS, SIDELIGHTS, STACK DOORS AND WINDOWS AS SHOWN ON FLOOR PLAN
- S12 : BALUSTRADE BY SPECIALIST- CHARCOAL POWDER COATED TO MATCH WINDOWS AND TO CONFORM TO MUNICIPAL REGULATIONS
- S13 : FULL BORE WATER OUTLET
- S14 : WATERITTE GUTTERING DOMESTIC OGEE PROFILE ALUMINIUM H3003H 14 SEAMLESS GUTTER, OVERALL SIZE 125 x 85 x 0.6mm THICK COATED INTERNALLY AND EXTERNALLY WITH COLOURTECH G4 IN CHARCOAL
- S15 : 50 x 50mm SQUARE STEEL COLUMN
- S16 : 140mm FLEXIBLE FIBRE GLASS BLANKET - CEILING INSULATION
- S17 : CHARCOAL GREY ALUMINIUM SECTIONAL OVERHEAD GARAGE DOOR
- S18 : TIMBER AND STEEL STAIRCASE BY SPECIALIST
- S19 : FRAMELESS GLASS BALUSTRADE AS PER SPECIALIST
- S20 : CHIMNEY BY SPECIALIST

APPROVAL STAMPS

ALGEMENE NOTAS GENERAL NOTES

KOPIEREG VOORBEHOU. TEKENINGE MAG NIE GESKAAI WORD NIE. ALLE MATE EN HOOGTES MOET VOORAF OP TERREIN GEKONTROLEER WORD EN INDIEN VAN TOEPASSING BY BESTAANDE BOUWERK AANGEPAS WORD. ENIGE ONDUIDELIKHEID OF TEEENSTREIDIGHEID MOET ONMIDDELIK MET DIE ARGITEK BESPREK WORD. ALLE MATE SOOS OP PLAN AANGEDUI MOET OP 'N HORIZONTALLE WATERPUSVLAK UITGESTI WORD. MAAK GEBRUIK VAN PROFIEL KOLOMME TEEN 85mm s/s VIR MESSELWERK. DIE KONTRAKTEUR IS VERANTWOORDELIK VIR DIE KORREKTE UITSIT VAN BOUWERK OP TERREIN VERAL TEN OPSIGTE VAN ERFGRENSE, SERWITUTE EN BOULYNE. DIE KONTRAKTEUR IS VERANTWOORDELIK VIR GOEDGEKEURDE VOGWERLAE IN ALLE BUITEMURE EN ONDER VLOERE. KWALITEIT VAN ALLE MATERIAAL EN VAKMANSKAP MOET OOREENSTEM MET DIE TOEPASLIKE S.A.B.S SPESIFIKASIES EN STANDAARDE. DIE KONTRAKTEUR MOET TE ALLE TYE 'N VOLLEDIGE STEL TEKENINGE OP TERREIN AANHOU. ALLE VLOERVLAK HOOGTES OP DIE TEKENING GETOON IS ONAFGEWERKTE HOOGTES.

COPYRIGHT RESERVED. NO DRAWINGS ARE TO BE SCALED. PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK, ALL MEASUREMENTS, HEIGHTS AND LEVELS TO BE CONTROLLED ON SITE AND WHERE APPLICABLE, ADAPTED TO SUGGESTED BUILDING WORK. ANY INDISTINCTNESS OR CONTRADICTION HAS TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY. ALL DIMENSIONS AS INDICATED ON PLAN TO BE SET OUT ON A LEVEL HORIZONTAL PLANE. ALL BRICKWORK TO BE SET OUT USING A PROFILE MARKED AT 85mm C/L. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECT SETTING OUT OF BUILDING WORK ON SITE WITH PARTICULAR REFERENCE TO SITE BOUNDARIES, SERWITUTE AND BUILDING LINES. THE CONTRACTOR IS TO BUILD IN APPROVED D.P.C.'S TO ALL EXTERNAL WALLS AND UNDER FLOORS. QUALITY OF ALL MATERIAL AND CRAFTSMANSHIP TO COMPLY WITH THE RELEVANT S.A.B.S. STANDARDS. THE CONTRACTOR MUST HAVE A COMPLETE SET OF DRAWINGS ON SITE. ALL FLOOR LEVELS SHOWN ON THIS DRAWING ARE UNFINISHED LEVELS.

WYSIGINGS / REVISIONS

WYSIGING REVS.	DATUM DATE	PAR. SIGN.	BESKRIVING DESCRIPTION

GEORGE OFFICE
10 Sugarbush Close
Fancourt
GEORGE

BLOEMFONTEIN OFFICE
5 Villa Masimo
Langenhoven Park
BLOEMFONTEIN

P.O. BOX 29552, Danhof, 9310
Tel 082 826 4428
E-mail - rohan.viljoen@vodamail.co.za
Rohan Marcel Viljoen, Pr Arch
SACAP Reg. No. 4701

PROFESSIONAL ARCHITECT
ROHAN MARCEL VILJOEN

SERVICE MOSEBETSI DIENS

PROPOSED NEW GROUP HOUSING DEVELOPMENT
for TRUE STORY (PTY) LTD
on STAND 642,
MYRTLE ROAD
HEATHERLANDS
GEORGE

DRAWING DESCRIPTION HO NGOLA HO BOLEDISA TEKENING BESKRIVING

TYPE B SECTIONS

DESIGNED	NAME	DATE
HO NGOLA PLANE ONTWERP	R.M.V.	

DRAWN	NAME	DATE
NGODILWE GETEKEN	DIANE	3 June 2024

CHECKED	NAME	DATE
HO HLAPLOBA NAGESIEN	R.M.V.	

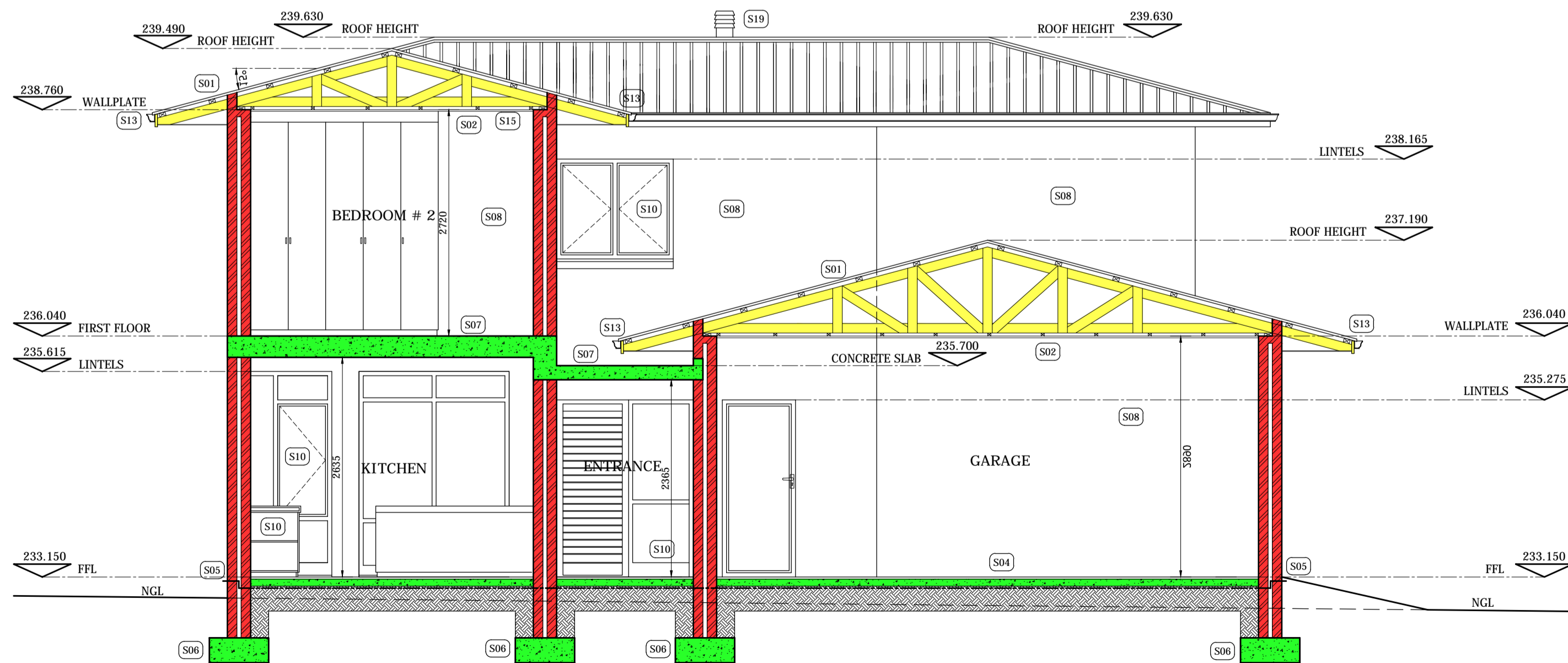
VARIATION PHETHOHO WYSIGING

SCALE: SEKALA: AS SHOWN

APPROVED: HO DUMELANA: GOEDGEKEUR:

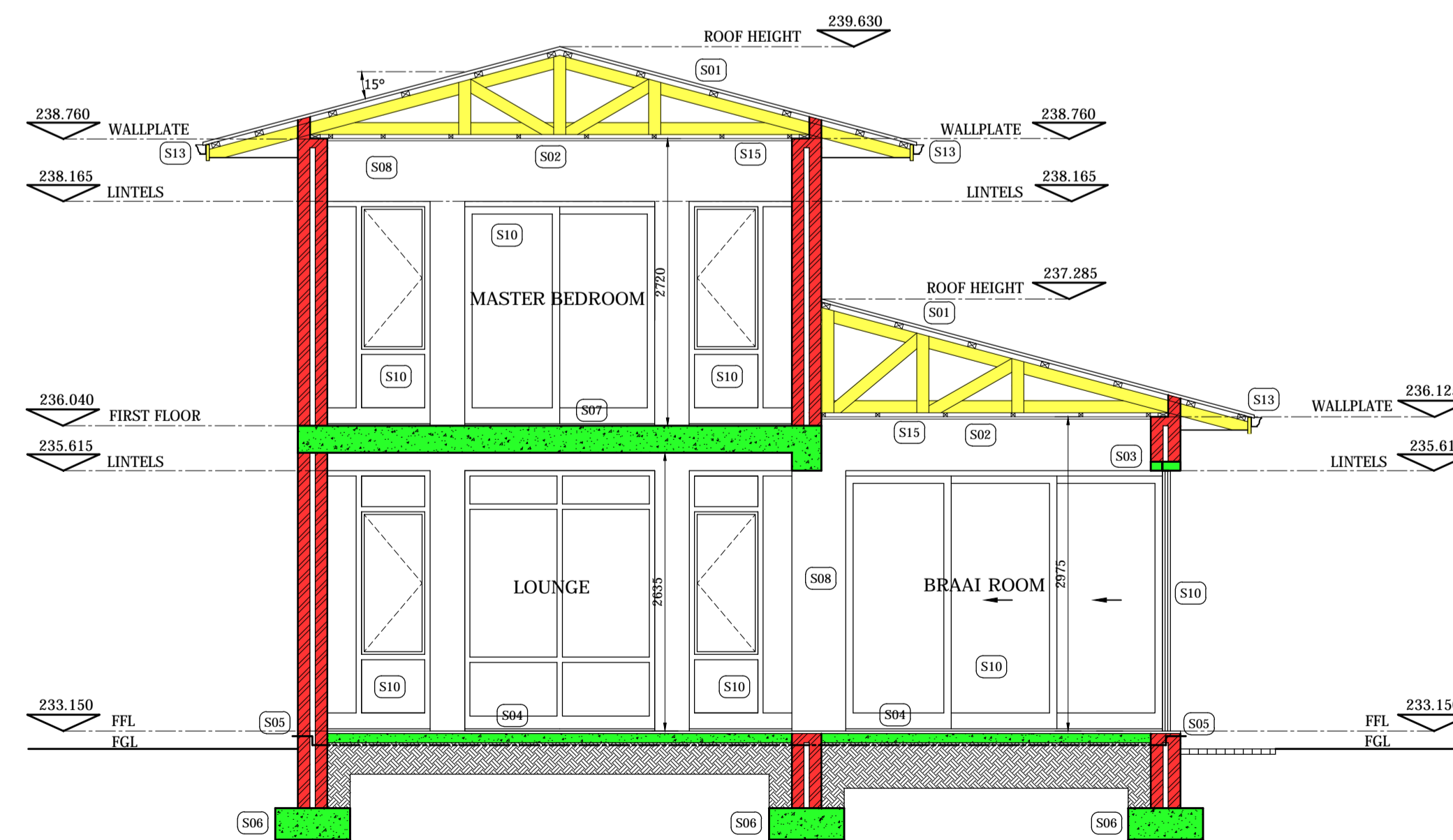
FILE NR: PEHO YA NOMORO: LEER NO: DRWG. NR: NGODISO YA NOMORO: 21/06/TS - 006

8 500 HEIGHT RESTRICTION

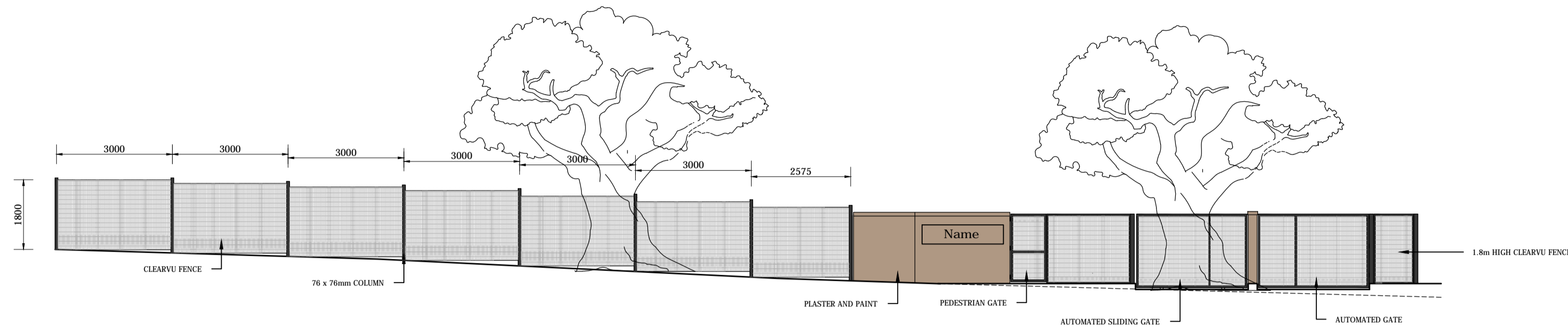


SECTION B - B Scale 1 : 50

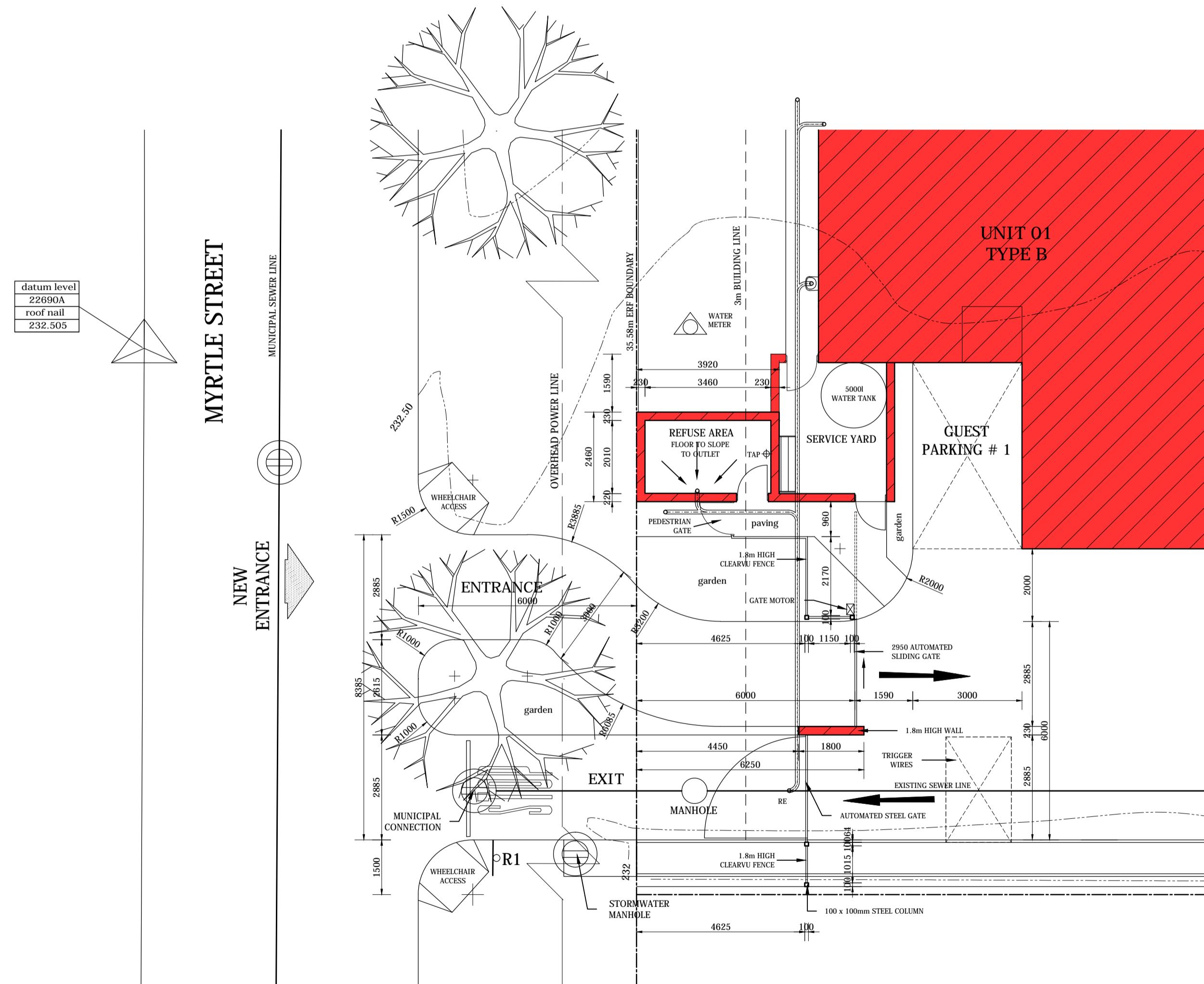
8 500 HEIGHT RESTRICTION



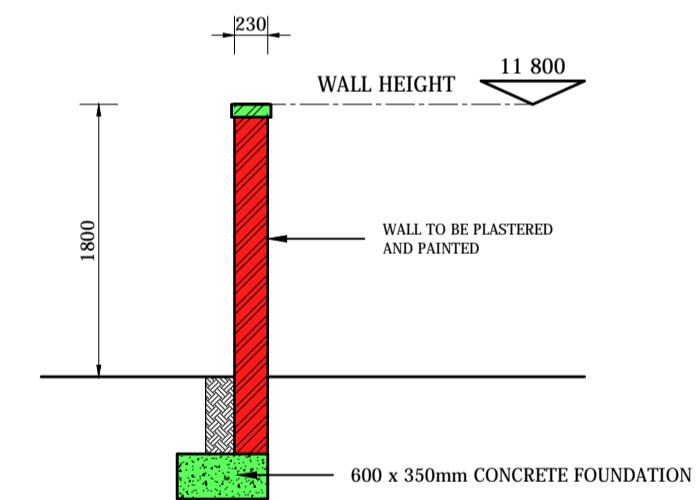
SECTION C - C Scale 1 : 50



STREET ELEVATION Scale 1 : 100



ENTRANCE & REFUSE AREA Scale 1 : 100



SECTION THROUGH BOUNDARY WALL

APPROVAL STAMPS

ALGEMENE NOTAS GENERAL NOTES

KOPIEREG VOORBEHOU.
TEKENINGE MAG NIE GESKAAL WORD NIE.
ALLE MATE EN HOOGTES MOET VOORAF OP TERREIN GEKONTROLEER WORD EN INDIEN VAN TOEPASSING BY BESTAANDE BOUWERK AANGEPAAS WORD.
ENIGE ONDUIDELIKHEID OF TWEENSTREIDIGHEID MOET ONMIDDELIK MET DIE ARGITEK BESPREK WORD.
ALLE MATE SOOS OP PLAN AANGEDUI MOET OP 'N HORIZONTALER WATERVLAEK UITGESTE WORD.
MAAK GEBRUIK VAN PROFIEL KOLOMME TEEN 85mm s/s VIR MESSELWERK.
DIE KONTRAKTEUR IS VERANTWOORDELIK VIR DIE KORREKTE UITSIT VAN BOUWERK OP TERREIN VERAL TEN OPSIGTE VAN ERFGRENSE, SERWITUTE EN BOULYNE.
DIE KONTRAKTEUR IS VERANTWOORDELIK VIR GOEDGEKEURDE VOGWERLAE IN ALLE BUITEMURE EN ONDER VLOERE.
KWALITEIT VAN ALLE MATERIAAL EN VAKMANSKAP MOET OOREENSTEM MET DIE TOEPASLIKE S.A.B.S SPESIFIKASIES EN STANDAARDE.
DIE KONTRAKTEUR MOET TE ALLE TYE 'N VOLLEDIGE STEL TEKENINGE OP TERREIN AANHOU.
ALLE VLOERVLAK HOOGTES OP DIE TEKENING GETOON IS ONAFGEWERKTE HOOGTES.

COPYRIGHT RESERVED.
NO DRAWINGS ARE TO BE SCALED.
PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK, ALL MEASUREMENTS, HEIGHTS AND LEVELS TO BE CONTROLLED ON SITE AND WHERE APPLICABLE, ADAPTED TO SUGGESTED BUILDING WORK.
ANY INDISTINCTNESS OR CONTRADICTION HAS TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY.
ALL DIMENSIONS AS INDICATED ON PLAN TO BE SET OUT ON A LEVEL HORIZONTAL PLANE.
ALL BRICKWORK TO BE SET OUT USING A PROFILE MARKED AT 85mm C/L.
THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECT SETTING OUT OF BUILDING WORK ON SITE WITH PARTICULAR REFERENCE TO SITE BOUNDARIES, SERWITUTE AND BUILDING LINES.
THE CONTRACTOR IS TO BUILD IN APPROVED D.P.C.'S TO ALL EXTERNAL WALLS AND UNDER FLOORS.
QUALITY OF ALL MATERIAL AND CRAFTSMANSHIP TO COMPLY WITH THE RELEVANT S.A.B.S. STANDARDS.
THE CONTRACTOR MUST HAVE A COMPLETE SET OF DRAWINGS ON SITE.
ALL FLOOR LEVELS SHOWN ON THIS DRAWING ARE UNFINISHED LEVELS.

WYSIGINGS / REVISIONS

WYSIG. REVS.	DATUM DATE	PAR. SIGN.	BESKRYWING DESCRIPTION



GEORGE OFFICE
10 Sugarbush Close
Fancourt
GEORGE

BLOEMFONTEIN OFFICE
5 Villa Masimo
Langenhoven Park
BLOEMFONTEIN

P.O. BOX 29552, Danhof, 9310
Tel: 082 826 4428
E-mail: rohan.viljoen@vodamail.co.za
Rohan Marcel Viljoen, Pr Arch
SACAP Reg. No. 4701



SERVICE MOSEBETSI DIENS

PROPOSED NEW GROUP HOUSING DEVELOPMENT
for TRUE STORY (PTY) LTD
on STAND 642,
MYRTLE ROAD
HEATHERLANDS
GEORGE

DRAWING DESCRIPTION HO NGOLA HO BOLEDISA TEKENING BESKRYWING

	NAME LEBITSO NAAM	DATE LETSATS DATUM
DESIGNED HO NGOLA PLANE ONTWERP	R.M.V.	
DRAWN NGODILWE GETEKEN	DIANE	3 June 2024
CHECKED HO HLAPLOBA NAGESIEN	R.M.V.	
VARIATION PHETHOHO WYSIGING		

SCALE: SEKALA: SKAAL: AS SHOWN

APPROVED: HO DJMELANA: GOEDGEKEUR:

FILE NR: PEHO YA NOMORO: LEER NO:

DRWG. NR: NGODISO YA NOMORO: 21/06/TS - 007
TEK. NO:

ANNEXURE 11

Structural Engineers,
Civil Engineers,
Town Planners,
Geotechnical,
Project Management,

Company Registration No:
2017/084951/07
VAT Registration No: 428 029 9191

Head Office:
10 Rookien Smith Street, Sable
Office Park, Unit 2, Voorbay
Satellite Offices:

Potchefstroom, North West,



C JM Consulting t/a Ancre
Consulting & Associates

Correspondence

06 August 2024

Ref No: 12/03/OV/HG/ERF642/0

Client: True Story Pty Ltd,
Myrtle Road,
Stand 642,
Heatherlands, George,
Western Cape.

To Whom It May Concern:

Sir/Madam

CONFIRMATION LETTER: ADDRESSING CONCERNS RAISED BY THE CIVIL ENGINEERING DEPARTMENT LOCATED IN GEORGE, WITH REGARDS TO THE ABOVE-MENTIONED STAND,

1. INTRODUCTION:

We were requested by the relevant Civil Engineering Department to address the following concerns:

- Access,
- Stormwater,
- Water & Sewer.

2. SITE LOCATION:

The structure is located at Myrtle Road, Stand 642, Heatherlands, George area, with the following coordinates:

Latitude: 33°57'1.00" S; Longitude: 22 °26'40.51" E.



Position of future
development

CJM CONSULTING ENGINEERS T/A ANCRE CONSULTING & ASSOCIATES

“Being Different & Making A Difference Is What It Is All About”

MEMBERS | CJ MARAIS | CJM CONSULTING T/A ANCRE CONSULTING (Reg. No. 2017/084951/07)

✉ 086 483 7073 | ☎ +27 82 447 9783 | Office Number: 044 008 5075 | 📧 craig@ancreconsult.co.za

Structural Engineers,
Civil Engineers,
Town Planners,
Geotechnical,
Project Management,

Company Registration No:
2017/084951/07
VAT Registration No: 428 029 9191

Head Office:
10 Rookan Smith Street, Sable
Office Park, Unit 2, Voorbay
Satellite Offices:



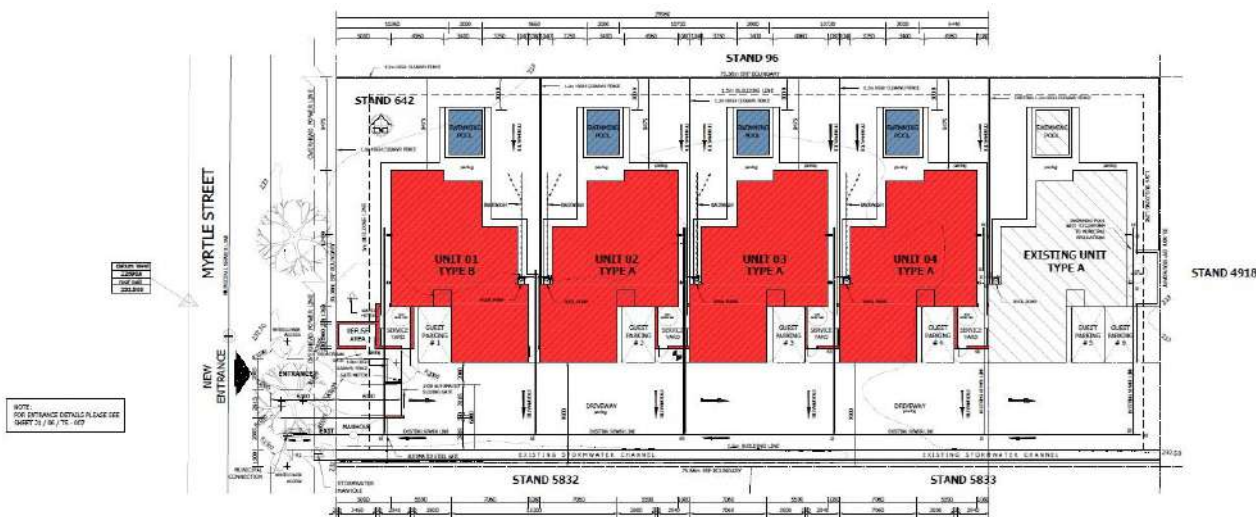
CJM Consulting t/a Ancre
Consulting & Associates

Correspondence

Potchefstroom, North West,

3. DISCUSSION:

Please refer to the SDP below:



SITE DEVELOPMENT PLAN Scale 1 : 200

- **Access:** The access will be restricted towards Myrtle Road. Sufficient minimum stacking distance of 6.0m have been provided and the internal road will be transferred to an appointed HOA, which will then maintain the road and relevant stormwater.
- **Stormwater:** The existing stormwater channel will be maintained by the appointed HOA. The current stormwater channel will suffice in terms of storm water runoff volume, that will be generated by the newly proposed development.
- **Water & Sewer:** The internal sewer and water services will be installed at the developers own cost and then maintained by the relevant appointed HOA.

CJM CONSULTING ENGINEERS T/A ANCRE CONSULTING & ASSOCIATES

“Being Different & Making A Difference Is What It Is All About”

MEMBERS I CJ MARAIS I CJM CONSULTING T/A ANCRE CONSULTING (Reg. No. 2017/084951/07)

✉ 086 483 7073 | ☎ +27 82 447 9783 | Office Number: 044 008 5075 | 📧 craig@ancreconsult.co.za

Structural Engineers,
Civil Engineers,
Town Planners,
Geotechnical,
Project Management,

Company Registration No:
2017/084951/07
VAT Registration No: 428 029 9191

Head Office:
10 Rookan Smith Street, Sable
Office Park, Unit 2, Voorbay
Satellite Offices:

Potchefstroom, North West,



C J M Consulting t/a Ancre
Consulting & Associates

Correspondence

We trust you will find the above said in order. Should you require any additional information, please contact the relevant person as indicated below.

Please be assured of our best interest at all times.

Yours faithfully,

Mr. CJ Marais (Pr.Tech.Eng)

ECSA-MSAICE-ISTRUCTESA-NHBRC

CJM CONSULTING ENGINEERS T/A ANCRE CONSULTING & ASSOCIATES

“Being Different & Making A Difference Is What It Is All About”

MEMBERS | CJ MARAIS | CJM CONSULTING T/A ANCRE CONSULTING (Reg. No. 2017/084951/07)

✉ 086 483 7073 | ☎ +27 82 447 9783 | Office Number: 044 008 5075 | 📧 craig@ancreconsult.co.za

ANNEXURE 12

APPLICATION FOR A PERMIT IN TERMS OF: Section 27/ Section 28/ Section 29/ Section 31/Section 34

TO DESTROY, DAMAGE, DEFACE, EXCAVATE, ALTER, OR REMOVE FROM ITS ORIGINAL POSITION, SUBDIVIDE, CHANGE THE PLANNING STATUS, OF A PROVISIONALLY PROTECTED AREA OR A HERITAGE AREA, AND/ OR ALTER OR DEMOLISH ANY STRUCTURE OR PART OF A STRUCTURE OLDER THAN 60 YEARS

Making an incorrect statement or providing incorrect information may result in all or part of the application having to be reconsidered by HWC in the future, or submission of a new application.

IN ORDER FOR THE APPLICATION TO BE CONSIDERED, ALL SECTIONS OF THE APPLICATION FORM MUST BE COMPLETED

HERITAGE WESTERN CAPE REFERENCE NO., AS PROVIDED DURING SCRUTINY:

SECTION A

PLEASE TICK THE APPROPRIATE BOX

√	The work as applied for has not started .
	The work as applied for has started (<i>Attention is drawn to Section 51 of the NHRA. As-built plans indicated the work undertaken and must be submitted which clearly identifies the contraventions and work yet to be undertaken.</i>)
	The work as applied for has been completed (<i>Attention is drawn to Section 51 of the NHRA. As-built plans must be submitted which clearly identifies the contraventions.</i>)
	Deviation from an existing permit for work yet to be undertaken
	Minor Works are only processed at the discretion of Heritage Western Cape, in instances where the work being undertaken will not impact on the significance of a structure or its surrounds identified as having significance. Please refer to HWC's webpage https://www.hwc.org.za to review the Requirements for Minor Works applications.
	Emergency applications are only accepted at the discretion of Heritage Western Cape in terms of Regulation No. 3(8) of HWC's regulations published on 29 August 2003.
	Extension of a permit; Date of current permit: (dd/mm/yy): _____ (<i>The current permit must be attached. Extensions are only granted when the existing permit has not lapsed.</i>)
	The site has a Heritage Agreement / Conservation Management Plan / Maintenance Management Plan in place (please attach)
	Advice

Physical address of site: No 10 Myrtle Road, Heatherlands, George.

Erf No or Farm Name and No.: 642

Type of site, place, or structure (indicate by means of a cross in the appropriate space(s) below):

Provincial Heritage Site (or a previously declared national monument in terms of the National Monuments Act, 1969) in terms of Section 27, **a provisionally protected heritage site** in terms of Section 29 of the National Heritage Resources Act (1999) or a **Protected Area** in terms of Section 28.

Structure to be altered, demolished, a new proposed structure, change of planning status within **a declared Heritage Area (Section 31)**.

Structure older than 60 years (**Section 34**).

SECTION B

NAME AND DETAILS OF APPLICANT

Name: Andre Vercueil

Identity number of applicant: 5607195029084

Company / Capacity: Sole Member of CC

Address and postal code: 26 Newton Street, Knysna, 6571

Cellular phone number: 082 565 4618

E-mail: andre@architectsetc.com

Signature: _____ Date: _____

REGISTERED OWNER OF PROPERTY

Name: O. A. Visser for - True Story Holdings (PTY) LTD

Identity number of applicant: 5607055007080

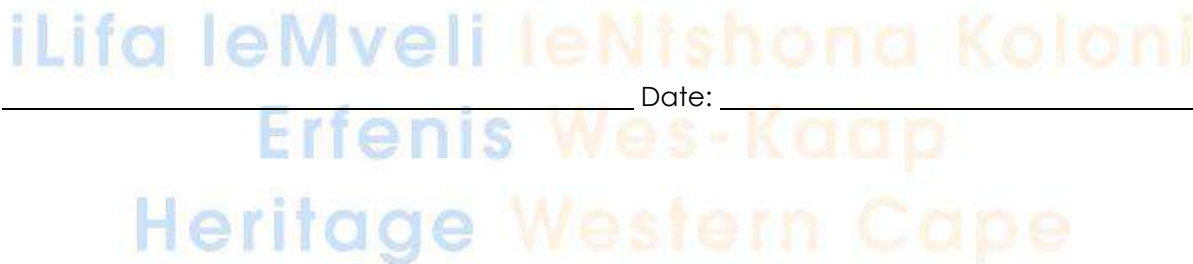
Address and postal code: _____

Cellular phone number: 083 457 2033

E-mail: oeloffvisser@gmail.com

Declaration: I, _____ am fully aware of this application and accept its contents and declare that I intend to undertake the actions as proposed in this application.

Signature: _____ Date: _____



SECTION C

PROPOSED TYPE OF ACTION

√	Total Demolition		Partial Demolition
	Additions		Alteration
	Restoration		Excavation (Section 27 / 29 / 31)
√	Landscaping (Section 27 / 29 / 31)		Remove from its original or current position (Section 27 / 29 / 31)
	Rezoning (Section 27 / 29 / 31)		Consolidation (Section 27 / 29 / 31)
	Subdivision (Section 27 / 29 / 31)		Other (please specify):

MINOR WORKS

Minor Works applications are only processed at the discretion of HWC in instances where the work being undertaken will not impact on the significance of a structure or its surrounds identified as having significance.

Please refer to HWC's webpage <https://www.hwc.org.za> to review the Requirements for Minor Works applications.

	Maintenance		Repair
	Internal Alteration		External Alteration
	Minor Addition		Activity / Event (Section 27)
	Restoration		Shopfitting
	Fabric Analysis		Signage (Section 27 / 28/ 29 / 31)
	Rezoning (Section 27 / 28/ 29 / 31)		Consolidation (Section 27 / 28/ 29 / 31)
	Subdivision (Section 27 / 28/ 29 / 31)		Other (please specify):

DETAIL OF PROPOSED ACTION/S

Provide a short description of the proposed action, and accompanying documents

The proposal is to demolish the existing house on ERF 642 George, to make way for a future group housing scheme of 5 units in total. Group Housing fits into the parameters of the densification Zone of Heatherlands, identified by George Municipality. A higher density housing typology would therefore be supported in this area.

ESTIMATED CONSTRUCTION COST AND/ OR VALUE OF DEVELOPMENT UPON COMPLETION:

Demolition	=R100,000.00
2 nd Dwelling	=R4,000,000.00
Balance of Group Housing	=R16,400,000.00
TOTAL	=R20,500,000.00

DRAWING REFERENCE NUMBERS

Title of Drawing	Drawing Number	Date of Drawing	Revision No.	Drawn By
<u>Proposed House for Miss M.H. Larkin</u>	Not given	13/08/1963?		Not Identified
<u>Proposed additional Garage</u>	<u>263/1</u>	<u>08/12/1969</u>		<u>Not Identified</u>
<u>Site Development Plan</u>	<u>21/06/TS-001</u>	<u>03/06/2024</u>		<u>Diane</u>
<u>Landscaping & Parking Layouts</u>	<u>21/06/TS-002</u>	<u>03/06/2024</u>		<u>Diane</u>
<u>Type A Floor Plans & Elevations</u>	<u>21/06/TS-003</u>	<u>03/06/2024</u>		<u>Diane</u>

MOTIVATION FOR PROPOSED ACTION/S

Provide a full motivation with reference to conservation policies, principles and/or any other additional detail.

- 7.1 The existing house is in a poor state of disrepair.
- 7.2 The existing house has no architectural, aesthetic or heritage character or significance.
- 7.3 A demolition permit has already been considered and approved by George Municipality.
- 7.4 It would not be financially viable to renovate and modernize the existing house, as the layout does not conform to modern living standards.
- 7.5 Heatherlands has already been earmarked by George Municipality for densification, so a higher density group housing typology will fit into this category.
- 7.6 The erf is located within a relative close proximity to a GoGeorge bus route, providing high accessibility.
- 7.7 The rezoning and subdivision of this property to accommodate a group housing scheme is an appropriate proposal for this area, and also permissible in terms of the George Land Use Planning By-Law.
- 7.8 No heritage resources will be compromised with the proposed demolition and associated group housing development. There are no other heritage triggers affecting the proposal.
- 7.9 The property is sufficiently sized to not require any further building line relaxations or any other departures.
- 7.10 There are no restrictive conditions in the Title Deed to prevent demolition, rezoning and subdivision of the property.

- 7.11 The area already supports a mixture of zonings and uses, so the proposed use will match the existing typology.
- 7.12 The registered Heritage Bodies in the area will be consulted regarding this proposal, and their comments will be inserted into the final report.
- 7.13 There will be no negative visual impact on the surrounding area, as the architecture of the proposed development matches the suburban character of the area.
- 7.14 The trees on the pavement will not be affected from the proposed activities. The trees will also provide a visual filter towards the proposed activities.
- 7.15 The project engineers report confirmed that there are sufficient services available for the proposed development.
- 7.16 The proposed development will provide a welcome injection into the built environment and the local economy, providing temporary and permanent employment in the service industry.

PREVIOUS HWC APPLICATIONS APPLICABLE TO THE SITE

Provide details of any previous applications submitted to HWC on the site.

HWC Reference No.	NHRA Section	Summary of Proposal	Application Status (Approved, Not Approved, Pending)	Permit / Record of Decision Date

iLifa leMveli leNtshona Koloni
Erfenis Wes-Kaap
Heritage Western Cape

SECTION D

PUBLIC CONSULTATION

Conservation bodies are interested parties in the management of our heritage resources. HWC requires that the registered conservation bodies are informed and provided 30 days to provide comment when applications are received for specific geographical areas or categories of heritage resources in terms of Section 25(10) of the National Heritage Resources Act, 1999. Please find the list of registered conservation bodies for the Western Province on our website: <https://www.hwc.org.za/conservation-bodies>

INTERESTED AND AFFECTED PARTY / CONSERVATION BODY LIST

Name	Email	Response Provided Within The 30 Day Period: Yes or No	Date of Initiation of Consultation Period

PLEASE NOTE

Applications are considered to be public documents and are open to public scrutiny. Should you wish for your application to be kept confidential, please motivate your request on a separate sheet attached to your application form.

For applications that are granted confidentiality, this confidentiality will be limited to one year (12 months).



iLifa leMveli leNtshona Koloni
 Erfenis Wes-Kaap
 Heritage Western Cape

HWC CASE NUMBER: HWC

APPLICATION FOR A PERMIT:

**SECTION 34
OF THE NATIONAL HERITAGE RESOURCES ACT (NHRA), ACT 25 OF 1999**

**TO:
ALTER OR DEMOLISH ANY STRUCTURE OR PART OF A STRUCTURE OLDER THAN 60
YEARS**

**FOR:
THE DEMOLITION OF THE EXISTING HOUSE**

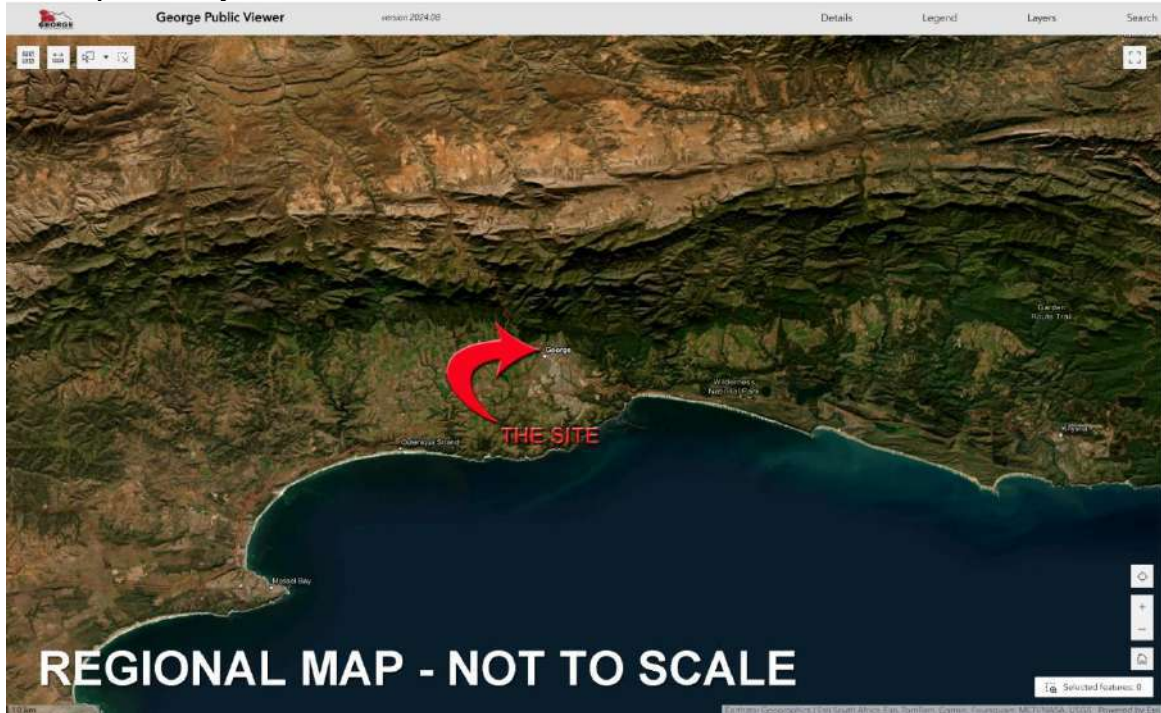
**ON:
ERF 642 Myrtle Road No 10, Heatherlands, GEORGE (2 689,27m²)**



**AUTHOR: ANDRE VERCUEIL
CLIENT: TRUE STORY HOLDINGS (PTY) LTD – Reg Date: 15/08/2018
TOWN PLANNERS: DELPLAN CONSULTING
ARCHITECTS: HUNEBERG VILJOEN**

EXECUTIVE SUMMARY

1. **Site Name**
ERF 642, HEATHERLANDS, GEORGE
2. **Location**
The site is located at No. 10 Myrtle Road, Heatherlands, George.
3. **Area Map & Locality Plan**



PHYSICAL ADDRESS: 'FOREVER VIEW', PORTION 47 OF FARM UITZICHT 216, PRES C.R. SWART DRIVE, BRENTON, KNYSNA,
POSTAL ADDRESS: 'CARISBROOKE', 26 NEWTON STREET, KNYSNA, 6571, TEL:+27 44 381 0219, E-MAIL: andre@architectsetc.com, WEBSITE:www.architectsetc.com
MEMBERS: ANDRÉ VERCUEIL, B.BUILD.(UPE), B.ARCH.(PRET), ARCH.(SA), PR.ARCH, ACCREDITED MEMBER OF THE ASSOCIATION OF PROFESSIONAL HERITAGE PRACTITIONERS WESTERN CAPE
Member of the South African Council for the Architectural Profession (SACAP) Reg. No. 3754 - Professional Architect

4. Background

The current owners acquired the site on 29 January 2023 from a deceased estate. The existing house on the stand was already (at the time of the purchase) in a very poor state of repair, dating from 13/08/1963 (approved plan at George Municipality). Delplan (the town planners appointed for the proposed project), submitted an application to George Municipality for the proposed demolition of the existing house. The application to demolish the existing house was submitted on 07/02/2024 and was granted by George Municipality on 27/02/2024. The proposed demolition was not carried out at the time of the permission for demolition and the house has subsequently just exceeded the 60 year threshold. The Town Planner has subsequently advised my client that a permit application to Heritage Western Cape (HWC) would now be required for this proposed demolition.

In the mean time our client applied for the building of a second house on the property, which was granted by George Municipality with the provision that the existing house be demolished.

Construction of the second house on the property (which will become the first of 5 group housing units on the property), is scheduled to be completed in December 2024. The property is subsequently to be re-zoned to Group Housing, and then subdivided into 5 portions.

This Section 34 Permit Application is for the proposed demolition of the existing house on the property, which is now just older than 60 years and protected in terms of the National Heritage Resources Act, Act 25 of 1999.

5. The Proposal

The proposal is to demolish the existing house on ERF 642 George, to make way for a future group housing scheme of 5 units in total. Group Housing fits into the parameters of the densification Zone of Heatherlands, identified by George Municipality. A higher density housing typology would therefore be supported in this area.

6. Heritage Resources Identified

The existing house on ERF 642 George is older than 60 years, but it has no architectural, aesthetic or heritage merit or significance.

The general character of development in Heatherlands is very suburban, single residential zoning, with some mixed land use of Bed and Breakfast as well as Guest House establishments, as well as a small number of small Group Housing and Business developments.

There are very few heritage resources in the immediate area, but some on the outskirts of Heatherlands, which the bulk of the report will identify.

7. Anticipated Impacts on Heritage Resources

The proposed demolition of the existing house on ERF 642 George will not negatively impact on any heritage resources in the area.

8. Comments

The Draft Permit Application will be circulated to the registered Conservation Bodies in George for comment. The comments from George Municipality, The Foundation Simon van der Stel and the George Heritage Trust will be inserted into this report once their comments have been received.

9. Mitigation

The following mitigating actions have been recommended and accepted by the developers:

- 9.1 That the comments from George Municipality and the Local Conservation Bodies be complied with in the proposal.
- 9.2 That the recommendations of George Municipality in the Pre-Application Consultation Meeting, held on 10/07/2024 be complied with.
- 9.3 The trees on the pavement are to be retained.

10. Recommendations

As the proposed demolition of the existing house is historically, architecturally and aesthetically insignificant and the proposed demolition thereof will not impact negatively on the heritage resources in the area, the recommendation is for HWC to support the application.

TABLE OF CONTENTS:	PAGE No.
Cover Page	1
Executive Summary	2
Table of Contents	4
1 Background Information on the Project	5
2 Terms of Reference	22
3 Heritage Statement	22
4 Photo Report	24
5 Streetscape	36
6 Detail of the Action Proposed	49
7 Motivation for Proposed Action	52
8 Anticipated Impacts on the Heritage Resources	52
9 Consultation	52
10 Mitigation	52
11 Recommendations	52
12 Annexures:	53
a) Annexure A - Submission form	
b) Annexure B – Proof of Payment	
c) Annexure C - Letter of Authority	
d) Annexure D - Title Deed	
e) Annexure E – Disclosure Certificate	
f) Annexure F1&2 – Existing House Plans and Proposed Plans	
g) Annexure G - Pre-Application Consultation Minutes from George Municipality	
h) Annexure H - Digital diagrams & Photos	
i) Annexure I – Engineering Letter	
j) Annexure J – Comments through Consultation	

1. **BACKGROUND INFORMATION ON THE PROJECT.**

1.1 Site Name
ERF 642, Myrtle Road, George.

1.2 Location
Myrtle Road No 10, Heatherlands, George.

Locality Plan

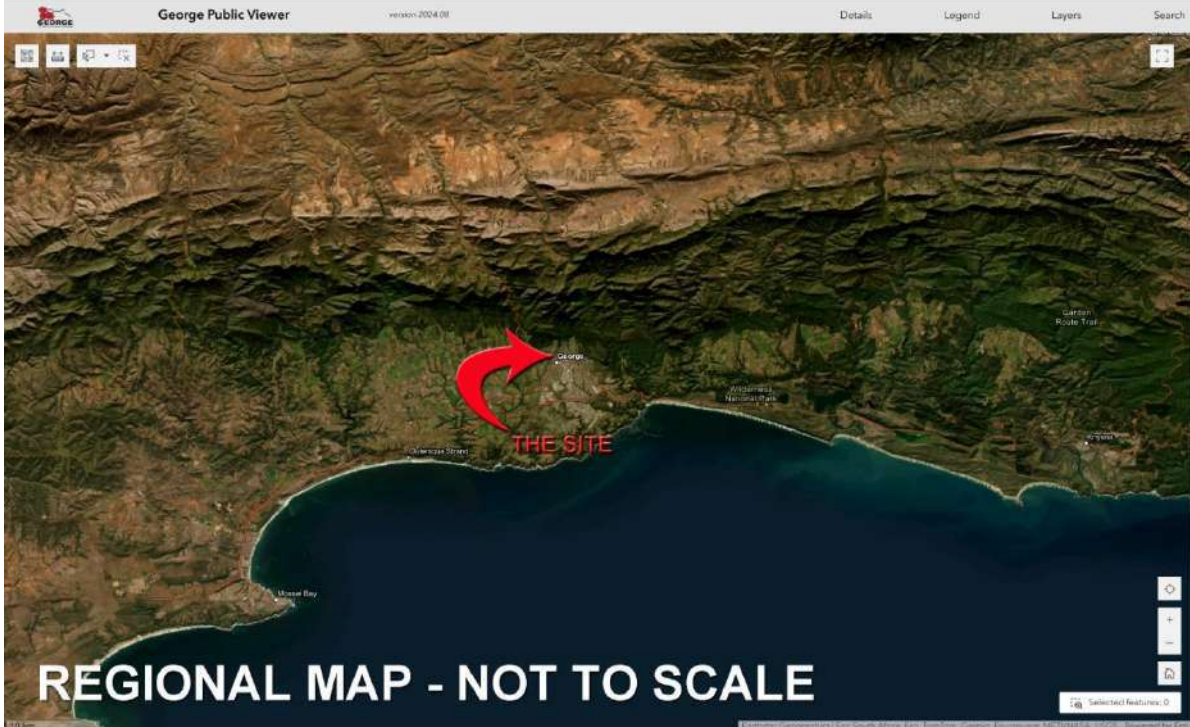


Fig-01: Regional Map George Municipality

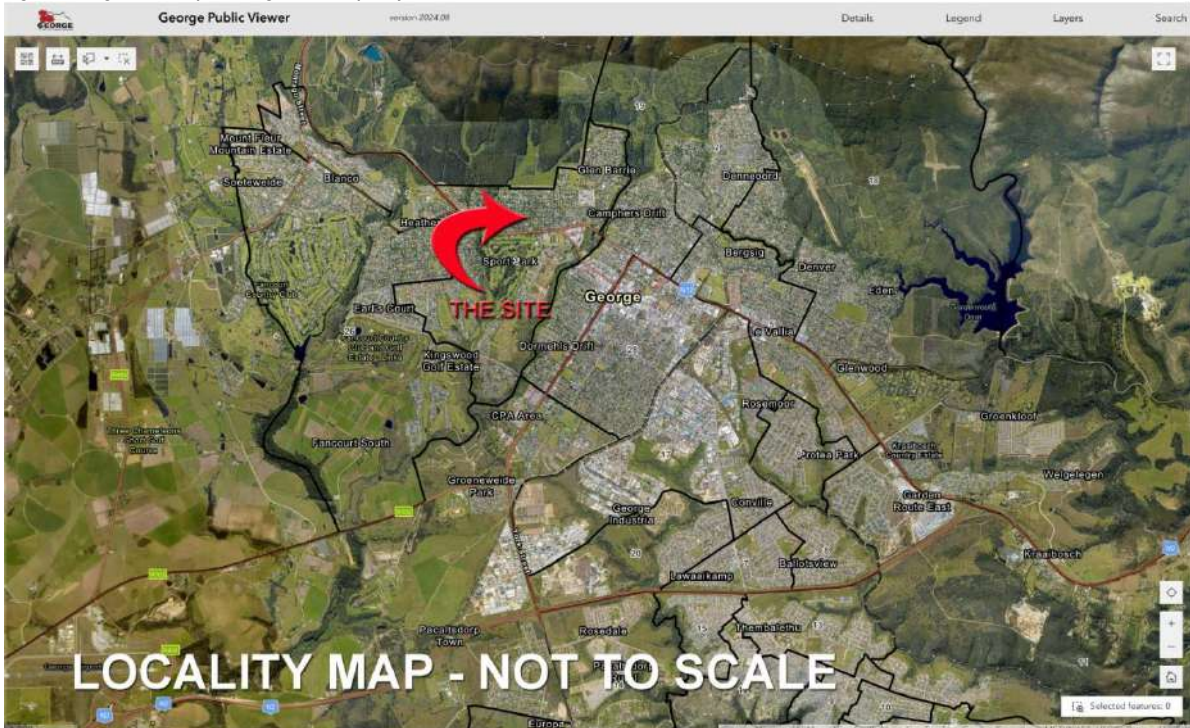


Fig-02: Locality Map - George.

PHYSICAL ADDRESS: 'FOREVER VIEW', PORTION 47 OF FARM UITZICHT 216, PRES C.R. SWART DRIVE, BRENTON, KNYSNA,
POSTAL ADDRESS: 'CARISBROOKE, 26 NEWTON STREET, KNYSNA, 6571, TEL:+27 44 381 0219, E-MAIL: andre@architectsetc.com, WEBSITE:www.architectsetc.com
MEMBERS: ANDRÉ VERCUEIL, B.BUILD.(UPE), B.ARCH.(PRET), ARCH.(SA), PR.ARCH, ACCREDITED MEMBER OF THE ASSOCIATION OF PROFESSIONAL HERITAGE PRACTITIONERS WESTERN CAPE
Member of the South African Council for the Architectural Profession (SACAP) Reg. No. 3754 - Professional Architect

1.3 SG Diagram and Timeline

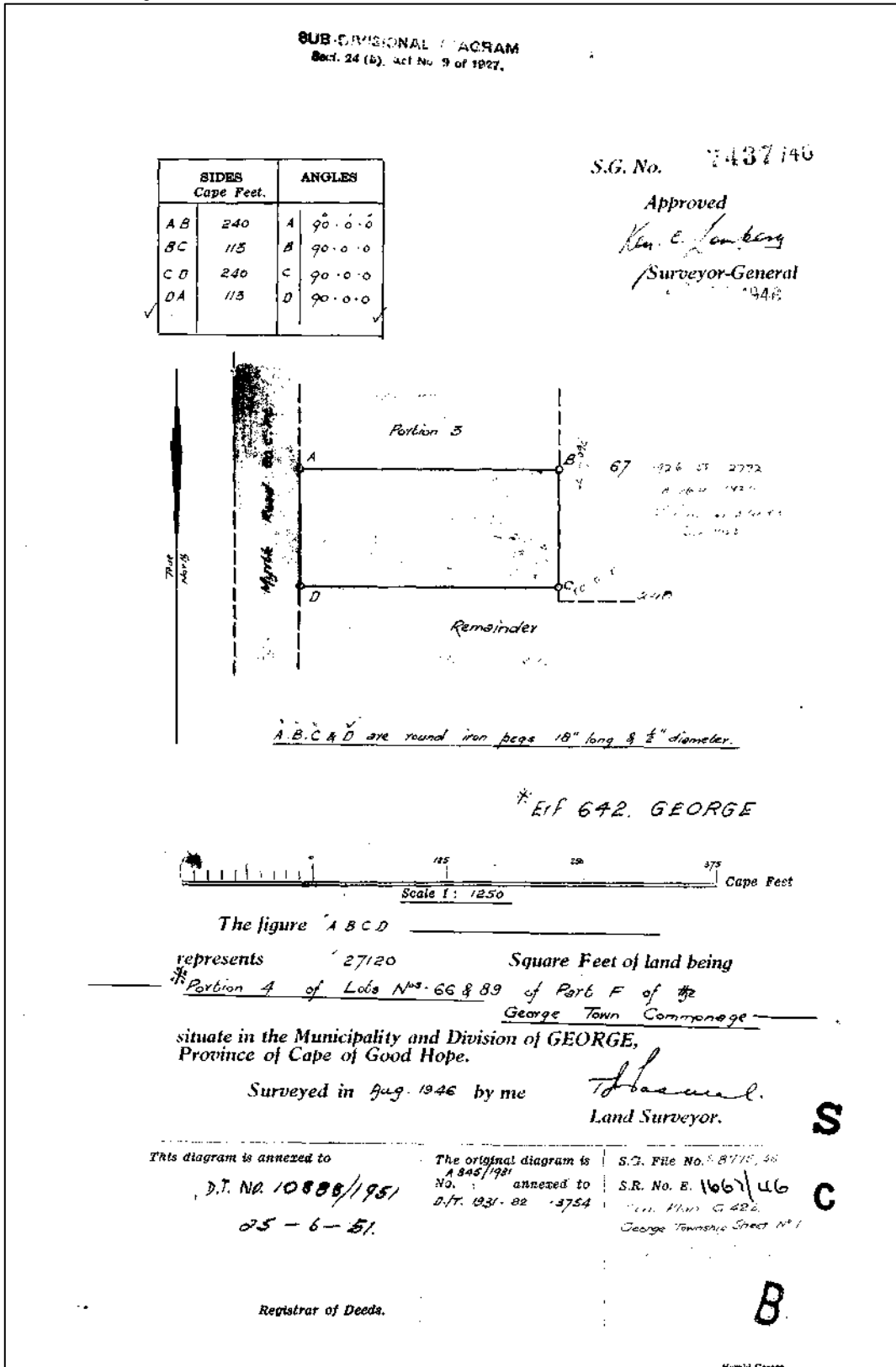


Fig-03: SG Diagram – George Public Viewer Map

The current owners acquired the site on 29 January 2023 from a deceased estate. The existing house on the stand was already (at the time of the purchase) in a very poor state of repair, dating from 13/08/1963 (approved plan at George Municipality). Please see Fig 04 inserted below:

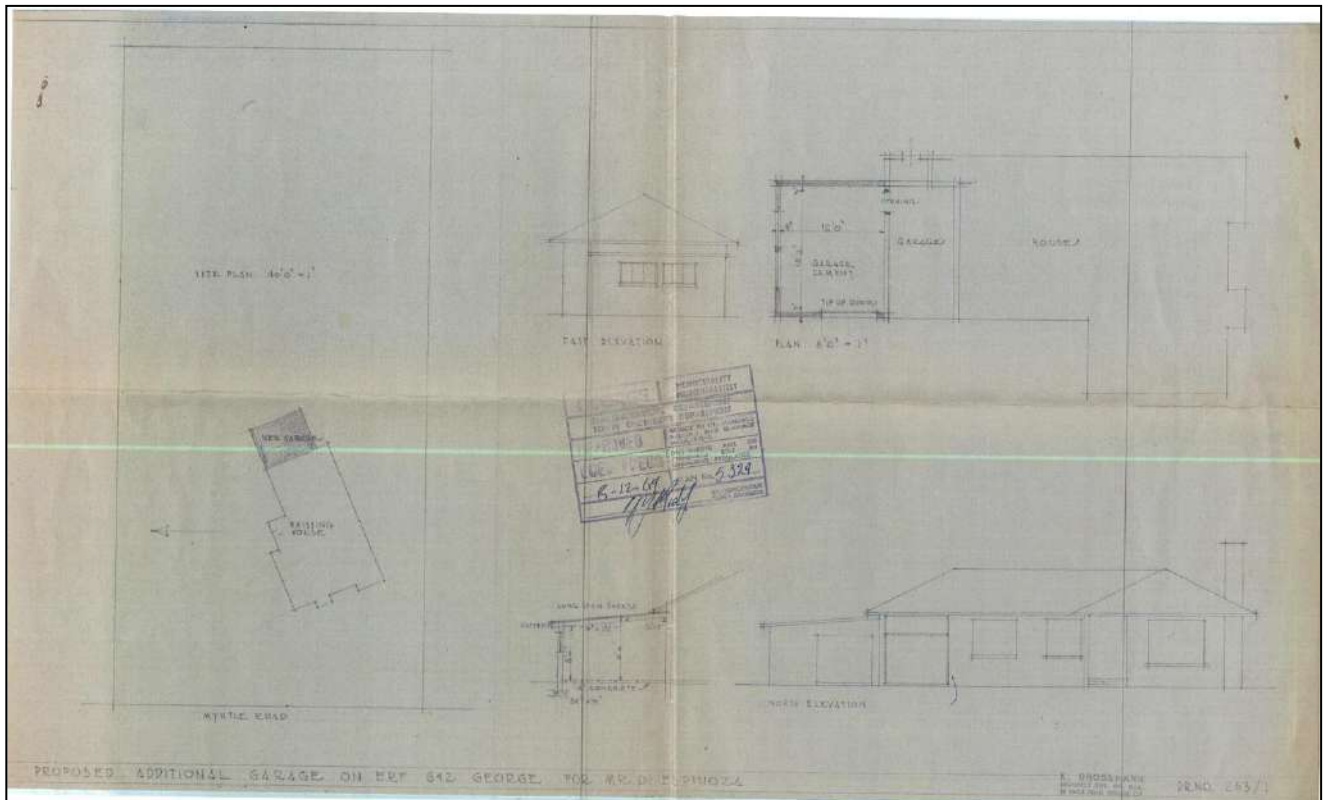
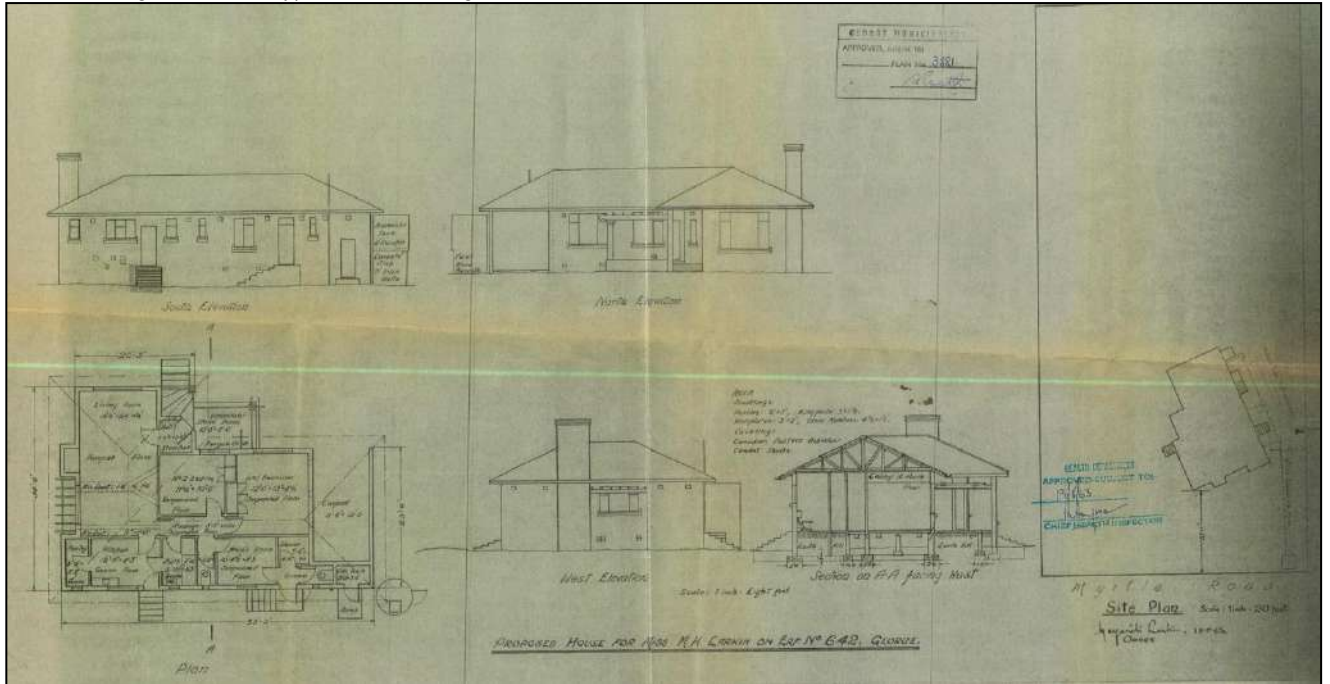


Fig-04: Approved Plans at George Municipality

An application was submitted to George Municipality for the proposed demolition of the existing house. See Fig 05 inserted below:

MUNISIPALITEIT GEORGE MUNICIPALITY

AANSOEK OM SLOPING / OMSKEPPING VAN 'N WOONEENHEID
APPLICATION TO DEMOLISH / CONVERT A DWELLING UNIT

* Skrap wat nie van toepassing is nie / Delete which is not applicable.

DOEL VAN BEOOGDE : SLOPING / OMSKEPPING
PURPOSE OF PROSED : DEMOLITION / CONVERSION

EIENAAR/OWNER True Stearn Holdings Pty Ltd.
ADRES/ADDRESS 083 457 2033
TEL NO 083 457 2033

EIENDOM/PROPERTY 642 ERFNOMMER / ERF NUMBER
STRAATADRES/STREET ADDRESS 10 Myrtle Rd
DORPSGEBIED/TOWNSHIP Heatherlands

KONSTRUKSIE/CONSTRUCTION

DAK <u>yes</u>	MURE <u>yes</u>	VLOERE <u>yes</u>	PLAFON <u>yes</u>
ROOF	WALLS	FLOORS	CEILING

AARD VAN AKKOMODASIE WOONHUIS WOONSTEL
NATURE OF ACCOMODATION DWELLING FLAT

Aantal Slaapkamers / Bedrooms	<u>3</u>	
Sitkamer / Lounge	<u>1</u>	
Eetkamer / Dining Room	<u>1</u>	
Kombuis / Kitchen	<u>1</u>	
Studeerkamer / Study	<u>1/2</u>	
Badkamer / Bathroom	<u>1</u>	
Waskamer / Laundry	<u>1</u>	
Stoorkamer / Storeroom	<u>1</u>	
Bediendekamer / Servant's Room	<u>1</u>	

GEOKKUPPEER DEUR * EIENAAR / HUURDER / VAKANT SEDERT april 2023
OCCUPIED BY * OWNER / TENANT / VACANT SINCE

HUURDER : * HET UIT EIE BEWEGING ONTRUIM / NA KENNISGEWING ONTRUIM/ IS
ANDER AKKOMODASIE AANGEBIED
TENANT : * VACATED ON OWN ACCORDS / VACATED AFTER NOTICE TO DO SO / HAS
BEEN OFFERED OTHER ACCOMODATION

MAANDELIKSE HUURGELD VIR 1. HUIDIGE WONING
MONTHLY RENTAL FOR PRESENT DWELLING —

2. AANGEBODE AKKOMODASIE
ACCOMMODATION OFFERED —

HANDTEKENING VAN EIENAAR / SIGNATURE OF OWNER : [Signature]
DATUM / DATE: 7/2/2024

vegcity@gmail.com

Fig-05: Application to Demolish

The application to demolish was granted by George Municipality on 27/02/2024. Please see Fig 06 inserted below:



M F Toyer
Manager: Building Control
Human Settlements, Planning and Development
E-mail: ftoyer@george.gov.za
Tel: +27 (0)44 8019176

Reference number: 642
Date: 27/02/2024

Enquiries:
044 8019166

TRUE STORY HOLDINGS PTY LTD
10 Myrtle Road
GEORGE
6529

vegcity@gmail.com

PERMISSION FOR DEMOLITION OF STRUCTURE/S ON ERF 642, MYRTLE ROAD GEORGE

With reference to your application, dated 27/02/2024 for a demolition certificate, permission is granted in terms of Regulations F1 of the National Building Regulations and Building Standards Act No. 103 of 1977 for the demolition of existing structures as indicated as per the site and locality plan received.

The demolition permit is valid for 12 months (1 year) from the date issued.

Permission is hereby granted for demolition of existing structures subject to the following conditions:

- 1.1 A separate demolition application must be made for the structure older than 60 years.
- 1.2 Regulation F1 (4) all operations regard to the demolition work to be within the boundaries of the property and shall not encroach upon or over any street or public place.
- 1.3 Regulation F1 (5) all required measures for the purpose of safeguard the interest of the general public shall be observed.
- 1.4 Regulation F2 Special care to be taken in order not to damage Council property.
- 1.5 Separate application to be made to the department of the Civil Engineer prior to the erection of any hoarding.
- 1.6 The necessary arrangements must be made with the department Civil Engineering Services regarding the cutting of the water – and sewer connections to the property.
- 1.7 The necessary arrangements must be made with the department Electrical Services regarding the cutting of the electrical connections to the property.
- 1.8 Dust must be controlled in accordance with the requirements of the National Building Regulations and Building Standards Act.
- 1.9 Where the presence of asbestos, a contractor shall ensure that all asbestos related work is conducted in accordance with the provisions of the Asbestos Regulations promulgated by Government Notice No. R. 155 of 10 February 2002 as amended.
- 1.10 The owner / contractor shall appoint a competent person in writing to supervise and control all demolition work on site in terms of section 43 of the Occupational Health and Safety Act, 1993 (Act No. 85 of 1993).

Please notify this department of completion of the work in order that the property records can be amended accordingly.

71 York Street, George | PO Box 19, George, 6530 | 044 801 9111 | www.george.gov.za



A demolition Certificate is to be applied for on completion of demolition of the structures and the site is clear of all material.

Yours truly

MOGAMAT FICKERIE TOYER
MANAGER: BUILDING CONTROL

Fig-06: Approval Letter to Demolish

The proposed demolition was not carried out at the time of the permission for demolition but this demolition certificate is still valid until 27/02/2025. However the house has subsequently just exceeded the 60 year threshold. The Town Planner has subsequently advised our client that a permit application to Heritage Western Cape (HWC) would now be required for this proposed demolition.

In the mean time our client applied for the building of a second dwelling on the property on the 17/04/2024, Fig 07 inserted below:

GEORGE MUNICIPALITY - APPLICATION FOR BUILDING PERMIT

FOR OFFICE USE ONLY

Plan no Date received:

OCCUPATION CERTIFICATE DATE ISSUED:

OWNER

Name FORE STAY HOLDINGS (PTY) LTD Erf no. 642

Postal address 10 MYRTLE ROAD, HEATHERLANDS, GEORGE

Street Township

Telephone (h)/(w) 083 457 20 33 (c) E-mail vegcity@gmail.com

Signature [Signature] Date 17/04/2024

REGISTERED ARCHITECT/DRAUGHTSMAN S A C A P N O 4101

Name ROHAN MARCEL VILJOEN

Address 10 SUGARBUSH CLOSE, FANOURT, GEORGE Signature [Signature]

Telephone (w) (c) 0828264426 E-mail rohan.viljoen@vodanail.co.za

THE FOLLOWING INFORMATION IS REQUIRED FOR ALL PLANS SUBMITTED AND MUST BE COMPLETED BY THE REGISTERED PROFESSIONAL PERSON SUBMITTING THE APPLICATION:

INDICATE WITH A CROSS WHERE APPLICABLE:

1. Application form for building permit	<input type="checkbox"/> COMPULSORY
2. Architectural Compliance Certificate (SACAP)	<input type="checkbox"/> COMPULSORY
3. Engineer's Appointment form (if applicable)	<input type="checkbox"/> Yes <input type="checkbox"/> No
4. SANS 10400 Forms	<input type="checkbox"/> COMPULSORY
5. Copy of Title Deed	<input type="checkbox"/> COMPULSORY
6. Erf diagram	<input type="checkbox"/> COMPULSORY
7. Home Owner's Association approval (if applicable)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
8. Proposed building development does not require a building line relaxation in terms of the applicable zoning scheme	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
9. Letter of approval of building line relaxation of the proposed building development included	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
10. Approval letter of second dwelling, if applicable	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

THE ABOVE NO'S 1-9, IF APPLICABLE, HAVE TO BE INCLUDED WITH SUBMISSION OF PLANS

11. Are there any buildings or parts of buildings on the site that need to be demolished?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
12. Indicate if the building that needs to be altered or extended is older than 60 years?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
13. Are there any conservation-worthy buildings / graves / rock engravings / archaeological finds / heritage significant structures on the property including those that have not been declared national monuments?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
14. Are there any indigenous or mature trees on or in the immediate vicinity of the property / in the road reserve abutting the property that may need to be removed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
15. All infrastructure services, lamp posts/telephone posts, fire hydrants, electrical DB's, stormwater pipes and street catchpits, etc. are indicated on erf, sidewalks and adjacent properties where needed.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
16. All servitudes or right of way are indicated on site plan.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
17. Are there any conditions in the title deed(s) in respect of the land unit(s), which may have an effect on this application.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
18. Is any portion of the land unit situated in a flood-plain of a river under the 1 in 50 year flood-line or subject to any floods?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Fig-07: Application for a second dwelling

A Pre-Application Consultation Meeting with George Municipality was held on 10/07/2024 and signed on 16/07/2024. (Please see Annexure G for a copy of the minutes). The following issues were raised:

- a) The Application and Advertising fees were payable.
- b) If the Municipal Integrated Development Plan (IDP)/Spatial Development Framework (SDF) and/or any other Municipal policies/guidelines are applicable, compliance with these are to be motivated and are to be in line with the requirements.
- c) Any restrictive conditions in the application will need to be identified and a conveyance certificate would be required to confirm.
- d) The Zoning Scheme Regulations applicable to the site are to be identified.
- e) A Zoning Certificate is to be submitted (Single Residential Zone 1)
- f) The proposed Zoning is – General Residential Zone II
- g) Confirmation that the proposal is in line with the Provincial Spatial Development Framework (PSDF) and/or any other Provincial bylaws/policies/guidelines/documents
- h) The infrastructure services for Electricity, Water, Sewerage, etc. need to be determined.
- i) Copies of the proposed development have been attached to the application.

The following issues were extracted from Appendix G for attention: Town Planning

- The applicant to take note of the comments as provided on pre-application report dated 31 May 2023 which the comments were as follows:
- It was advised that the applicant motivates the application in terms of the required statutory legislation (George MSDF 2023, SPLUMA etc.).
- The proposed development may have a visual impact, therefore impacting on the character of the surrounding environment. The applicant needs to motivate mitigation measures in this regard. The sense of place for the residential neighbourhood should not be negatively impacted by the proposed development
- Applicant to provide a list of tree species that are currently located on the site and indicate which trees will be retained and which will be removed
- According to the applicant, the existing dwelling house on the site is 58 years old. In this regard, a Notice of Intent to Develop should be submitted to Heritage Western Cape, for comments. (It was later established through HWC that a Section 34 Permit Application is required and not a NID)
- A subdivision plan and site layout plan must be submitted with the application, clearly indicating the extent of the proposed land uses, parking, access, property boundaries, building lines etc.
- **Access:** Restricted to Myrtle Road. Sufficient stacking distance should be provided (minimum of 6,0 meters).
Internal road to be transfer to a HOA/BC which will be responsible for the maintenance of the road and associated stormwater
- **Stormwater:** Existing stormwater to be maintained, as same manages stormwater from Erica Road
- The appointed Civil Engineer must evaluate and confirm services capacity. Any upgrades required, because of the development, will be for the cost of the developer. Should it be required, a servitude should be registered over the existing stormwater line on the site
- **Water & Sewer:** Internal services to be installed by the developer at his cost
- **DC:** Normal DC's will be applicable
- **Trees:** Note that should a forestry license be required, the developer to take note of the application process and timeline

The application was granted by George Municipality with the provision that the existing house be demolished. Please see the application Fig 08 inserted below:



BUILDING APPLICATION APPROVAL

ERF: 642 PLAN NO: 605/24 STREET: Myrtle Road

Heatherlands

Your building plan was approved on 2024-06-12, in accordance with Section 7(1)(a) and (b) of the National Building Regulations & Building Standards Act, 1977 (Act 103/1977) and any other applicable legislation subject to the following conditions:

The following relevant requirements has been scrutinized and or approved	
COMMENTS FROM INTERNAL DEPARTMENTS	
Fire Protection Services	Yes, Approved
Health Services	
Town Planning (title conditions)	Plan aligns with zoning scheme requirements; In order, recommended for final approval.
Civil and Technical Services Sewer	Sewer connection approve
Capital Contributions	<ul style="list-style-type: none"> • Development charges(CES): In order (Existing res. property) (03/06/2024) • Stormwater (CES): The owner must take note that according to the National Building Regulations Part R and SANS 10400 Part F4(2), and the applicable clauses in the George Municipality's By-Law, the owner may not change/amend or cause surface runoff on the erf to collect/pond/dischage, and which may potentially cause damage to or unduly inconvenience a neighbouring property. Specific reference is made to the George Municipality By-Law Relating to Stormwater, clauses 26.2 and 32 to 35 relating to stormwater between two adjoining properties. (03/06/2024)
Facilities for Disable Persons	
Environment Aspects (Trees)	Yes, Approved
Aesthetics Committee	

Heritage Western Cape	
Building Control	
Final Outcome (conditions of approval)	<p>Pool backwash to comply with part P section 4.10.2.</p> <p>Pool backwash to comply with the GM water and sanitation bylaw section 100(4)(b) and (c).</p> <p>Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).</p> <p>Drainage installation to comply with SANS 10400 Part P.</p> <p>Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4).</p> <p>Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2).</p> <p>Discharge pipes located within a building to be enclosed within a duct and to be of a shape and size readily accessed for cleaning in terms of SANS 10400 Part P, 4.18.2.</p> <p>No structure or any portion thereof to encroach the property boundary.</p>

THE APPROVAL HEREBY GRANTED EXPIRES AFTER 12 MONTHS OF DATE OF APPROVAL UNLESS ERECTION OF THE BUILDING IS COMMENCED WITHIN THE SAID PERIOD, OR UNLESS THE SAID PERIOD IS EXTENDED AT THE REQUEST IN WRITING OF THE APPLICANT AND THROUGH A WRITTEN APPROVAL BY THE MUNICIPALITY.

SWIMMING POOL ACCESS AND SAFETY TO COMPLY WITH PART DD4 OF THE NATIONAL BUILDING REGULATIONS.

ANY TIMBER STRUCTURE IS TO BE ERECTED IN ACCORDANCE WITH SABS 082 (CODE OF PRACTICE).

NO PERSON SHALL REMOVE OR PRUNE ANY TREE WITHIN A MUNICIPAL ROAD RESERVE WITHOUT THE PRIOR PERMISSION, IN WRITING BEING OBTAINED FROM THE MUNICIPALITY.



2024-06-12

.....
MOGAMAT FICKERIE TOYER
MANAGER: BUILDING CONTROL

Fig-08: Approval for the erection of a Second Dwelling.

Construction of the second house on the property (which will become the first of 5 group housing units on the property), is scheduled to be completed in December 2024. The property is subsequently to be re-zoned to Group Housing 1, and then subdivided into 5 portions.

This Section 34 Permit Application is for the proposed demolition of the existing house on the property, which is now just older than 60 years and protected in terms of the National Heritage Resources Act, Act 25 of 1999.

The proposal is to demolish the existing house on ERF 642 George, to make way for a future group housing scheme of 5 units in total. Group Housing fits into the parameters of the Densification Zone of Heatherlands, identified by George Municipality. A higher density housing typology would therefore be supported in this area.

1.4 Zoning

The zoning at the time of the application was Single Residential Zone 1

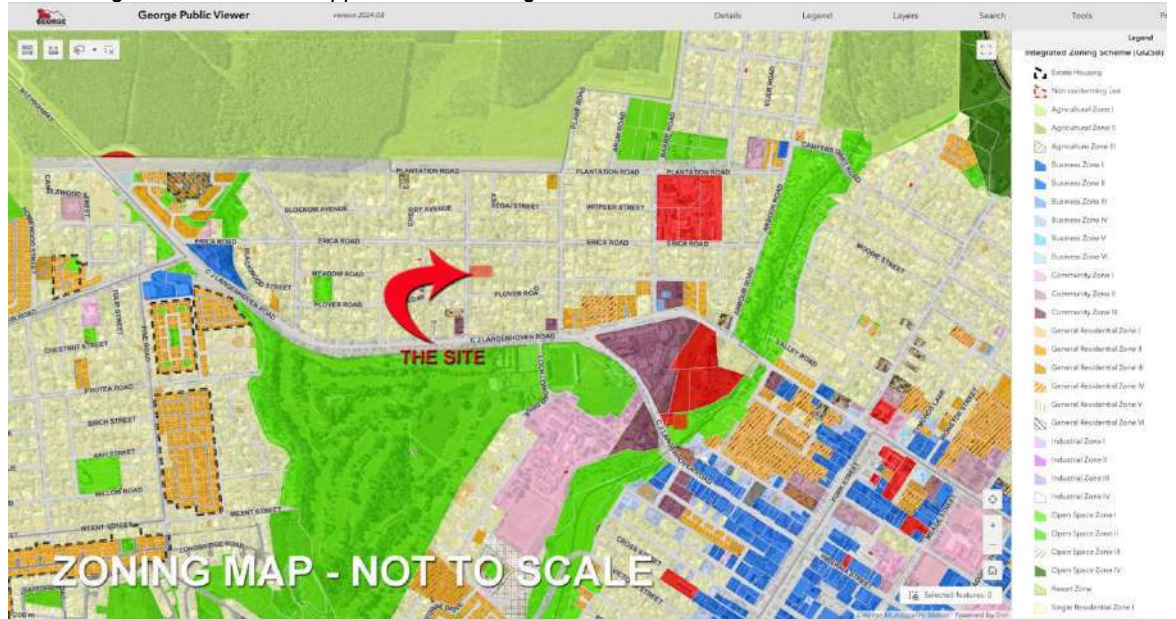


Fig-09: Zoning Maps – George Public Viewer Map.

The proposed Zoning is General Residential Zone II

1.5 **Site Details**

Property Information	
SG 21 Digit Code	C02700020000064200000
Property Type	ERF
Property Description	642
Valuation	R2240000
Area (m ²)	2689.27
Area (ha)	0.27
Allotment	GEORGE
Ward Number	3
Town	GEORGE
Address	Street Number: 10 Street Name: MYRTLE

Zoning Information	
Zoning	Single Residential Zone I
Zoning Code	SRZI
Primary Use	Dwelling house

Additional Information	
Google Maps	View
HERE (Address)	View
Search Deed	View

Fig-10: Site Details ERF 642 George – George Public Viewer Map.

1.6 **Heritage Resources:**

There are a few existing dwelling houses in the area that may be older than 60 years, but short from doing a detailed investigation, it would be very difficult to identify those. There are a few which could be identified:

1.6.1 ERF 642, Heatherlands, George – The site in this application.



Photo 1: See the Streetscape Reference Key Map on Page 36

1.6.2 ERF 7190, Heatherlands, George



Photo 36: See the Streetscape Reference Key Map on Page 36

This house appears to be older than 60 years.

ERF 7190 | GEORGE 📄 ^ ✕

🔍 Zoom to

Property Information

SG 21 Digit Code	C02700020000719000000
Property Type	ERF
Property Description	7190
Valuation	R2590000
Area (m ²)	1839.84
Area (ha)	0.18
Allotment	GEORGE
Ward Number	3
Town	GEORGE
Address	Street Number: 54 Street Name: C J LANGENHOVEN

Zoning Information

Zoning	Single Residential Zone I
Zoning Code	SRZI
Primary Use	Dwelling house

Additional Information

Google Maps	View
HERE (Address)	View
Search Deed	View

Fig-11: Site Details ERF 7190, Heatherlands, George – George Public Viewer Map.

1.6.3 ERF 26122, Heatherlands, George – Davidson House.



Photo 37: See the Streetscape Reference Key Map on Page 36
This building appears to be older than 60 years. (Business Zone III). It has little resemblance of the original house.

ERF 26122 GEORGE	
Zoom to	
Property Information	
SG 21 Digit Code	C02700020002612200000
Property Type	ERF
Property Description	26122
Valuation	R6010000
Area (m ²)	9070.83
Area (ha)	0.91
Allotment	GEORGE
Ward Number	3
Town	GEORGE
Address	No Address to show
Zoning Information	
Zoning	Community Zone III Business Zone III Business Zone III
Zoning Code	CZIII BZIII BZIII
Primary Use	Institution Neighbourhood shop Neighbourhood shop
Additional Information	

Fig-12: Site Details ERF 26122, Heatherlands, George – George Public Viewer Map.

1.6.4 ERF 3323, Heatherlands, George.



Photo 38: See the Streetscape Reference Key Map on Page 36
This building appears to be older than 60 years. (General Residential Zone IV)

ERF 3323 GEORGE	
Zoom to	
Property Information	
SG 21 Digit Code	C02700020000332300000
Property Type	ERF
Property Description	3323
Valuation	R11190000
Area (m ²)	5648.23
Area (ha)	0.56
Allotment	GEORGE
Ward Number	3
Town	GEORGE
Address	No Address to show
Zoning Information	
Zoning	No Zoning Data to show
Zoning Code	No Zoning Data to show
Primary Use	No Land Use Data to show
Additional Information	
Google Maps	View
HERE (Address)	View
Search Deed	View

Fig-13: Site Details ERF 26122, Heatherlands, George – George Public Viewer Map.

PHYSICAL ADDRESS: 'FOREVER VIEW', PORTION 47 OF FARM UITZICHT 216, PRES C.R. SWART DRIVE, BRENTON, KNYSNA,
POSTAL ADDRESS: 'CARISBROOKE, 26 NEWTON STREET, KNYSNA, 6571, TEL:+27 44 381 0219, E-MAIL: andre@architectsetc.com, WEBSITE:www.architectsetc.com

MEMBERS: ANDRÉ VERCUÉIL, B.BUILD.(UPE), B.ARCH.(PRET), ARCH.(SA), PR.ARCH, ACCREDITED MEMBER OF THE ASSOCIATION OF PROFESSIONAL HERITAGE PRACTITIONERS WESTERN CAPE
Member of the South African Council for the Architectural Profession (SACAP) Reg. No. 3754 - Professional Architect

1.6.5 ERF 176, Heatherlands, George.



Photo 40: See the Streetscape Reference Key Map on Page 36
This building appears to be older than 60 years. The George Police Woman's Collage (Utility Zone)

ERF 176 GEORGE	
Zoom to	
Property Information	
SG 21 Digit Code	C02700020000017600000
Property Type	ERF
Property Description	176
Valuation	R45000000
Area (m ²)	8558.12
Area (ha)	0.86
Allotment	GEORGE
Ward Number	3
Town	GEORGE
Address	No Address to show
Zoning Information	
Zoning	Utility Zone
Zoning Code	TUZIV
Primary Use	Utility service
Additional Information	
Google Maps	View
HERE (Address)	View
Search Deed	View

Fig-14: Site Details ERF 176, Heatherlands, George – George Public Viewer Map.

1.6.6 ERF 20955, George.



Photo 39: See the Streetscape Reference Key Map on Page 36 - The ICT Training Centre 1861. Provincial Heritage Site.

ERF 20955 | GEORGE 📄 ^ ✕

🔍 Zoom to

Property Information

SG 21 Digit Code	C02700020002095500000
Property Type	ERF
Property Description	20955
Valuation	R3000000
Area (m ²)	16410.08
Area (ha)	1.64
Allotment	GEORGE
Ward Number	3
Town	GEORGE
Address	No Address to show

Zoning Information

Zoning	Community Zone III
Zoning Code	CZIII
Primary Use	Institution

Additional Information

Google Maps	View
HERE (Address)	View
Search Deed	View

Fig-15: Site Details ERF 20955, George – George Public Viewer Map.

1.6.7 ERF 9356, George.



Photo 41(From Die Bult Facebook Page): See the Streetscape Reference Key Map on Page 36 - 'Die Bult' High School Founded 01 December 1912 – Provincial Heritage Site.

ERF 9356 | GEORGE

Zoom to

Property Information

SG 21 Digit Code	C02700020000935600000
Property Type	ERF
Property Description	9356
Valuation	R56050000
Area (m ²)	124251.66
Area (ha)	12.43
Allotment	GEORGE
Ward Number	3
Town	GEORGE
Address	Street Number: 3 Street Name: LOCH LOMONDY Street Number: 9 Street Name: LOCH LOMONDY Street Number: 11 Street Name: LOCH LOMONDY Street Number: 13 Street Name: LOCH LOMONDY Street Number: 15 Street Name: LOCH LOMONDY Street Number: 17 Street Name: LOCH LOMONDY Street Number: 19 Street Name: LOCH LOMONDY Street Number: 21 Street Name: LOCH LOMONDY

Zoning Information

Fig-16: Site Details ERF 9356, George – George Public Viewer Map.

2. **TERMS OF REFERENCE**

The Application for the proposed demolition of the house on ERF 642, Heatherlands George triggers the requirement for the preparation of a Section 34 Permit Application to Heritage Western Cape (HWC).

The existing building on the property is deemed to be older than 60 years and therefore protected in terms of the National Heritage Resources Act, Act 25 of 1999.

In terms of the National Heritage Resources Act, Act 25 of 1999, a Section 34 application to alter or demolish any structure or part of a structure older than 60 years must be submitted to HWC for consideration.

3. **HERITAGE STATEMENT, by Monique Vercueil.**

From 1772 mostly Dutch settlers started in the area with a gradual influx of forest workers making a living in the timber industry. The Dutch East India Company established a timber outpost with its location thought to be near the Western end of York Street in 1776.

After 1795 when the British occupied the Cape, a caretaker of the forests along the Garden Route was appointed. George was a good choice for a settlement, as good quality water was in abundance. With the improvement of roads, communications, rail and coastal steamers the charms and resources of the area were exposed.

George was established as a town in 1811 and the first freeholds were granted in 1814 at which time the town grid was laid out. J.H. Voorman (Cape Town Archives), possibly assisted by van Kerwel was responsible for the basic layout. The Main Road running North-South namely York Street consisted of two parallel streets of approximately 60m wide with it fanning out to approximately 80m at the Northern end of York Street.

The 1812, 1819 & 1875 Petersen Diagrams 1-3 (Figs 17-19 below) indicate the formalizing of the town.

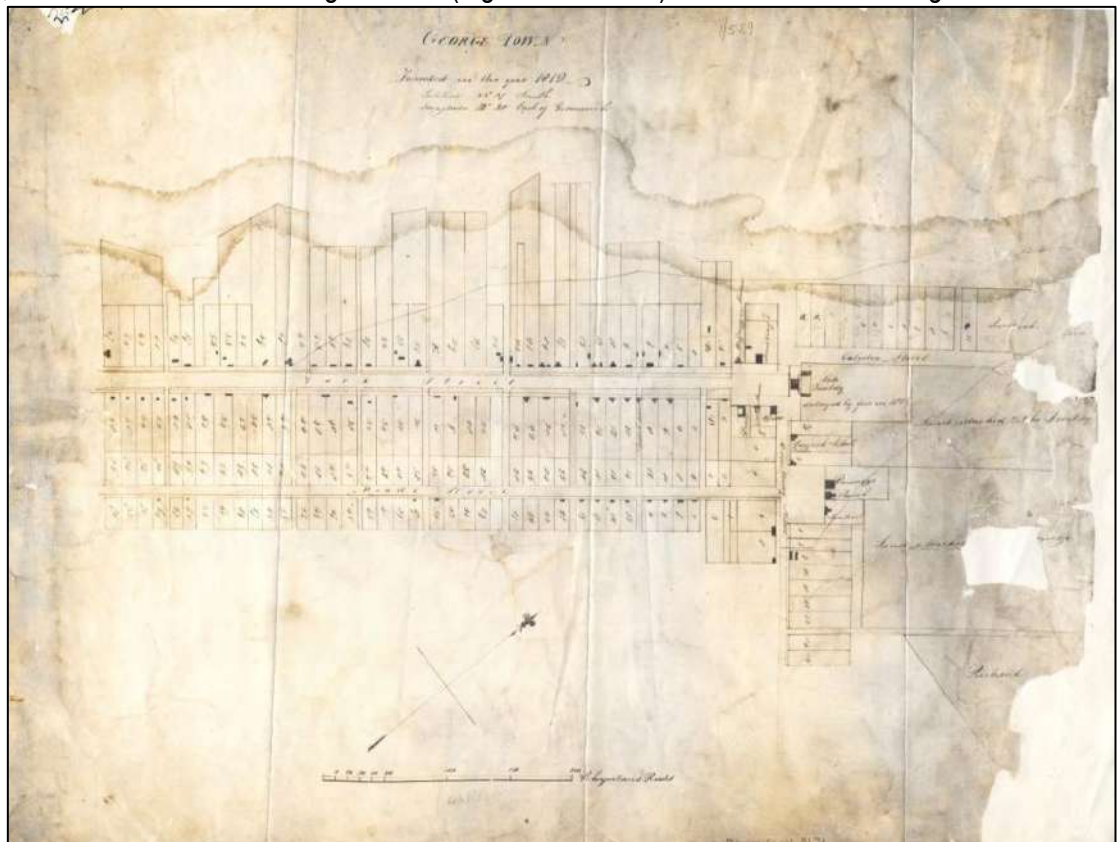


Fig-17 Petersen Diagram 1812

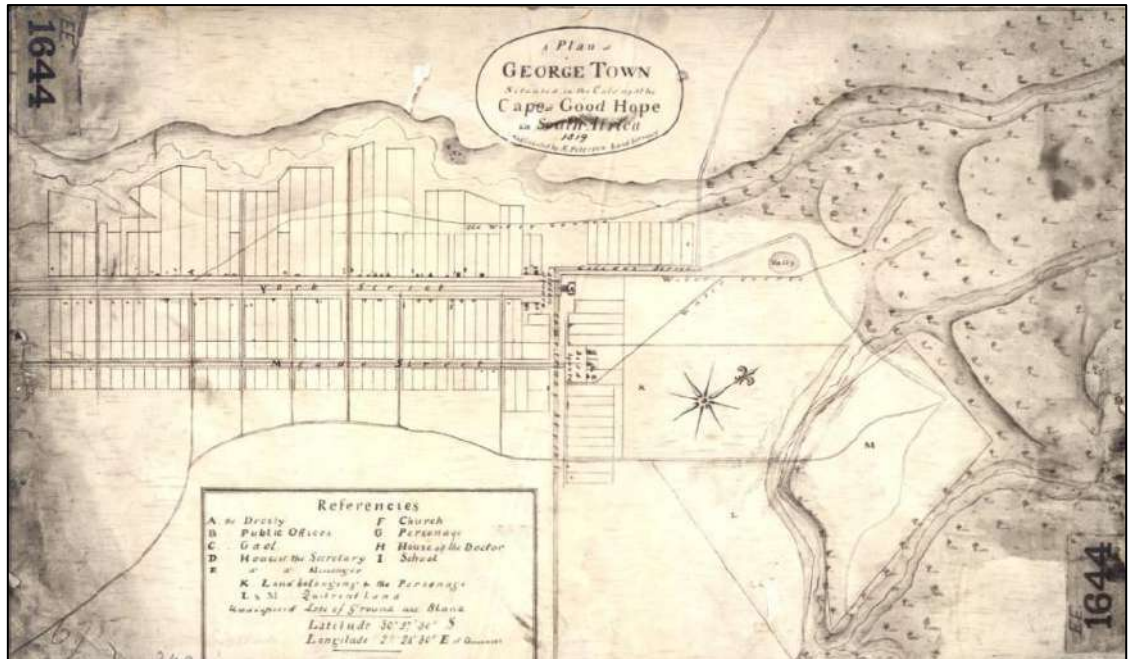


Fig-18 Petersen Diagram 1819



Fig-19 Petersen Diagram 1875

Egbertus Bergh, the Civil Commissioner of George (1837-1843), campaigned for a new road through and over the mountains. John Montagu, Colonial Secretary, continued with the idea and work on the Montagu Pass started in 1844 under H.O. Farrel as Superintendent and Henry Fancourt White as surveyor and Roads Inspector. Convicts were extensively used as labour. The Old Toll House was erected at the George side of the Montagu Pass in about 1847. The Toll keeper was John Kirk Smith and his son William took over from him in 1880. The Toll House is still a key structure on the North-Western side of George today.

The close vicinity of the Historic Montagu Pass between George and Oudtshoorn was visited by the world traveler Anthony Trollope, who visited George in 1878, commenting on the Montagu Pass as “equal to some of the mountain roads through the Pyrenees”. The pass later became a National Monument in 1972. The railway line through the mountains began in 1908, with several tunnels and historic bridges, completed in 1913.

PHYSICAL ADDRESS: 'FOREVER VIEW', PORTION 47 OF FARM UITZICHT 216, PRES C.R. SWART DRIVE, BRENTON, KNYSNA,
 POSTAL ADDRESS: 'CARISBROOKE, 26 NEWTON STREET, KNYSNA, 6571, TEL:+27 44 381 0219, E-MAIL: andre@architectsetc.com, WEBSITE:www.architectsetc.com

MEMBERS: ANDRÉ VERCUEIL, B.BUILD.(UPE), B.ARCH.(PRET), ARCH.(SA), PR.ARCH, ACCREDITED MEMBER OF THE ASSOCIATION OF PROFESSIONAL HERITAGE PRACTITIONERS WESTERN CAPE
 Member of the South African Council for the Architectural Profession (SACAP) Reg. No. 3754 - Professional Architect

Some other historic landmarks in George are The Drostdy (1812), The Pata Huisie (1813), The Dutch Reformed Church (1832), the St Peter & St Paul Catholic Church (1841), the Town House Restaurant (1847), the Blanco House – re-named to the House Fancourt (1859), the Hurteria School for girls (1877), the Town Hall (1911), the Civic Centre (1964).

4. **PHOTO REPORT (The house to be demolished)**

4.1 Outside



Photo A - The North-Western View



Photo B - The North Elevation.



Photo C- The North-Eastern View



Photo D- Front Door



Photo E - Eastern Elevation



Photo F - The Southern – Eastern View



Photo G - The South-Western View



Photo H – The Western View

4.2 Inside



Photo I - The Entrance Foyer



Photo J - The Lounge



Photo K- The Kitchen.



Photo L - The Pantry



Photo M- The passage



Photo N- Bedroom 2



Photo O – Bedroom 1



Photo P – Bathroom 1



Photo Q - WC



Photo R - Bathroom 2



Photo S – WC 2



Photo T – Garage



Photo U – Store Room

4.3 Second Dwelling in Construction



Photo V – Looking East towards the first of the 5 Group Housing Units (Currently 2nd Dwelling)



Photo W – Looking West from the 2nd dwelling towards the house to be demolished.



Photo X – Looking at the existing boundary fence along the northern side of the property. It is proposed that the fence be replaced with a new clearview fence.



Photo Y – The existing Clearview fence on the eastern boundary.



Photo Z – The existing Clearview fence on the eastern boundary.



Photo AA – The house on the Northern side of the property as seen from ERF 642.

5. **STREETSCAPE**
 5.1 Streetscape Key Map



Fig-20: Street View Key Map

PHYSICAL ADDRESS: 'FOREVER VIEW', PORTION 47 OF FARM UITZICHT 216, PRES C.R. SWART DRIVE, BRENTON, KNYSNA,
 POSTAL ADDRESS: 'CARISBROOKE', 26 NEWTON STREET, KNYSNA, 6571, TEL:+27 44 381 0219, E-MAIL: andre@architectsetc.com, WEBSITE:www.architectsetc.com

MEMBERS: ANDRÉ VERCUVEL, B.BUILD.(UPE), B.ARCH.(PRET), ARCH.(SA), PR.ARCH, ACCREDITED MEMBER OF THE ASSOCIATION OF PROFESSIONAL HERITAGE PRACTITIONERS WESTERN CAPE
 Member of the South African Council for the Architectural Profession (SACAP) Reg. No. 3754 - Professional Architect

5.2 Streetscape Photos



Photo 1 – ERF 642 The house to be demolished.



Photo 2 – ERF 5832



Photo 3– ERF 19514.



Photo 4- ERF 19522



Photo 5 – ERF 19521



Photo 6 – ERF 19520

PHYSICAL ADDRESS: 'FOREVER VIEW', PORTION 47 OF FARM UITZICHT 216, PRES C.R. SWART DRIVE, BRENTON, KNYSNA,
POSTAL ADDRESS: 'CARISBROOKE, 26 NEWTON STREET, KNYSNA, 6571, TEL:+27 44 381 0219, E-MAIL: andre@architectsetc.com, WEBSITE:www.architectsetc.com
MEMBERS: ANDRÉ VERCUÉIL, B.BUILD.(UPE), B.ARCH.(PRET), ARCH.(SA), PR.ARCH, ACCREDITED MEMBER OF THE ASSOCIATION OF PROFESSIONAL HERITAGE PRACTITIONERS WESTERN CAPE
Member of the South African Council for the Architectural Profession (SACAP) Reg. No. 3754 - Professional Architect



Photo 7 – ERF 19519



Photo 8 – ERF 3989



Photo 9 – ERF 3988

PHYSICAL ADDRESS: 'FOREVER VIEW', PORTION 47 OF FARM UITZICHT 216, PRES C.R. SWART DRIVE, BRENTON, KNYSNA,
POSTAL ADDRESS: 'CARISBROOKE, 26 NEWTON STREET, KNYSNA, 6571, TEL:+27 44 381 0219, E-MAIL: andre@architectsetc.com, WEBSITE:www.architectsetc.com
MEMBERS: ANDRÉ VERCUËIL, B.BUILD.(UPE), B.ARCH.(PRET), ARCH.(SA), PR.ARCH, ACCREDITED MEMBER OF THE ASSOCIATION OF PROFESSIONAL HERITAGE PRACTITIONERS WESTERN CAPE
Member of the South African Council for the Architectural Profession (SACAP) Reg. No. 3754 - Professional Architect



Photo 10 – ERF 3987



Photo 11- Looking North down Myrtle Road



Photo 12 – Looking South down Myrtle Road



Photo 13 – Looking West, with ERF 7195 on the right



Photo 14 – ERF 7195



Photo 15 – ERF 14780



Photo 16 – ERF 28649, the site was undeveloped on the George Public Viewer Map.



Photo 17 – ERF 26197



Photo 18 - Looking West down Erica Road



Photo 19 - Looking North-East from the corner of Erica & Myrtle Roads



Photo 20 – Looking South down Myrtle Road



Photo 21 - Looking North up Myrtle Road



Photo 22- Looking East at ERF 98



Photo 23 – Looking at ERF 6448



Photo 24 - Looking at ERF 96, which may also be older than 60 years.

PHYSICAL ADDRESS: 'FOREVER VIEW', PORTION 47 OF FARM UITZICHT 216, PRES C.R. SWART DRIVE, BRENTON, KNYSNA,
POSTAL ADDRESS: 'CARISBROOKE, 26 NEWTON STREET, KNYSNA, 6571, TEL:+27 44 381 0219, E-MAIL: andre@architectsetc.com, WEBSITE:www.architectsetc.com
MEMBERS: ANDRÉ VERCUEIL, B.BUILD.(UPE), B.ARCH.(PRET), ARCH.(SA), PR.ARCH, ACCREDITED MEMBER OF THE ASSOCIATION OF PROFESSIONAL HERITAGE PRACTITIONERS WESTERN CAPE
Member of the South African Council for the Architectural Profession (SACAP) Reg. No. 3754 - Professional Architect



Photo 25 - Looking at ERF 5832



Photo 26 - Looking at ERF 5833



Photo 27 – Looking at ERF 5834

PHYSICAL ADDRESS: 'FOREVER VIEW', PORTION 47 OF FARM UITZICHT 216, PRES C.R. SWART DRIVE, BRENTON, KNYSNA,
POSTAL ADDRESS: 'CARISBROOKE, 26 NEWTON STREET, KNYSNA, 6571, TEL:+27 44 381 0219, E-MAIL: andre@architectsetc.com, WEBSITE:www.architectsetc.com
MEMBERS: ANDRÉ VERCUEIL, B.BUILD.(UPE), B.ARCH.(PRET), ARCH.(SA), PR.ARCH, ACCREDITED MEMBER OF THE ASSOCIATION OF PROFESSIONAL HERITAGE PRACTITIONERS WESTERN CAPE
Member of the South African Council for the Architectural Profession (SACAP) Reg. No. 3754 - Professional Architect



Photo 28 – Looking at ERF 6334



Photo 29 - Looking at ERF 5829



Photo 30 - Looking at ERF 5830



Photo 31 - Looking at ERF 8575



Photo 32 - Looking at ERF 8574



Photo 33 - Looking at ERF 7189



Photo 34 - Looking at ERF 9539



Photo 35 - Looking at ERF 19515



Photo 36- Looking at ERF 7191 (Possibly older than 60 years)

PHYSICAL ADDRESS: 'FOREVER VIEW', PORTION 47 OF FARM UITZICHT 216, PRES C.R. SWART DRIVE, BRENTON, KNYSNA,
POSTAL ADDRESS: 'CARISBROOKE, 26 NEWTON STREET, KNYSNA, 6571, TEL:+27 44 381 0219, E-MAIL: andre@architectsetc.com, WEBSITE:www.architectsetc.com
MEMBERS: ANDRÉ VERCUEIL, B.BUILD.(UPE), B.ARCH.(PRET), ARCH.(SA), PR.ARCH, ACCREDITED MEMBER OF THE ASSOCIATION OF PROFESSIONAL HERITAGE PRACTITIONERS WESTERN CAPE
Member of the South African Council for the Architectural Profession (SACAP) Reg. No. 3754 - Professional Architect

6. **DETAIL OF THE ACTION PROPOSED**

- 6.1 The existing house on ERF 642, No 10 Myrtle Road, Heatherlands, George is to be demolished
- 6.2 A second dwelling on the site has been approved by George Municipality, provided that the existing building is to be demolished in terms of a previous approval for demolition by them.
- 6.3 The second dwelling is in construction and is planned to be completed in December 2024.
- 6.4 The second dwelling will be the first of 5 group housing units on the property. The re-zoning and subdivision of the property has been submitted to George Municipality for approval. The approval is still awaited.
- 6.5 The Urban Conservation area Guidelines.
George Municipality does not have an Urban Conservation Area and there is also no formal listing of historic buildings and associated gradings available.
- 6.6 Plans of the Approved Second Dwelling, which will be the first of 5 Identical Group Housing Units, the Site Development Plan, the Plans & the Elevations.

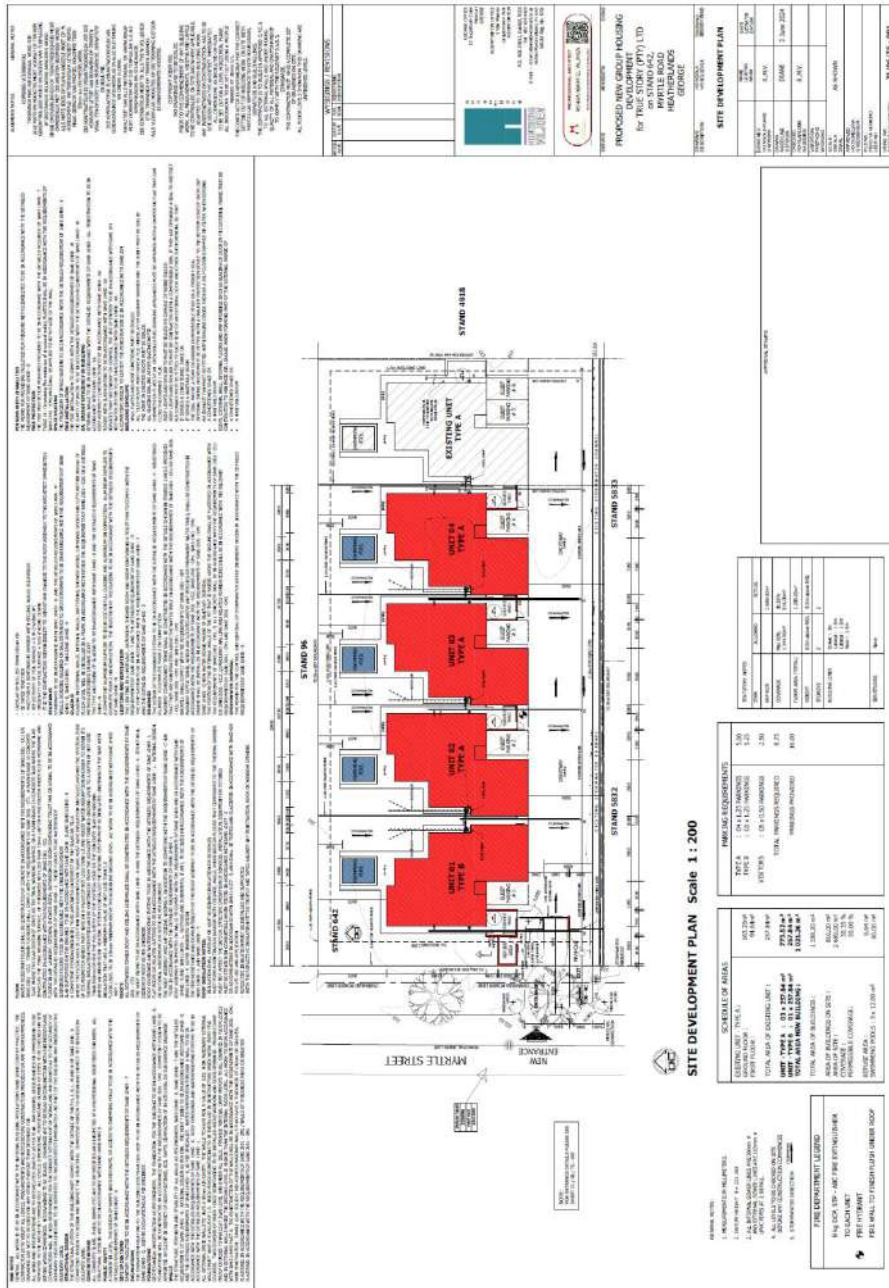


Fig-21: Site Development Plan (Please see Annexure F)

PHYSICAL ADDRESS: 'FOREVER VIEW', PORTION 47 OF FARM UITZICHT 216, PRES C.R. SWART DRIVE, BRENTON, KNYSNA,
 POSTAL ADDRESS: 'CARISBROOKE, 26 NEWTON STREET, KNYSNA, 6571, TEL:+27 44 381 0219, E-MAIL: andre@architectsetc.com, WEBSITE:www.architectsetc.com

MEMBERS: ANDRÉ VERGUEIL, B.BUILD.(UPE), B.ARCH.(PRET), ARCH.(SA), PR.ARCH, ACCREDITED MEMBER OF THE ASSOCIATION OF PROFESSIONAL HERITAGE PRACTITIONERS WESTERN CAPE
 Member of the South African Council for the Architectural Profession (SACAP) Reg. No. 3754 - Professional Architect



Fig-22: Landscape & Parking Plan (Please see Annexure F)

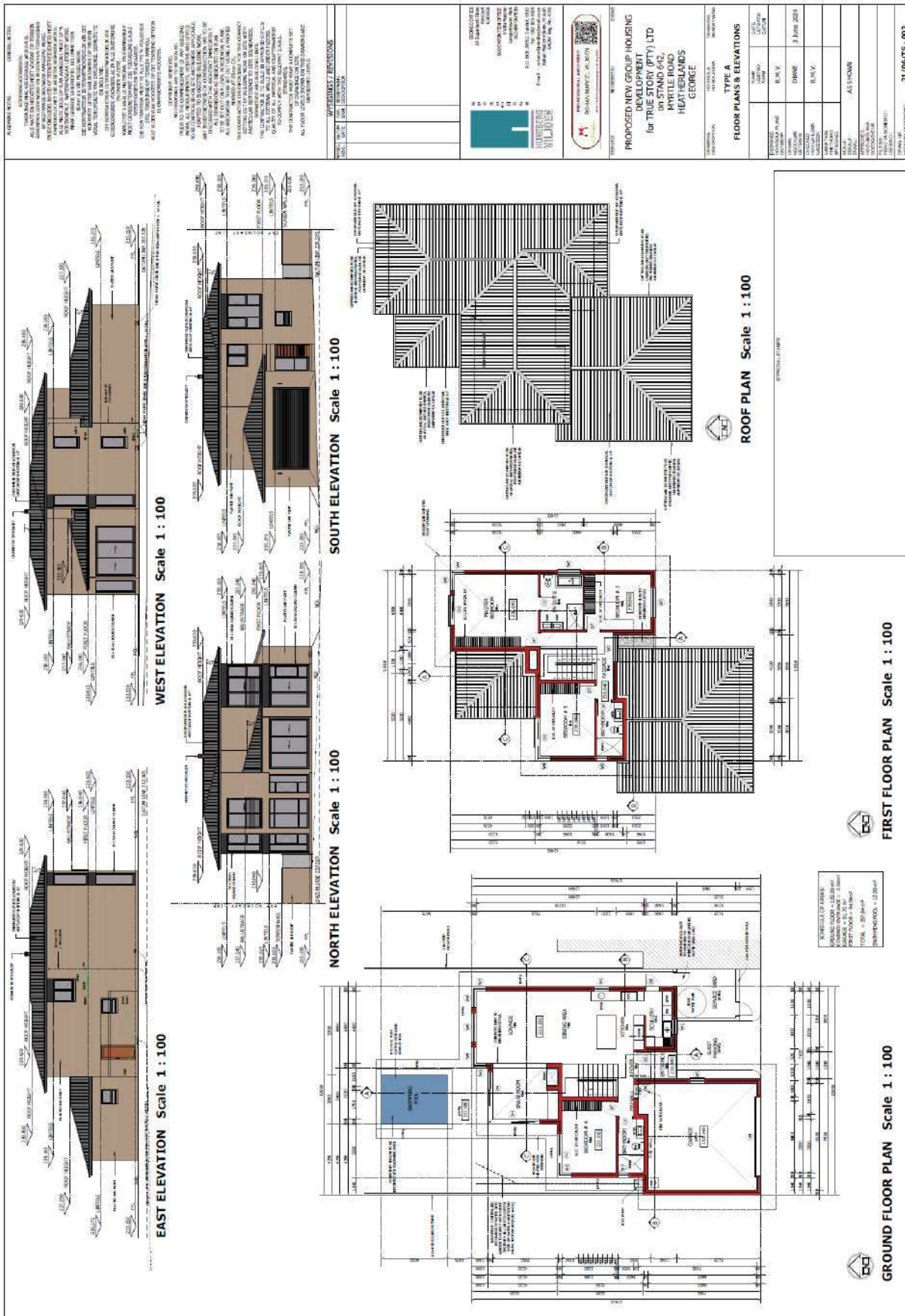


Fig-23: Floor Plans & Elevations (Please see Annexure F)

7. **MOTIVATION FOR THE PROPOSED ACTION.**

- 7.1 The existing house is in a poor state of disrepair.
- 7.2 The existing house has no architectural, aesthetic or heritage character or significance.
- 7.3 A demolition permit has already been considered and approved by George Municipality.
- 7.4 It would not be financially viable to renovate and modernize the existing house, as the layout does not conform to modern living standards.
- 7.5 Heatherlands has already been earmarked by George Municipality for densification, so a higher density group housing typology will fit into this category.
- 7.6 The erf is located within a relative close proximity to a "GoGeorge" bus route, providing high accessibility.
- 7.7 The rezoning and subdivision of this property to accommodate a group housing scheme is an appropriate proposal for this area, and also permissible in terms of the George Land Use Planning By-Law.
- 7.8 No heritage resources will be compromised with the proposed demolition and associated group housing development. There are no other heritage triggers affecting the proposal.
- 7.9 The property is sufficiently sized to not require any further building line relaxations or any other departures.
- 7.10 There are no restrictive conditions in the Title Deed to prevent demolition, rezoning and subdivision of the property.
- 7.11 The area already supports a mixture of zonings and uses, so the proposed use will match the existing typology.
- 7.12 The registered Heritage Bodies in the area will be consulted regarding this proposal, and their comments will be inserted into the final report.
- 7.13 There will be no negative visual impact on the surrounding area, as the architecture of the proposed development matches the suburban character of the area.
- 7.14 The trees on the pavement will not be affected from the proposed activities. The trees will also provide a visual filter towards the proposed activities.
- 7.15 The project engineers report confirmed that there are sufficient services available for the proposed development.
- 7.16 The proposed development will provide a welcome injection into the built environment and the local economy, providing temporary and permanent employment in the service industry.

8. **ANTICIPATED IMPACTS ON THE HERITAGE RESOURCES.**

The proposed demolition of the existing dilapidated house will be welcomed by the neighborhood. The Local Authority has been consulted in the planning process, and the proposal is done in accordance with the applicable by-laws. The George Heritage Trust and the Simon van der Stel Foundation will be approached for comment on the proposal.

No other heritage resources will be negatively impacted by the proposed actions, as they are not within the visual influence of this property at all.

9. **CONSULTATION**

The Section 34 Permit Application and the associated proposal have been circulated to the Simon van der Stel Foundation, the George Heritage Trust and George Municipality for comment.

Once the comments have been received, the comments will be inserted into this draft report and finalized for submission to Heritage Western Cape.

10. **MITIGATION**

It is my opinion that no mitigation would be required in implementing the proposal in its current format.

11. **RECOMMENDATIONS**

As the proposed demolition of the existing house on the property will not have a negative impact on the heritage resources in the area, it is recommended that Heritage Western Cape endorses this application for a permit to be issued for the proposed actions.

12. **ANNEXURES**

Please see attached:

- a) Annexure A - Submission form
- b) Annexure B – Proof of Payment
- c) Annexure C - Letter of Authority
- d) Annexure D - Title Deed
- e) Annexure E – Disclosure Certificate
- f) Annexure F1&2 – Existing House Plans and Proposed Plans
- g) Annexure G - Pre-Application Consultation Minutes from George Municipality
- h) Annexure H - Digital diagrams & Photos
- i) Annexure I – Engineering Letter
- j) Annexure J – Comments through Consultation

ANNEXURE 13

LAND USE PLANNING PRE-APPLICATION CONSULTATION FORM

PLEASE NOTE:

Pre-application consultation is an advisory session and is required prior to submission of an application for rezoning, consent use, temporary departure and subdivision. It does not in any way pre-empt the outcome of any future application which may be submitted to the Municipality.

PART A: PARTICULARS

Reference number: **Collab Ref. No.: 3220869**

Purpose of consultation: **To consult a Municipal town planner on their opinion on the said development**

Brief proposal: **Proposed Rezoning and Subdivision**

Property description: **Erf 642, George**

Date: **10 July 2024**

Attendees:

	Name & Surname	Organisation	Contact Number	E-mail
Official	Khuliso Mukhovha	George Municipality	044 801 9138	kmukhovha@george.gov.za
Pre-applicant	Delarey Viljoen	DELPLAN Consulting	044 873 4566	planning@delplan.co.za

Documentation provided for discussion:

(Include document reference, document/plan dates and plan numbers where possible and attach to this form)

1. Title deed
2. Locality Map (in text)
3. SG Diagram
4. Draft SDP
5. Demolition Permit
6. Previous Pre-App feedback

Has pre-application been undertaken for a Land Development application with the Department of Environmental Affairs & Development Planning (DEA&DP)?

(If so, please provide a copy of the minutes)

YES	NO
-----	----

Comprehensive overview of proposal:

The property situated along Myrtle Road, Heatherlands, north of C.J Langenhoven Road and measures 2689m².



Figure 1: Locality

As can be seen in figure 1, this erf currently contains a dwelling house, the prospective new owners of the property wish to demolish this structure and construct 5 Group Housing units on the property. A demolition permit was obtained in this regard and is attached herewith. The development will gain access off Myrtle Street and all parking will be provided on -site. All building lines will be adhered to. As can be seen in figure 2, the property is located within the Densification Zone, thus a higher density housing typology could be supported. The access will be done in such a way to keep the large trees on the pavement and is proposed from Myrtle Street. The erf (indicated with a red arrow) is located within a relative distance to a **GoGeorge** bus route providing for a high level of accessibility as can be seen in figure 3.

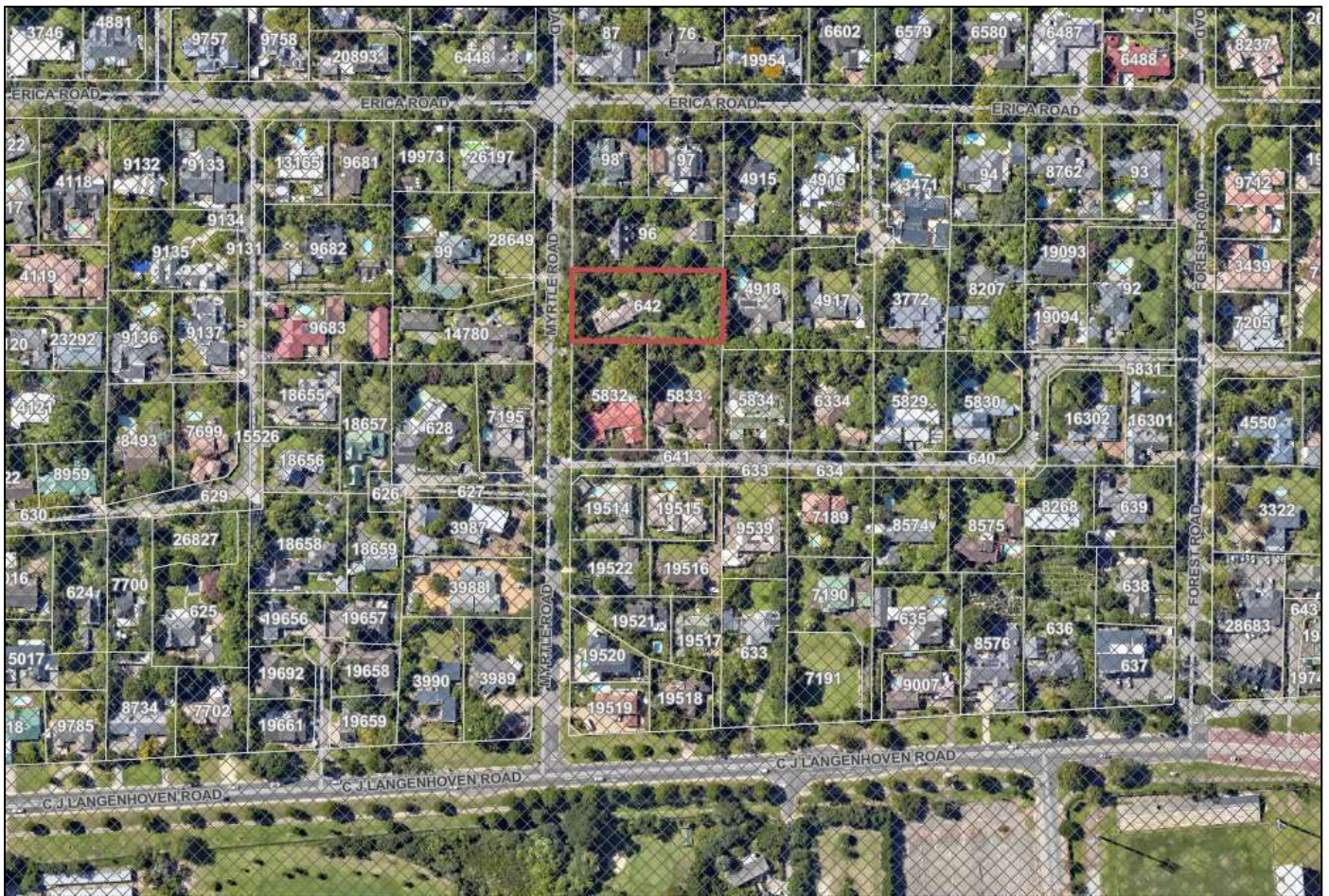


Figure 2: Densification Zone

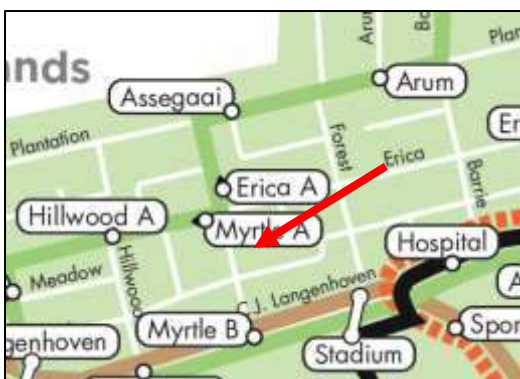


Figure 3: GoGeorge Bus route

The application would entail the following:

1. Rezoning in terms of Section 15(2) (a) of the George Municipality: Land Use Planning By-Law, 2023 of Erf 642, George from Single Residential Zone I to General Residential Zone III to allow 5 group housing units.
2. Subdivision in terms of Section 15(2) (d) of the George Municipality: Land Use Planning By-Law, 2023 of Erf 642 into 5 Group Housing (GRZII) erven, 1 Private Open Space (OSZII) erf and 1 Internal Private Road (TUZII).

PART C: QUESTIONNAIRES

**SECTION A:
DETERMINATION OF APPLICATION TYPES, PRESCRIBED NOTICE AND ADVERTISEMENT PROCEDURES**

Tick if relevant		What land use planning applications are required?	Application fees payable
<input checked="" type="checkbox"/>	2(a)	a rezoning of land;	R 10 710,00
<input type="checkbox"/>	2(b)	a permanent departure from the development parameters of the zoning scheme;	R
<input type="checkbox"/>	2(c)	a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land;	R
<input checked="" type="checkbox"/>	2(d)	a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement;	R 6 144,00
<input type="checkbox"/>	2(e)	a consolidation of land that is not exempted in terms of section 24;	R
<input type="checkbox"/>	2(f)	a removal, suspension or amendment of restrictive conditions in respect of a land unit;	R
<input type="checkbox"/>	2(g)	a permission required in terms of the zoning scheme;	R
<input type="checkbox"/>	2(h)	an amendment, deletion or imposition of conditions in respect of an existing approval;	R
<input type="checkbox"/>	2(i)	an extension of the validity period of an approval;	R
<input type="checkbox"/>	2(j)	an approval of an overlay zone as contemplated in the zoning scheme;	R
<input type="checkbox"/>	2(k)	an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram;	R
<input type="checkbox"/>	2(l)	a permission required in terms of a condition of approval;	R
<input type="checkbox"/>	2(m)	A determination of a zoning;	R
<input type="checkbox"/>	2(n)	A closure of a public place or part thereof;	R
<input type="checkbox"/>	2(o)	a consent use contemplated in the zoning scheme;	R
<input type="checkbox"/>	2(p)	an occasional use of land;	R
<input type="checkbox"/>	2(q)	to disestablish a home owner's association;	R
<input type="checkbox"/>	2(r)	to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services;	R

	2(s)	a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building	R
Tick if relevant		What prescribed notice and advertisement procedures will be required?	Advertising fees payable
Y	N	Serving of notices (i.e. registered letters etc.)	R
Y	N	Publication of notices (i.e. Provincial Gazette, Local Newspaper(s) etc.)	R
Y	N	Additional publication of notices (i.e. Site notice, public meeting, local radio, website, letters of consent etc.)	R
Y	N	Placing of final notice (i.e. Provincial Gazette etc.)	R
TOTAL APPLICATION FEE* (VAT excluded):			R 16 854,00 Excluding VAT

PLEASE NOTE: * Application fees are estimated on the information discussed and are subject to change with submission of the formal application and/or yearly application fee increase.

SECTION B:

PROVISIONS IN TERMS OF THE RELEVANT PLANNING LEGISLATION / POLICIES / GUIDELINES

QUESTIONS REGARDING PLANNING POLICY CONTEXT	YES	NO	TO BE DETERMINED	COMMENT
Is any Municipal Integrated Development Plan (IDP)/Spatial Development Framework (SDF) and/or any other Municipal policies/guidelines applicable? If yes, is the proposal in line with the aforementioned documentation/plans?			X	MSDF to be motivated.
Any applicable restrictive condition(s) prohibiting the proposal? If yes, is/are the condition(s) in favour of a third party(ies)? [List condition numbers and third party(ies)]			X	Conveyancer certificate required to confirm.
Any other Municipal by-law that may be relevant to application? (If yes, specify)		X		
Zoning Scheme Regulation considerations: Which zoning scheme regulations apply to this site? George Integrated Zoning Scheme, 2023 What is the current zoning of the property? Single Residential Zone I What is the proposed zoning of the property? General Residential Zone II				

Does the proposal fall within the provisions/parameters of the zoning scheme? Yes Are additional applications required to deviate from the zoning scheme? (if yes, specify) No	
---	--

QUESTIONS REGARDING OTHER PLANNING CONSIDERATIONS	YES	NO	TO BE DETERMINED	COMMENT
Is the proposal in line with the Provincial Spatial Development Framework (PSDF) and/or any other Provincial bylaws/policies/guidelines/documents?	X			
Are any regional/district spatial plans relevant? If yes, is the proposal in line with the document/plans?		X		

SECTION C:

CONSENT / COMMENT REQUIRED FROM OTHER ORGANS OF STATE

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
Is/was the property(ies) utilised for agricultural purposes?		X		Western Cape Provincial Department of Agriculture
Will the proposal require approval in terms of Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)?		X		National Department of Agriculture
Will the proposal trigger a listed activity in terms of National Environmental Management Act, 1998 (Act 107 of 1998) (NEMA)?		X		Western Cape Provincial Department of Environmental Affairs & Development Planning (DEA&DP)
Will the proposal require authorisation in terms of Specific Environmental Management Act(s) (SEMA)? (National Environmental Management: Protected Areas Act, 2003 (Act 57 of 2003) (NEM:PAA) / National Environmental Management: Biodiversity Act, 2004 (Act 10 of 2004) (NEM:BA) / National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004) (NEM:AQA) / National Environmental Management: Integrated Coastal Management Act, 2008 (Act 24 of 2008) (NEM:ICM) / National Environmental Management: Waste Act, 2008 (Act 59 of 2008) (NEM:WA)		X		National Department of Environmental Affairs (DEA) & DEA&DP

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
(strikethrough irrelevant)				
Will the proposal require authorisation in terms of the National Water Act, 1998 (Act 36 of 1998)?		X		National Department of Water & Sanitation (DWS)
Will the proposal trigger a listed activity in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999)?		X		South African Heritage Resources Agency (SAHRA) & Heritage Western Cape (HWC)
Will the proposal have an impact on any National or Provincial roads?		X		National Department of Transport / South Africa National Roads Agency Ltd. (SANRAL) & Western Cape Provincial Department of Transport and Public Works (DTPW)
Will the proposal trigger a listed activity in terms of the Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations		X		National Department of Labour (DL)
Will the proposal affect any Eskom owned land and/or servitudes?		X		Eskom
Will the proposal affect any Telkom owned land and/or servitudes?		X		Telkom
Will the proposal affect any Transnet owned land and/or servitudes?		X		Transnet
Is the property subject to a land / restitution claims?		X		National Department of Rural Development & Land Reform
Will the proposal require comments from SANParks and/or CapeNature?		X		SANParks / CapeNature
Will the proposal require comments from DEFF?		X		Department of Environment, Forestry and Fishery
Is the property subject to any existing mineral rights?		X		National Department of Mineral Resources
Does the proposal lead to densification to such an extent that the number of schools, healthcare facilities, libraries, safety services, etc. In the area may be impacted on? (strikethrough irrelevant)		X		Western Cape Provincial Departments of Cultural Affairs & Sport (DCAS), Education, Social Development, Health and Community Safety

SECTION D:

SERVICE REQUIREMENTS

DOES THE PROPOSAL REQUIRE THE FOLLOWING ADDITIONAL INFRASTRUCTURE / SERVICES?	YES	NO	TO BE DETERMINED	OBTAIN COMMENT FROM: (list internal department)
Electricity supply:			X	Directorate: Electro-technical Services
Water supply:			X	Directorate: Civil Engineering Services
Sewerage and waste water:			X	Directorate: Civil Engineering Services
Stormwater:			X	Directorate: Civil Engineering Services
Road network:			X	Directorate: Civil Engineering Services
Telecommunication services:			X	
Other services required? Please specify.			X	
Development charges:			X	

PART D: COPIES OF PLANS / DOCUMENTS TO BE SUBMITTED AS PART OF THE APPLICATION

COMPULSORY INFORMATION REQUIRED:					
Y	N	Power of Attorney / Owner's consent if applicant is not owner (if applicable)	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Motivation report / letter	Y	N	Full copy of the Title Deed
Y	N	Locality Plan	Y	N	Site Layout Plan
Y	N	Proof of payment of fees	Y	N	Bondholder's consent
MINIMUM AND ADDITIONAL REQUIREMENTS:					
Y	N	Site Development Plan	Y	N	Conveyancer's Certificate
Y	N	Land Use Plan	Y	N	Proposed Zoning plan
Y	N	Phasing Plan	Y	N	Consolidation Plan
Y	N	Abutting owner's consent	Y	N	Landscaping / Tree Plan
Y	N	Proposed Subdivision Plan (including street names and numbers)	Y	N	Copy of original approval letter
Y	N	Services Report or indication of all municipal services / registered servitudes	Y	N	Home Owners' Association consent
Y	N	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD)	Y	N	1 : 50 / 1:100 Flood line determination (plan / report)

		(strikethrough irrelevant)			
Y	N	Other (specify)	Y	N	Required number of documentation copies

PART E: DISCUSSION

- The pre-application was submitted with site plan, SG diagram, and preliminary building plans as indicated below.



Town planning

- The applicant to take note of the comments as provided on pre-application report dated 31 May 2023 which the comments were as follows:
- It was advised that the applicant motivates the application in terms of the required statutory legislation (George MSDF 2023, SPLUMA etc.).
- The proposed development may have a visual impact, therefore impacting on the character of the surrounding environment. The applicant needs to motivate mitigation measures in this regard. The sense of place for the residential neighbourhood should not be negatively impacted by the proposed development
- Applicant to provide a list of tree species that are currently located on the site and indicate which trees will be retained and which will be removed
- According to the applicant, the existing dwelling house on the site is 58 years old. In this regard, a Notice of Intent to Develop should be submitted to Heritage Western Cape, for comments
- A subdivision plan and site layout plan must be submitted with the application, clearly indicating the extent of the proposed land uses, parking, access, property boundaries, building lines etc.

Civil Engineering Services

- **Access:** Restricted to Myrtle Road. Sufficient stacking distance should be provided (minimum of 6,0 meters). Internal road to be transfer to a HOA/BC which will be responsible for the maintenance of the road and associated stormwater
- **Stormwater:** Exiting stormwater to be maintained, as same manages stormwater from Erica Road
- The appointed Civil Engineer must evaluate and confirm services capacity. Any upgrades required, because of the development, will be for the cost of the developer. Should it be required, a servitude should be registered over the existing stormwater line on the site
- **Water & Sewer:** Internal services to be installed by the developer at his cost
- **DC:** Normal DC's will be applicable
- **Trees:** Note that should a forestry license be required, the developer to take note of the application process and timeline

PART F: SUMMARY/WAY FORWARD

- See Part E above.

OFFICIAL: KHULISO MUKHOVHA
(FULL NAME)



SIGNED:

DATE: 16/07/2024

PRE-APPLICANT: DELAREY VILJOEN
(FULL NAME)

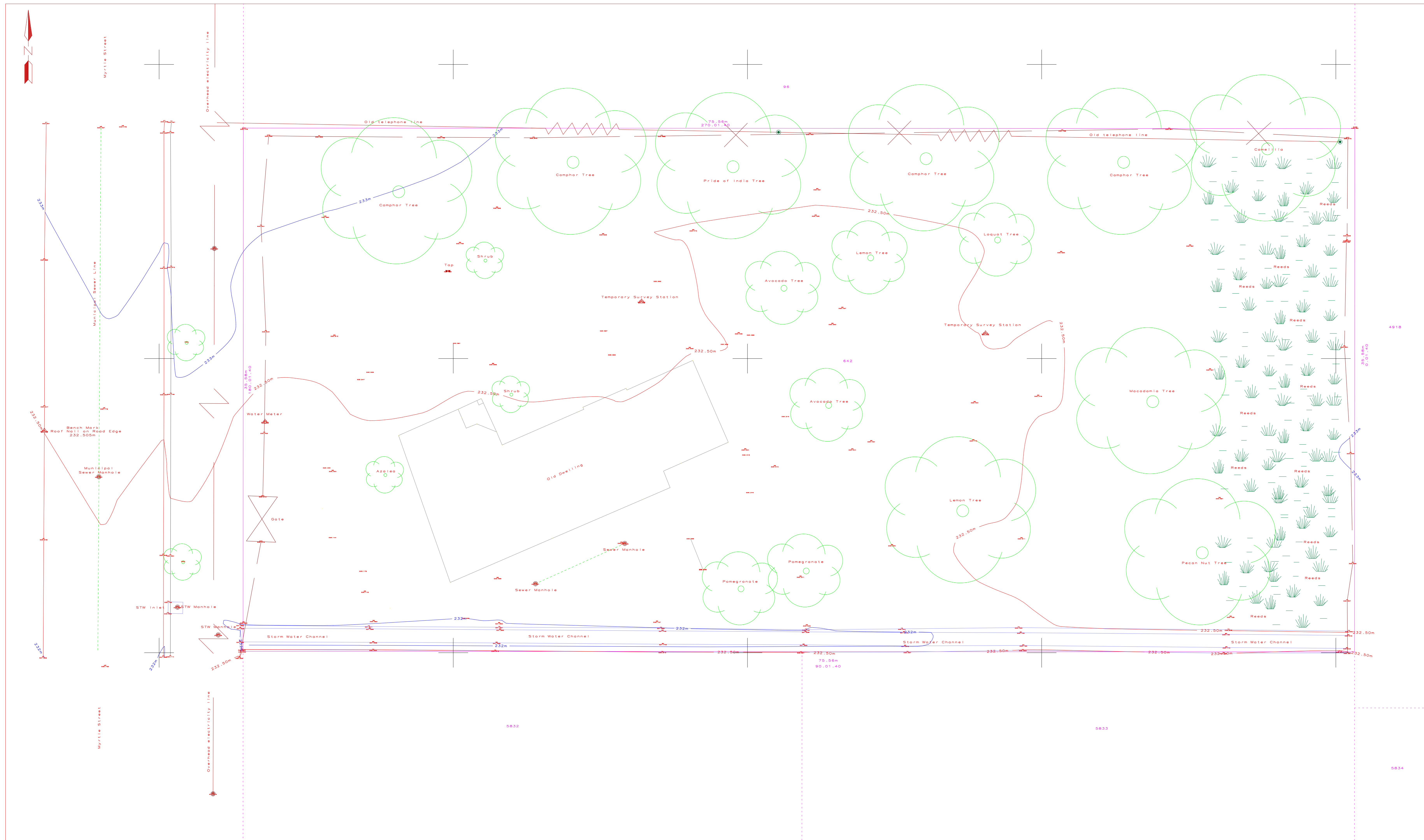


SIGNED:

DATE: 10/07/20234

**Please note that the above comments are subject to the documents and information available to us at the time of the pre-application meeting and we reserve our rights to elaborate on this matter further and/or request more information/documents should it deemed necessary.*

ANNEXURE 14



Contour Survey
Erf 642, Heatherlands George Municipality of George
Coordinate System WGS 84/23
Height Datum Mean Sea Level Bench Mark MRT1 51387.80 3758284.92 232.505 ROOFNAIL
Scale 1:100

Surveyed in March 2024
 By: W. Jacobs
 Jacobs Opmettings
 Hartenbos
 Mobile 084 645 6303
 Email
 jacobsofmettings@vodanet11.co.za

51280
X X 3758320

51280
X X 3758320

51280
X X 3758320

51280
X X 3758320

51280
X X 3758320

51280
X X 3758320

51280
X X 3758260

51280
X X 3758320

51280
X X 3758320

ANNEXURE 15

MYRTLE VIEW- ARCHITECTURAL DESIGN GUIDELINES

ARCHITECTURAL DESIGN GUIDELINES AND MANUAL FOR GROUP HOUSING SCHEMES

BUILDING PLAN SUBMISSION REQUIREMENTS REV 0

CONTENTS

- 1 Intro
- 2 Building Layout
- 3 Roofs
- 4 External finishes
- 5 Windows and Doors
- 6 Walls and Boundary Fences
- 7 Driveways and Visitors' Parking
- 8 Swimming pools, Ponds and Barbecues
- 9 Security
- 10 Landscaping
- 11 Services and General
- 12 Notes

LATEST REVISION: REVISION 0

1 INTRO

1.1 This Design Manual has been compiled to exclude certain inappropriate forms, materials and colours to respect the overall theme and uniformity intended.

The Design Manual is supplementary to the National Building Regulations and the specific requirements of the Local Authority.

1.2 All houses must be designed and constructed based on the design guidelines set out below. All proposed alterations and additions planned, are to be presented to the Esthetical Committee for approval prior to any work commencing.

1.3 Future alterations and additions to designs presented should be an extension of the current theme.

1.4 These guidelines are subject to periodical review. The Esthetical Committee reserves the right to interpret this manual and approve plans at its discretion if it deems proposed designs architecturally and aesthetically acceptable. No precedent may be considered as motivation

for variances to these guidelines. Plan approval and any deviation agreements must be granted in writing.

2 BUILDING LAYOUT

2.1 Only one dwelling per site will be permitted. Outbuildings, timber structures, thatch roofs or bomas will not be permitted. The residence is to form one structure only and no duplexes will be allowed.

2.2 The maximum coverage allowed will be 50% per site. Coverage refers to the footprint of the building, including garages and roofed patios. Terraces with pergolas over are not included.

2.3 Double storeys will be allowed. Three level houses will not be allowed.

2.4 A setback from the public street boundary of minimum 3,0m is required.

2.5 Side building line 1.5m, back building line 1.5m and common building lines,0m building lines. No building will be allowed to extend to the erf boundary.

2.6 All spaces to receive Concrete- or ColorPlus 0.47mm AZ150 Diamond Dek Springlok 700 roof sheeting only.

2.7 The height of dwelling units may not exceed 6.5 metres to the wall plate in all cases, and 8.5 metres to the ridge of the roof .

Chimneys are exempt from this restriction.

No mezzanine will be allowed above the second floor.

2.8 No Ground Floor finished floor level may be raised higher than 1m above natural ground level. Natural ground levels are considered as those documented on the contour survey.

2.10 Primary building elements shall have a composite square / rectilinear form.

2.11 The minimum area of the dwelling will be 180 sqm.

3 ROOFS

3.1 The roof structure must be double pitched ColorPlus 0.47mm AZ150 Diamond Dek Springlok 700 @15 degrees or flat concrete roofs.

Sheeting colour: Thunderstorm .

Fascia and bargeboards shall be a maximum of 12 x 200mm painted fibre cement boards.

3.2 Flat concrete roofs to be used as links to break up forms. Consideration should be given to the view from neighbours over these and other flat roofs where services are installed.

3.3 All roofs to have 75mm rolled aluminium rainwater gutters and downpipes finishing

to match wall colour.

3.4 Chimneys may be constructed from brick to match walls or stainless steel piping. Chimney height to be a minimum of 1,0m from parapet wall .

3.5 No awnings or shade cloth on pergolas will be allowed.

4 EXTERNAL FINISHES

4.1 External walls are to be a minimum of 280mm cavity walls constructed out of clay or cement brick with evenly spaced weep holes. Wall finishes are to be plaster and paint.

Textured plaster, plaster bands around windows and doors or external ornamentation (i.e. mouldings) are allowed.

4.2 The use of natural dressed stone cladding is encouraged. No Smartstone or similar coloured concrete products will be allowed.

4.3 No arched openings will be allowed.

4.4 No Face bricks will be allowed.

4.5 External colour scheme to be as follows:

4.5.1 Walls: Ndlovu Grey

4.5.2 Facia : Charcoal

4.5.3 Eaves: Ndlovu Grey

4.5.4 Gutters: Charcoal

4.5.5 Downpipes: Ndlovu Grey

5 WINDOWS and DOORS

5.1 Powder coated aluminium framed sliding doors and windows are to be used.

Colour: Matt Stone Grey

Cottage pane windows will not be allowed.

5.2 Main entrance doors may be horizontal slatted timber doors .

5.3 Gates to Courtyards must be Aluminium louvred doors, Matt Stone Grey.

5.4 Garage doors with a maximum opening of 4880mm will be allowed and are to be sectional overhead opening. Colour: Matt Stone Grey

5.5 No mirror glass or reflective film will be allowed. A light tint with maximum 40% shading may be applied to windows for privacy or sun protection. The tinting must be submitted to the Aesthetical Committee for approval.

6 WALLS and BOUNDARY FENCES

6.1 Perimeter walls on the boundary to be constructed masonry walls or clear view fencing @ a height of 1,8 m.

6.2 All screen and boundary walls should be masonry walls or clear view fencing with a maximum height of 1,8m above natural ground level.

6.3 All other fencing must be approved by the Esthetical Committee before installation commences.

6.4 No pre-cast type walling will be allowed.

6.5 The walls at the Main entrance gate will be featured in brick with plaster and paint finish.

7 DRIVEWAYS and VISITOR'S PARKING

7.1 Driveways are to be paved in charcoal pavers.

7.2 Every erf must have 1 visitors parking bay.

8 SWIMMING POOLS, PONDS and BARBECUES

8.1 Swimming pools and ponds are allowed but must be set back at least 2,0m from any boundary line.

8.2 Swimming pool enclosures are to be in accordance with the National Building Regulations. The design has to tie in with that of the walling and balustrade requirements.

8.3 Pumps, motors and machinery are to be installed externally. All systems are to be adequately screened.

8.4 Swimming pool drainage to be channelled into the owners erf stormwater drainage system.

8.5 Any water feature must be approved by the Esthetical Committee for approval prior to any work commencing.

9 SECURITY

9.1 Balustrading must conform to the National Building Regulations, and are not to be ornate but must be kept simple with straight lines or clear glass.

9.2 No external burglar bars will be allowed.

9.3 Security gates to be in powder coated steel or aluminium with horizontal elements.

10 LANDSCAPING

10.1 The use of indigenous vegetation is recommended.

10.2 Owners are responsible for the landscaping and maintenance of the sidewalk on their street boundaries.

10.3 All external lighting to be up/down lights.

10.4 No concentrated stormwater to discharge onto any neighbouring properties.

11 SERVICES and GENERAL

11.1 Air conditioning and heat pump condenser units are to be installed at ground level and at a maximum height of 1, 2 m above finished ground level. Units may also be installed on flat roofs but must be set back to ensure they are not visible from any angle by anyone on groundfloor. Units and pipes are to be adequately screened from view behind a planted, timber or masonry screen. Noises generated by the units are not to affect neighbours.

11.2 Drying yards and refuse bin areas are to be concealed behind a 1.8m high screen brick wall and may be placed on the boundary. No washing line may project above the service court wall.

11.3 External gas bottles and water filters are to be housed in an enclosure and to be adequately screened.

11.4 All units must have gas geysers for water heating but no external geysers or water tanks are permitted.

11.5 No Wendy House type outbuilding will be allowed.

11.6 Satellite dishes and TV aerials to be fitted below the main building form roof line. Satellite dishes may not be more than 600mm in diameter. The position of the satellite dish or antennae must be approved by the Esthetical Committee prior to installation. The colour of all aerials and satellite dishes must match the colour of the wall it is installed against.

11.7 All units must have a rainwater tank of minimum 2500 litres for the collection and storage of rainwater from the roofs. The design of the water tanks must be approved by the Esthetical committee. Underground rainwater tanks are recommended. Above ground rainwater tanks are permissible providing that they are adequately screened by the homeowner and not visible, or preferably contained in the service yard. The position of the water tanks is to be indicated on the Site Plan with the position of additional tanks approved before installation commences.

11.8 All units must be fitted with and use low-flow showerheads, tap aerators and dual-flush toilets.

11.9 All units must be fitted with and use energy-efficient lighting.

11.10 Electric power generation can be done via photo voltaic panels, but must be integrated into the design of the house. No separate, loose standing panels will be allowed. No wind generators will be allowed.

11.11 Street numbering must be 200mm high numbers in Charcoal finish.

11.12 All external light fittings must be of a design that directs the light downwards, without the source of the light being visible.

11.13 All external sanitary pipes to be built into the walls and not visible.

12 NOTES

12.1 All materials, finishes and details used in the design of the houses or in Alterations and Additions must match the design and appearance followed by the Developer.

12.2 Any alteration or addition will require a set of plans containing all relevant information required by George Municipality and to comply with both the Myrtle View Architectural Guidelines and the National Building Regulations.

12.3 Plans are to be approved by the Esthetical Committee prior to submission at George Town Planning.

12.4 Where the Esthetical Committee permits variations, these are due to specific conditions which may prevail, and not considered to be general or permanent amendments to the Design Manual.

12.5 A building plan approval form must be completed and signed in full and handed in together with the plans for approval by the Esthetical Committee. All building plans to comply with AG and zoning scheme (Refer Annexure A)

Enquiries: Myrtle View

True Story Holdings (PTY)Ltd or nominated

ANNEXURE 16



Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

NOTE: Please complete this form by using: Font: Calibri; Size: 11

PART A: APPLICANT DETAILS

First name(s)	DELAREY				
Surname	VILJOEN				
SACPLAN Reg No. (if applicable)	A/1021/1998				
Company name (if applicable)	DELPLAN CONSULTING				
Postal Address	PO BOX 9956				
	GEORGE	Postal Code	6530		
Email	planning@delplan.co.za				
Tel	044 873 4566	Fax	044 873 4568	Cell	082 808 9624

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	True Story Holdings Proprietary Limited			
Address	333b, Alberts Street Waterkloof Pretoria Gauteng			
		Postal code	0186	
E-mail	vegcity@gmail.com			

Tel		Fax		Cell	083 457 2033
-----	--	-----	--	------	--------------

PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property Description [Erf / Erven / Portion(s) and Farm number(s), allotment area.]	Erf 642, George				
Physical Address	10 Myrtle Road				
GPS Coordinates	-33.950260, 22.444213		Town/City	George	
Current Zoning	Single Residential Zone I	Extent	2689m ²	Are there existing buildings?	Y
Current Land Use	Dwelling				
Title Deed number & date	T2522/2024				
Any restrictive conditions prohibiting application?	Y	N	If Yes, list condition number(s).		
Are the restrictive conditions in favour of a third party(ies)?	Y	N	If Yes, list the party(ies).		
Is the property encumbered by a bond?	Y	N	If Yes, list Bondholder(s)?		
Has the Municipality already decided on the application(s)?	Y	N	If yes, list reference number(s)?		
Any existing unauthorized buildings and/or land use on the subject property(ies)?	Y	N	If yes, is this application to legalize the building / land use?	Y	N
Are there any pending court case / order relating to the subject property(ies)?	Y	N	Are there any land claim(s) registered on the subject property(ies)?	Y	N

PART D: PRE-APPLICATION CONSULTATION

Has there been any pre-application consultation?	Y	N	If Yes, please complete the information below and attach the minutes.
--	---	---	---

<i>Official's name</i>	Khuliso Mukhovha	<i>Reference number</i>	Collab No. 3220869	<i>Date of consultation</i>	10 July 2024
------------------------	-------------------------	-------------------------	---------------------------	-----------------------------	---------------------

PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE

***Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.**

BANKING DETAILS

Name: George Municipality
Bank: First National Bank (FNB)
Branch no.: 210554
Account no.: 62869623150
Type: Public Sector Cheque Account
Swift Code: FIRZAJJ
VAT Registration Nr: 4630193664
E-MAIL: msbrits@george.gov.za
***Payment reference:** Erf 642, George

PART F: DETAILS OF PROPOSAL

Brief description of proposed development / intent of application:

The application for Erf 1091, Blanco entails the following:

- Rezoning** in terms of Section 15(2)(a) of the George Municipality: Land Use Planning By-Law, 2023 of Erf 642, George from Single Residential Zone I to General Residential Zone II (group housing).
- Subdivision** in terms of Section 15(2)(d) of the George Municipality: Land Use Planning By-Law, 2023 of Erf 642, George into 5 portions, namely:
 - Remainder ($\pm 665.29\text{m}^2$);
 - Portion A ($\pm 488.85\text{m}^2$);
 - Portion B ($\pm 488.86\text{m}^2$);
 - Portion C ($\pm 488.86\text{m}^2$); and
 - Portion D ($\pm 557.38\text{m}^2$).
- Departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-Law, 2023 of the Development Parameter f(i) for group housing to allow the garage door facing the private right of way servitude from 5m to 0m on Erf 642, George.

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	N	Completed application form	Y	N	Pre-application Checklist (where applicable)
Y	N	Power of Attorney / Owner's consent if applicant is not owner	Y	N	Bondholder's consent
Y	N	Motivation report / letter	Y	N	Proof of payment of fees
Y	N	Full copy of the Title Deed	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Locality Plan	Y	N	Site layout plan

Minimum and additional requirements:

Y	N	N/A	Conveyancer's Certificate	Y	N	N/A	Land Use Plan / Zoning plan
Y	N		Proposed Subdivision Plan (including street names and numbers)	Y	N	N/A	Phasing Plan
Y	N	N/A	Consolidation Plan	Y	N	N/A	Copy of original approval letter (if applicable)
Y	N	N/A	Site Development Plan	Y	N	N/A	Landscaping / Tree Plan
Y	N	N/A	Abutting owner's consent	Y	N	N/A	Home Owners' Association consent
Y	N		Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	N/A	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N		Services Report or indication of all municipal services / registered servitudes	Y	N	N/A	Required number of documentation copies 2 copies
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes	Y	N	N/A	Other (specify)

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	N/A	National Heritage Resources Act, 1999 (Act 25 of 1999)	Y	N/A	Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004), National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008), National Environmental Management: Waste Act, 2008 (Act 59 of 2008), National Water Act, 1998 (Act 36 of 1998) (strikethrough irrelevant)
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)			
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)			
Y		Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)			
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations			
Y		Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)	Y	N/A	Other (specify)
Y	N	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc. N/A			
Y	N	If required, do you want to follow an integrated application procedure in terms of section 44(1)of the Land-Use Planning By-law for George Municipality?			

SECTION I: DECLARATION

I hereby wish to confirm the following:

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. The Municipality has not already decided on the application.
3. I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.
4. I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.
5. I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).
6. That this submission includes all necessary land use planning applications required to enable the development proposed herein.
7. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.
8. I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.
9. I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

Applicant's signature:



Date:

09/09/2024

Full name:

DELAREY VILJOEN

Professional capacity:

PROFESSIONAL PLANNER

SACPLAN Reg. Nr:

A/1021/1998