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PROPOSED SUBDIVISION & PERMANENT DEPARTURES FOR ESTATE LATE R.A. VERMEULEN

**ERF 16519 GEORGE, CNR OF AANDBLOM STREET & SMITH STREET, BERGSIG
GEORGE MUNICIPALITY & DIVISION**



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Aerial images:

<https://gis.elsenburg.com/apps/cfm/#>

<https://gis.george.gov.za/portal/apps/webappviewer/index.html?id=0283eccf869641e0a4362cb099290fca>

<https://www.google.com/earth/>

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PROPOSED SUBDIVISION & PERMANENT DEPARTURES
ERF 16519 GEORGE, CNR OF AANDBLOM STREET & SMITH STREET, BERGSIG
GEORGE MUNICIPALITY & DIVISION

1. BACKGROUND INFORMATION

Erf 16519 George represents the consolidation of Erven 4627 and 4628 George, which were registered in 1992 and 1993, respectively followed by a building line departure approval in 2005 (see **Annexure 1**). The late owner, Mr. Roelf Vermeulen Sr, was an avid car collector, storing over 30 cars in the garage. In 2005, he obtained permission to build a seventh garage, along with the necessary building line relaxation, as documented in the attached land use approval. The specific details surrounding the establishment of the seven garages are unclear. Following Mr. Vermeulen Sr.'s passing, his Will stipulates that the property be subdivided again into two properties. The eastern portion will be inherited by his daughters, while the western portion will go to his son, Roelf Vermeulen Jr. Mr Vermeulen Jr. plans to retain 15 of his father's vintage cars and partially convert the existing garage into a residence with some extensions. The house is intended for his daughter, a biokineticist, who also plans to run her practice from home.

A subdivision, along with the necessary departures for a larger garage and building line relaxation/s, are required. *Marlize de Bruyn Planning* was appointed to address the land use requirements to comply with the provision of the Will as well as the changes to the existing outbuilding to in part become a dwelling house. The power of attorney is attached as **Annexure 2** to this report.

1.2 PROPERTY DETAILS

The table below shows the property details for Erf 16519 George:

Property Description:	Erf 16519 George
Physical Address:	Cnr of Aandblom Street & Smith Street, Bergsig, George
Owner:	Estated Late R.A Vermeulen
Title Deed No:	T9158/93 (Annexure 3)
Size of the property:	2743m ²
Zoning of the property	Single Residential Zone I
SG Diagram	SG 7141/92 (Annexure 4)

A Conveyancer's Certificate is attached hereto as **Annexure 5**. It confirms no restrictive conditions that limit this land use application. It also confirms that the bond for the property is being cancelled.

1.3 APPLICATION

This land use application for Erf 16519 George entails the following:

- **Subdivision** of Erf 16519 George in terms of Section 15(2)(d) of the George Municipality: Land Use Planning By-law (2023) in the following portions:
 - Portion A (±1391m²) (Single Residential Zone I – Dwelling house);
 - Remainder (±1352m²) (Single Residential Zone I – Dwelling house).

- **Permanent departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023) for the relaxation of:

Portion A

- western street building line from 5.0m to 4.5m for the change in use of the corner of the existing outbuilding to a bathroom.
- eastern side building line form 3.0m to 1.5m for the existing outbuilding of which a part is to become a dwelling house.

Remainder

- western side building line form 3.0m to 2.0m and 0.0 for the existing dwelling house.

- **Permanent departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023) for the following for **Portion A**:

- an increase in the garaging for vehicles from 6 to 10 (development parameter (g)(ii));
- an increase in the width of the vehicle carriageway crossing from 8.0m to 17.825m for the existing carriageway crossing.

2. CONTEXTUAL INFORMANTS

2.1 LOCALITY

Erf 16519 George is located on the northern edge of the suburb, Bergsig on the corner of Aandblom Street and Smith Street, less than 100m from the Katriver to the north.

A locality plan is attached hereto as **Annexure 6**.

2.2 ZONING & LAND USE

Erf 16519 George is currently zoned Single Residential Zone I (dwelling house) and used accordingly with a dwelling house thereon as well as a large outbuilding used for the storage of vintage vehicles. The zoning will not change following this application. The image below shows the zoning of the property and the area.



2.3 CHARACTER OF THE PROPERTY & THE AREA

Erf 16519 George is a residential property with a primary residence on the eastern side with access from Aandblom Avenue, and a large garage/storage area on the west side with access from Smith Street. The late owner of the property consolidated the property more than 30 years ago. The garage accommodated a vintage car collection of more than 30 vehicles. In 2005 the owner obtained approval for the relaxation of the western street building line from 5.0m to 1.15m for the garage and for a 7th garage on the property.

From Smith Street, the property has a 5-door garage façade and from Aandblom Street there is another double garage for the primary dwelling house. Approved building plans are on record at the Municipality.



3. DEVELOPMENT PROPOSAL

The late owner (RA Vermeulen Sr.) had an extensive classic car collection of about 30+ cars that he stored on Erf 16519 George. The property, as it is, has approval for all the garages currently on the property which provides parking space for around 13 vehicles (considering the normal measurements of a single parking space).

It is proposed to re-subdivide Erf 16519 George into two Single Residential Zone I (SRZI) properties in accordance with the Will of Mr. RA Vermeulen Sr. Following the subdivision, the eastern property (Remainder) will have a double garage, with no proposed land use changes, ensuring compliance with the zoning scheme for SRZI properties. Building line relaxations are included however to consider the position of existing structures and the proposed new property boundary. The exact boundary between the original Erven 4627 & 4628 George cannot be followed due to additions and alterations over the past more than 30 years. The property was surveyed to be certain of the position of the existing structures so that building lines can be determined accurately. The survey and proposed subdivision plan are attached to the report as **Annexure 7**.

The proposed dwelling house to be created from a section of the existing outbuilding on the western section (Portion A) is intended for Mr. RA Vermeulen Jr's daughter, a biokineticist, who plans to run her practice from home. Provisions for home occupation have been considered, including sufficient parking within the property boundaries and the limitation of 60m². Three garages for their personal vehicles are needed while retaining the 161m² of the existing garage for the storage of 15 vintage cars, retained from the late Mr. Vermeulen's collection.

Subdivision

As shown in **Annexure 7**, it is proposed that Erf 16519 George (2743m²) be subdivided into two Single Residential Zone I (SRZI) properties: Portion A (1391m²) and the Remainder (1352m²). Both portions will have 5m street building lines and 3m side and rear building lines. This land use application includes the required building line relaxations to accommodate the position of existing structures in relation to the proposed new property boundary as well as the change in use of the existing outbuilding.

The new subdivision line, considering compliance with fire regulations, will not follow the original boundary exactly between the two properties. The professional land surveyor, Mr. Kobus Conradie conducted the necessary survey to determine the new subdivision line, considering the positions of the existing structures. The use of the house on the proposed Remainder will remain. The use of the structure on the proposed Portion A will change and certain permanent departures are needed as discussed in this report.

This subdivision essentially recreates what was prior to the mentioned consolidation. The subdivision pattern for Bergsig is also not negatively affected. The impact on the abutting streets also remains basically unchanged.

Permanent departure – Building lines

Portion A

For the western Portion A, the outbuilding will be converted into a dwelling house with internal changes and some additions. The proposed building plans is attached hereto as **Annexure 8**.

The western corner of the existing outbuilding is proposed to become a bathroom for the proposed home occupation. This corner of the structure is 4.5m from the western street building line and is therefore to be relaxed from 5.0m to accommodate the change in use.

At the same time, considering the new boundary to be created through subdivision, the new eastern side building line needs to be relaxed from 3.0m to 1.5m for the existing outbuilding of which a part is to become a dwelling house.

When the extensions were approved to the outbuilding in 2005, the street building line was relaxed to 1.15m. It was however constructed up to 1.585m from the western street boundary.

Remainder

The proposed Remainder accommodates the existing primary dwelling house. The new western building line to be created for this portion must be relaxed from 3.0m to 2.0m and 0.0 for the position of this existing dwelling house.

Permanent departure - Garages

Due to the subdivision and the change from the former Section 7 Zoning Scheme Regulations for George to the new era of zoning by-laws, this land use application includes a permanent departure for an increase in the number of garages for **Portion A**. Effectively, the space used for garaging will almost be halved. The existing outbuilding on the proposed Portion A will be remodeled into a dwelling house of approximately 235m² including three personal garages and a home occupation area (59m²). The remaining 161m² of the structure will remain to be used what remains of the original vintage car collection.

According to zoning by-law, six garages are permissible for a property greater than 1000m². The family will use three garages for their personal vehicles, and the remaining space will accommodate the vintage car collection, which is equivalent to the size of seven garages.

The revamped property will feature a four-door garage façade and will provide space to store a total of 10 cars considering normal dimensions for a garage.

See **Annexure 8** for the detail regarding garaging for Portion A.

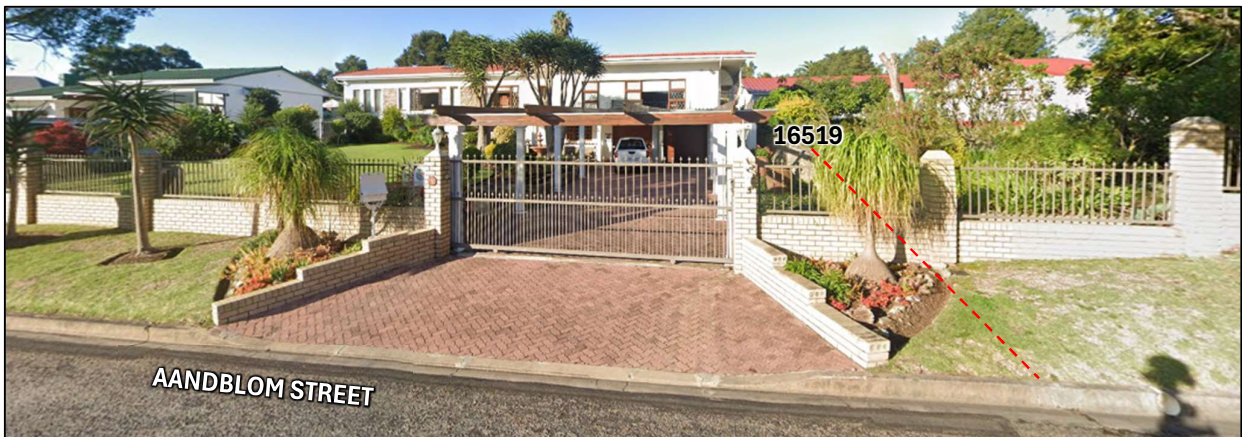
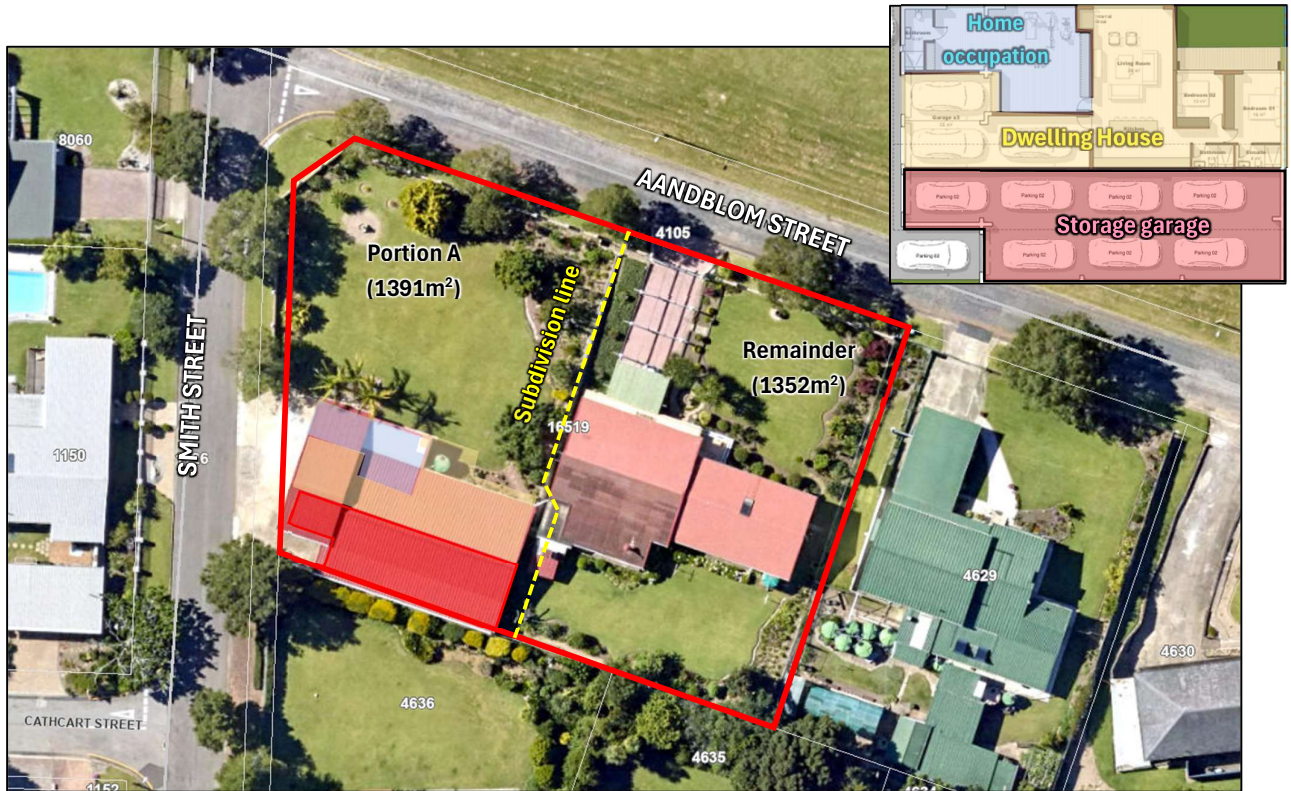
Permanent departure – Carriageway crossing.

The proposed Portion A has an existing wide carriageway crossing facing Smith Street. It has been 17.825m wide from approximately 2005 when the outbuilding was expanded.

Considering the change from the Section 7 Zoning Scheme Regulations for George to the current zoning by-law as mentioned earlier, this land use application requests an increase in the width of the vehicle carriageway crossing from 8.0m to 17.825m for the existing carriageway crossing. The former Section 7 Zoning Scheme Regulations did not limit the width of carriage way crossings. This carriageway crossing will be more frequently used than when this outbuilding was only used to accommodate a vintage car collection. However, the carriageway crossing will now still accommodate what remains of the vintage car collection as well as the daily movement of a family to occupy the dwelling house to be created.

About 7.5m of this carriageway crossing will be in line with the garaging for the vintage car collection while the remaining 10.35m will be in line with the garaging for the proposed dwelling house and the gate north of the proposed bathroom providing access to parking as/when needed for the home occupation. This compares well with the maximum of 8m indicated in the zoning by-law for a dwelling house. 16 SRZI erven borders onto Smith Street of which only 10 obtain vehicular access from this property. 6 erven abutting Smith Street, that could have had 8m wide carriageway crossings, does not have vehicular access to this Street. It can therefore be stated that the proposed Portion A is taking an almost double width carriageway crossing of which one is from another property, which does not use its right to such a carriageway crossing. Smith Street does provide access from Stander Street to 6 short side streets, for properties located close to Smith Street. Writer is familiar with this street for more than 20 years and does not expect that the minor increase in use of this wider carriageway crossing will have a significant impact on vehicular movement in Smith Street.

See the images to follow supporting the foregoing paragraphs.



4. CONSIDERATION OF THE APPLICATION

4.1 STATUTORY INFORMANTS

The criteria for the consideration of land use applications as per the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SLPUMA), the Western Cape Land Use Planning Act, (Act 3 of 2014) (LUPA) and the George Municipality: By-law on Municipal Land Use Planning (2023) builds on each other. SLPUMA introduced legislative and procedural changes to the management of land use planning in South Africa. The Western Cape Province followed with LUPA and thereafter George Municipality with the Municipal Land Use Planning By-law (2023). What is relevant to this land use application is discussed in the paragraphs to follow.

4.1.1. SPATIAL PLANNING & LAND USE MANAGEMENT ACT, 2013 (SPLUMA)

Section 7 of this Act sets out the five development principles that are applicable to spatial planning, land development and land use management and section 42 of SPLUMA then refers to the factors that must be considered by a municipal tribunal when considering a land use planning application, which include but are not limited to:

- Five SPLUMA development principles;
- Public interest;
- Constitutional transformation;
- Respective rights and obligations of all those affected;
- State and impact of engineering services, social infrastructure and open space requirements;
- Compliance with environmental legislation.

The five development principles of SPLUMA, namely spatial justice, spatial sustainability, efficiency, spatial resilience, and good administration are not all directly relevant to this land use application. The land use application for Erf 16519 George supports the relevant development principles of SPLUMA.

4.1.1.1. Five development principles

Spatial justice as described in Section 7(a) of SPLUMA is not relevant to this land use application.

Spatial sustainability as described in Section 7(b) of SPLUMA is not relevant as the natural environment will not be affected by this application.

- Prime and unique agricultural land is not affected by this land use application.
- Environmental matters are not relevant to this application.
- The effective and equitable functioning of land markets is not negatively affected by this land use application.
- All current and future costs to all parties for the provision of infrastructure and social services in land developments must be considered.
- Land development in locations that are sustainable and that limits urban sprawl, must be promoted. The proposed development is within/on the urban edge of George and contributes to this section of SPLUMA. An existing structure is repurposed to create a dwelling house within an established neighbourhood.

Efficiency as described in Section 7(c) of SPLUMA is supported. The efficient use of a property within the urban edge is proposed.

Spatial resilience as described in Section 7(d) of SPLUMA is not fully relevant to this land use application.

Good Administration as described in Section 7(e) of SPLUMA indicates the responsibilities of all involved in any land use matter.

4.1.1.2. Public Interest

No negative impacts are expected on surrounding properties as the proposed land use will be in line with the residential character of the area. An existing structure is to be re-used for residential purposes, the dominant land use in this neighbourhood. No new development is proposed on any common boundary sides of the property. The development to follow will be internal and to the existing structures on the street side with minor additions on the northern side.

The increase in number of garages and the building line relaxation required for the one garage to be revamped for a bathroom is on the street side of the property and cannot have any impact on neighbouring property owners as neither are habitable or inconvenient uses of the existing structures.

As discussed earlier in this report, the increase in width of the vehicle carriageway crossing from 8.0m to 17.825m for the existing carriageway crossing is requested through this land use application. It is almost double the normal width according to the current zoning scheme by-law and will be more frequently used than when this outbuilding was only used to accommodate a vintage car collection.

Considering the character of Smith Street as described in paragraph 3, the changes proposed for Portion A is not expected to have a significant impact on the area.

The streetscape from Aandblom Street will remain as it is. The streetscape from Smith Street will be improved as the façade of the house will have one less garage door and be upgraded to be more aesthetic and less monotonous.

4.1.1.3. Municipal Engineering Services & Access

The property has access to municipal water, water-borne sewerage, solid waste removal and electricity. The municipal engineering services provided to the property will be used with limited expansion expected. It should be noted that Erf 16519 George was Erven 4627 & 4628 George.

The building plans attached hereto as **Annexure 8** shows the municipal main sewage line running diagonally deep underneath the existing outbuilding. This has been considered between the architect and the relevant official in the Directorate: Civil Engineering Services.

The width of the carriageway crossing for Portion A, facing Smith Street, is a consideration for the Directorate: Civil Engineering Services. This is discussed extensively in earlier paragraphs of this report.

4.1.1.4. Environmental Considerations

The property has no natural features thereon, is within the urban edge, and already developed as a residential property. Thus, the proposed subdivision will not have any environmental impact.

4.1.2. WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)

LUPA requires that local municipalities consider the following when deciding on land use applications:

- Applicable spatial development frameworks;
- Applicable structure plans;
- Land use planning principles referred to in Chapter VI (Section 59) which is an expansion of the five development principles of SPLUMA;
- Desirability of the proposed land use; and
- Guidelines that may be issued by the Provincial Minister regarding the desirability of proposed land use.

The applicable spatial development frameworks are discussed in Paragraph 4.2 of this motivation report. The land use planning principles expands on the five development principles of SPLUMA which is discussed in foregoing paragraphs and desirability of the proposed land use is addressed in Paragraph 4.3 to follow.

Section 19(1) and (2) of LUPA refers to **consistency** and **compliance** of a land use proposal regarding spatial development frameworks or structure plans. Considering the aim of this land use application for Erf 16519 George, no conflict was found with the George Municipal Spatial Development Framework (GMSDF) – see Paragraph 4.2.1.

4.1.3. GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023

The general criteria for the consideration of applications in terms of this By-law are included in Section 65 which, inter alia, includes:

- Desirability of the proposed utilisation of land;
- Impact of the proposed land development on municipal engineering services;
- Integrated development plan, including the municipal spatial development framework, the applicable local spatial development framework and/or local structure plans;
- Relevant municipal policies;
- Western Cape Provincial Spatial Development Framework;
- Section 42 of SPLUMA (public interest, constitutionality);
- Land use planning principles transposed from LUPA; and
- Provisions of the applicable zoning scheme.

The above is addressed elsewhere in this motivation report as relevant.

4.1.4. GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS)

Erf 16519 George is zoned Single Residential Zone I (dwelling house). It is proposed to subdivide it to create 2 residential properties. Each property will have a 5m street building lines and 3m side building lines. No new structures are proposed on either property except for the existing structure on Portion A which will undergo slight changes in land use to practically create a dwelling house and the vehicle storage garages as described in this report. See especially paragraph 3.

The garages are all existing. The current zoning by-law does however only allow a maximum of 6 garages per SRZI property. a permanent departure is required to allow 10 garages for the proposed Portion A. It should be noted that the '10' garages are not proposed as a 10-door garage façade. The 10 garages will have a 4-door garage façade, which is reasonable and not uncommon for a residential erf.

A building relaxation is also required for an existing garage which use will be changed to a bathroom for the dwelling house. The relaxations for the existing structures on Portion A and the Remainder considering the proposed new property boundary, are discussed extensively in especially paragraph 3 of this report.

The width of the carriageway crossing is also addressed in paragraph 3 and 4.1.1.3.

It is important to provide some detail in this report regarding the proposed home occupation. Home occupation (biokineticist) is a primary land use right for this Portion A to remain zoned Single Residential Zone I. The intensity of use will still be low as the one resident of the dwelling house will operate this home occupation. This use of the proposed dwelling house will comply with the provisions of the zoning by-law relating to home occupation. The 59m² of the dwelling house to be used for this purpose, requires three parking bays of which one will be one of the three garages. See the site plan indicating parking attached hereto as **Annexure 9**.

4.2 SPATIAL PLANNING INFORMANTS

4.2.1. GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2023)

Erf 16519 George is not addressed specifically in the GMSDF. It is in a single residential neighborhood within the George urban edge. No watercourse / stream, indigenous vegetation, or other environmental features are found on Erf 16519 George.

This land use application will contribute to appropriate residential densification within the urban edge. This report shows that no negative impact pertaining to the GMSDF was found.

4.3 NEED & DESIRABILITY

Need and desirability is the balancing of various factors.

Need depends on the nature of a development proposal and is based on the principle of sustainability. This motivation report has shown that the proposed subdivision of Erf 16519 George can have a positive impact on the character of the area and will provide one more residential opportunity within the Bergsig neighbourhood. It will also fulfil the prospective property owners' needs to utilise their portion of the property according to their needs, in this case, Portion A for a residential erf where they can store their late father's vintage car collection. The provisions of the Will of later Mr. RA Vermeulen Sr are most importantly to be complied with.

Desirability from a planning perspective is defined as the degree of acceptability of a proposed development on a property. The relevant factors include the physical characteristics of the property, existing planning in the area, character of the area, the locality and accessibility of the property as well as the provision of services. Another important consideration is the economic or financial impact which is only positive in this instance.

Physical characteristics of the properties

The physical characteristics of Erf 16519 George do not create conflict for the proposed subdivision. The proposed subdivision line is similar to the former erven that was consolidated to create the subject property.

Existing planning in the area

As indicated earlier in this motivation report, this land use application is not in conflict with the George Municipal Spatial Development Framework (GMSDF). The general principles of the GMSDF is complied with such as optimising development opportunities within the urban edge.

Character of the area

As discussed earlier in this motivation report, the proposed subdivision of Erf 16519 George will not impact negatively on the character of the area.

Provision of services

Existing municipal engineering services will be expanded if necessary.

Economic impact

This proposed development of Erf 16519 George will create new ratepayers for the Municipality and create a new residential opportunity within the George city area.

Direct impact on surrounding properties

No neighbour will be overshadowed or overlooked especially considering that no new structures are proposed and that the land uses that require departments are non-habitable uses (bathroom & garage) and cannot impact on neighbouring properties.

It is our view that the need and desirability of the proposal for Erf 16519 George, showed no negative impacts.

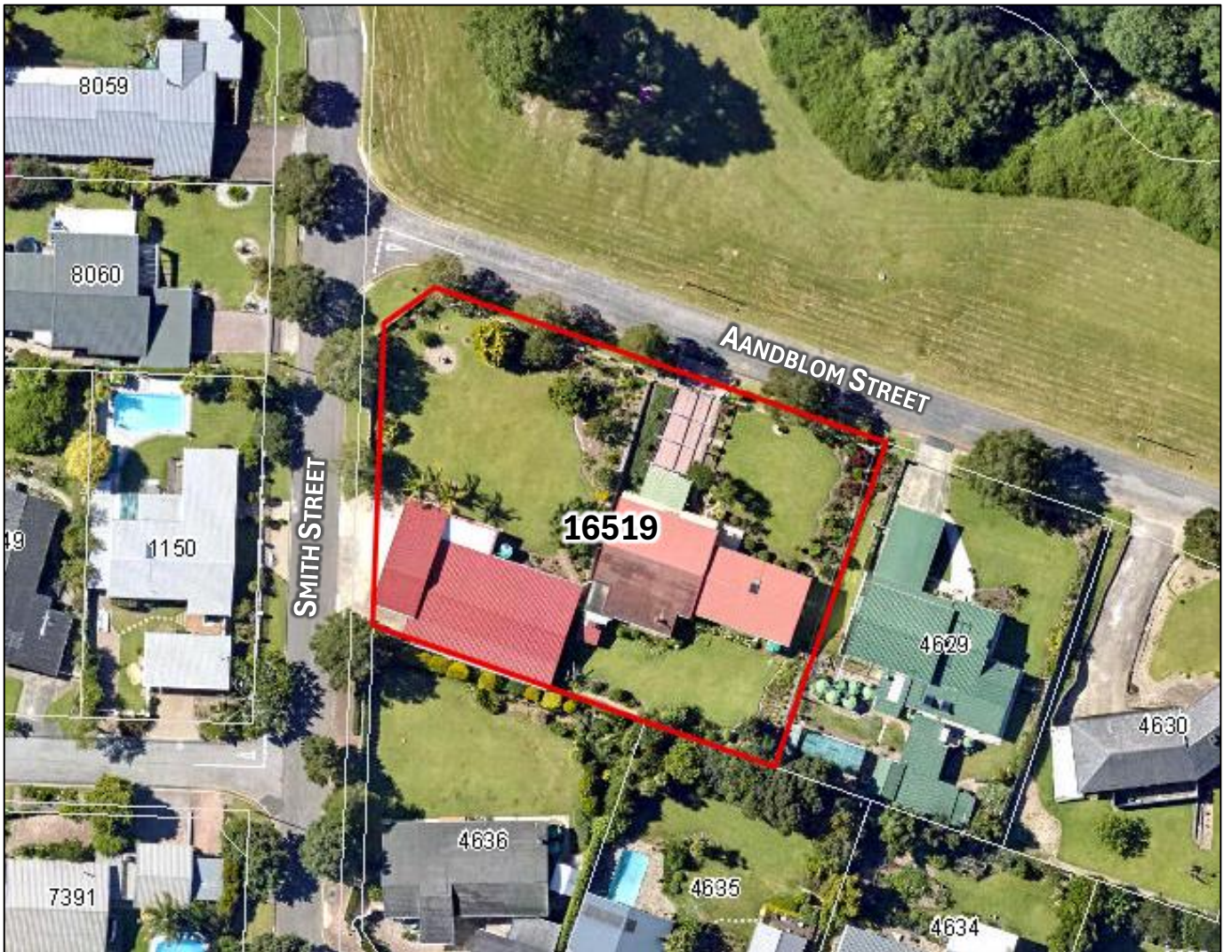
5. CONCLUDING

From this report, it is our opinion that the proposed subdivision and related permanent departures for Erf 16519 George (Portion A & Remainder) as described in the foregoing paragraphs is consistent with all relevant considerations as prescribed by the planning legislation. It does not create conflict with the overall spatial objectives for the area. The proposed subdivision and related departures are considered sensible, reasonable, practical and not in conflict with the direct urban environment.



MARLIZE DE BRUYN Pr. Pln

September 2024



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ERF 16519
C/O SMITH STREET & AANDBLOM STREET, BERGSIG
GEORGE MUNICIPALITY & DIVISION

For scale refer to figured dimensions. Measurements always to be checked by Professional Land Surveyor.



G E O R G E

MUNISIPALITEIT
Wes Kaap

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Intshona - Koloni

MUNICIPALITY
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E-mail: stadsbeplanning@george.org.za

Erf 16519, GEORGE

VERW./REF.

NAVRAE:
ENQUIRIES: J Visser

TEL: 801 9171

7 June 2005

Registered Mail

RA Vermeulen
PO Box 486
GEORGE
6530

APPLICATION FOR DEPARTURE: ERF 16519, GEORGE

Council's previous letter dated 13 May 2005 refers.

To date no appeal was received on your application. The **final approval** for the following is hereby granted:

- (a) The departure from the street building line (Smith Street) from 5m to 1,150m in terms of Section 15 of the Land Use Planning Ordinance, 1985 (Ordinance 15/1985).
- (b) The departure for the erection of a seventh garage on the abovementioned Erf in terms of Section 15 of the Land Use Planning Ordinance, 1985 (Ordinance 15/1985).

Notwithstanding Council's decision you have the right of appeal against the conditions of approval in terms of Section 44 of Ordinance 15/1985, which right must be exercised within 21 days from date of registration of this letter. The appeal must be directed to The Director: Land Development Planning, Private Bag X9086, Cape Town, 8000, **with a copy endorsed to the George Municipality** within the aforementioned time.

Yours faithfully


CM AFRICA
DIRECTOR: PLANNING AND DEVELOPMENT

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G E O R G E

MUNISIPALITEIT
Wes Kaap

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Erf 16519, GEORGE

VERW/REF.

NAVRAE:
ENQUIRIES:

J Visser

TEL:

801 9171

13 May 2005

Registered Mail

RA Vermeulen
PO Box 486
GEORGE
6530

APPLICATION FOR DEPARTURE: ERF 16519, GEORGE

Abovementioned application refers.

During the Housing and Land Affairs Committee meeting held on 19 April 2005 the following was decided:

- (a) That the application for departure from the street building line (Smith Street) from 5m to 1,150m **be approved** in terms of Section 15 of the Land Use Planning Ordinance, 1985 (Ordinance 15/1985).
- (b) That the application for a departure for the erection of a seventh garage on the abovementioned erf **be approved** in terms of Section 15 of the Land Use Planning Ordinance, 1985 (Ordinance 15/1985)..

It is important to note that an objection against the approval of the application have been received and that the objector to your application have in terms of Section 44 of Ordinance 15/1985, a right of appeal against this approval, which right should be exercised within 21 days of registration of this letter.

3/6/2005

A copy of this letter has been forwarded to the objector.

The approval may therefor not be implemented until the 21-day period has lapsed, at which stage a further letter will be addressed to yourself with regard to your application.

Yours faithfully


CM AFRICA
DIRECTOR: PLANNING AND DEVELOPMENT

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Power of Attorney

I, *Maryke Landman (7002150012085)*, the authorised appointee of the Estate Late RA Vermeulen, the registered owner of *Erf 16519 George Municipality & Division* hereby resolves to authorise *Marlize de Bruyn and Denise Janse van Rensburg* from *Marlize de Bruyn Planning* to submit the required land use application for the property in terms of Section 15(2) of the George Municipality: Land Use Planning By-law for the property.



M Landman

Date 04/09/2024



Witness

Date 04/09/2024



REPUBLIC OF SOUTH AFRICA



EKSEKUTEURSBRIEF
LETTERS OF EXECUTORSHIP
(Artikel 13 en 14 van die Boedelwet, No 66 van 1965)
(Section 13 and 14 of the Administration of Estates Act, No 66 of 1965)

Estate No: **002218/2024**

HIERBY WORD GESERTIFISEER dat
THIS IS TO CERTIFY that

MARYKE LANDMAN - 7002150012085 (ID) - AS NOMINEE OF: RAUCH GERTENBACH INCORPORATED

behoorlik aangestel is as
has/have been duly appointed

EKSEKUTEUR/EKSEKUTRISE
EXECUTOR/EXECUTRIX

en as sodanig gemagtig is om die Boedel van wyle
and is/are hereby authorised as such to liquidate and distribute the Estate of the late

ROELOF ANDRIES VERMEULEN
and surviving spouse

..... **WENDA VERMEULEN - 4007200020080 (ID)**

Identiteits No:

..... **3610245014082**

Who died on:

..... **18 DECEMBER 2023**

I CERTIFY THAT THIS DOCUMENT IS A TRUE COPY OF
THE ORIGINAL WHICH WAS EXAMINED BY ME AND
THAT, FROM MY OBSERVATIONS, THE ORIGINAL HAS
NOT BEEN ALTERED IN ANY MANNER.

ALEIDA EUGENIE KRAAMWINKEL
COMMISSIONER OF OATHS
Designation: Practising Attorney (RSA)

Date: **14 FEB 2024**
LACHE HOUSE, 120 York Street, George, Western Cape

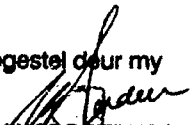
oorlede is, te beredder en verdeel.

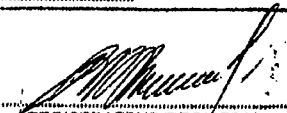
APPROVED BY: **ETIENNE LOUW**
Asst. Meester van die Hooggeregshof
Asst. Master of the High Court : CAPE TOWN

Aandag word gevestig op die bepalings van artikel 102.
Attention is directed to the provisions of section 102.

MASTER OF THE HIGH COURT CAPE TOWN
PRIVATE BAG X9018
2024-02-07
CAPE TOWN 8001 (C)
MEESTER VAN DIE HOOGGEREGSHOF CAPE TOWN

80


 Opgestel deur my
TRANSPORTBESORGER
BREDELL P.J.E.

ARTIKEL 40 (40) WET 47 VAN 1937	SECTION	ACT 47 OF 1937
VERBIND		MORTGAGED
B 9567-1970		
VIR FOR R 10 795-00		
BC	9489 23	 REGISTRATEUR/REGISTRAR
	17 02 93	

T 9158193

VIR ENDOSSEMENTE KYK BLADSY 5
 FOR ENDORSEMENTS SEE PAGE 5

SERTIFIKAAT VAN VERENIGDE TITEL

(Uitgereik kragtens die bepalings van ARTIKEL VEERTIG van die Registrasie van Aktes Wet, 1937 (Nr. 47 van 1937).)

NADEMAAL

ROELOF ANDRIES VERMEULEN
 Identiteitsnommer 361024 5014 00 9
 GETROUD BINNE GEMEENSKAP VAN GOEDERE MET
VENDA VERMEULEN

aansoek gedoen het om die uitreiking aan hom van 'n Sertifikaat van Verenigde
 Titel kragtens die bepalings van ARTIKEL VEERTIG van die Registrasie van
 Aktes Wet 1937, en

NADEMAAL hy die geregistreerde eienaar is van:

- (a) **ERF 4627 GEORGE, in die Munisipaliteit en Afdeling van GEORGE;**
GEHOU kragtens Transportakte No. T 8166/1972;
en
- (b) **ERF 4628 GEORGE, in die Munisipaliteit en Afdeling van GEORGE;**
GEHOU kragtens Transportakte No. T 5746/1970.

wat verenig is tot die grond hieronder beskryf.

SO IS DIT DAT ingevolge die bepaling van genoemde Wet, ek, die Registrateur van Aktes te Kaapstad, hierby sertifiseer dat voornomsde:

ROELOF ANDRIES VERMEULEN

Identiteitsnommer 361024 5014 00 9

en

VENDA VERMEULEN

Identiteitsnommer 400720 0020 00 7

GETROUD BINNE GEMEENSKAP VAN GOEDERE MET MEKAAR

hul erfgename, eksekuteurs, administrateurs of regverkrygendes die geregistreerde eienaar is van:

ERF 16519 GEORGE, in die Munisipaliteit en Administratiewe Distrik van GEORGE;

GROOT: 2743 (TWEEDUISEND SEWEHONDERD DRIE EN VEERTIG) vierkante meter;

SOOS SAL BLYK UIT AANGEHEGTE KAART L.G. No. 7141/92.


I. **WAT** betref die figuur AFGDE op aangehegte Kaart L.G. No. 7141/92:

A. **ONDERHEWIG** aan die voorwaardes waarna verwys word in Transportakte No. 2639, gedateer 19 Mei 1893.

B. **ONDERHEWIG VERDER** aan die volgende spesiale voorwaardes opgelê deur die Administrateur van die Provinsie die Kaap die Goele Hoop ingevolge Wet No. 33/1934, vervat in genoemde Transportakte No. 6731/1970, ten tye van die goedkeuring van George Dorpsuitbreiding No. 22, naamlik:-

- (i). Die eienaar van hierdie erf is verplig om sonder betaling van vergoeding, toe te laat dat elektrisiteits- kables of -drade en hoof- en/of ander waterpype en die rioolvuil en dreinerings, insluitende stormwater van enige ander erf of erwe, binne of buite hierdie dorp, oor hierdie erf gevoer word indien dit deur die plaaslike owerheid nodig geag word, en wel op die wyse en plek wat van tyd tot tyd redelikerwys vereis word. Dit sluit die reg op toegang te alle redelike tye tot die eiendom in met die doel om enige werke met betrekking tot bogenoemde aan te lê, te wysig, te verwyder of te inspekteer.
- (ii). Die eienaar van hierdie erf is verplig om sonder vergoeding op die erf die materiaal te ontvang of uitgrawings op die erf toe te laat al na vereis word, sodat die volle breedte van die straat gebruik kan word en die wal veilig en behoorlik skuins gemaak kan word weens die verskil tussen die hoogte van die straat soos finaal aangelê en die erf tensy hy verkies om steunmure te bou tot genoeg van en binne 'n tydperk wat die plaaslike owerheid bepaal.
- (iii). Hierdie erf mag alleenlik gebruik word vir sulke doeleindes wat deur die dorpsaanlegskema van die plaaslike owerheid toegelaat word en onderworpe aan die voorwaardes en beperkings wat in die skema bepaal word.

|



- II. **WAT** betref die figuur FBCG bp aangehegte Kaart L.G. No. 7141/92:
- A. **ONDERHEWIG** aan die voorwaardes waarna verwys word in Transportakte No. 2639, gedateer 19 Mei 1893;
 - B. **ONDERHEWIG VERDER**, soos vervat in Transportakte No. T 5746/1970, aan die volgende spesiale voorwaardes opgelê deur die Administrateur van die Provinsie die Kaap die Goeie Hoop in terme van Ordonnansie No. 33 van 1934, by die goedkeuring van George Dorpsuitbreiding No. 22, welke voorwaardes volledig na verwys word onder komponent I B (i), (ii) en (iii) hierbo.

EN DAT kragtens hierdie Sertifikaat, genoemde

ROELOF ANDRIES VERMEULEN

Identiteitsnommer 361024 5014 00 9

en

VENDA VERMEULEN

Identiteitsnommer 400720 0020 00 7

GETROUD BINNE GEMEENSKAP VAN GOEDERE MET MEKAAR

hul erfename, eksekuteurs, administrateurs of regverkrygendes, nou en voortaan daartoe geregtig is ooreenkomstig plaaslike gebruik, maar behoudens die Regte van die Staat.

IN GETUIENIS WAARVAN ek, die genoemde Registrateur van Aktes hierdie Akte onderteken en met die ampseël bekragtig het.


ALDUS gedoen en geteken op die kantoor van die Registrateur van Aktes te **KAAPSTAD** op hede die 17^e dag van Februarie 1993.



Registrateur van Aktes



5

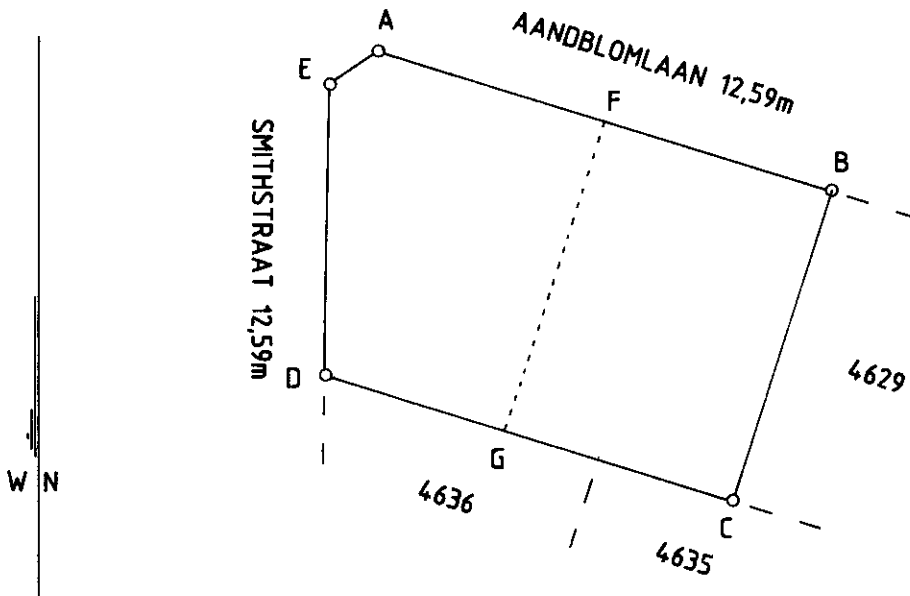
ARTIKEL	WET 47 VAN 1937	SECTION	ACT 47 OF 1937
VERBIND		MORTGAGED	
	B	19058 - 1979	
	VR	7 471,00	
BC	9490	93	 REGISTRATEUR/REGISTRAR
	17	02 93	

	SYE Meter	RIGTINGS -HOEKE	KOÖRDINATE		Alles plus Le 23°	X	L.G. Nr. 7141192 Goedgekeur <i>M. Movent</i> hms. Landmeter-generaal 1992-08-21
			Y	Stelsel			
AB	62,66	288 30 00					
BC	44,08	18 30 00					
CD	56,13	108 30 00					
DE	39,39	181 53 50					
EA	7,90	235 12 00					

Bakenbeskrywing

Alle bakens 457 mm x 12 mm ysterpen

- Die figuur A F G D E wat Erf 4627, George voorstel ~~in George~~
~~Uitbreiding Nr. 22~~
Algemene Plan TP Nr. 7997 ~~Tpt. Nr.~~
- Die figuur F B C G wat Erf 4628, George voorstel ~~in George~~
~~Uitbreiding Nr. 22~~
Algemene Plan TP Nr 7997 ~~Tpt. Nr.~~



Skaal: 1 : 1 000

Die figuur A B C D E
stel voor 2 743 vierkante meter grond, synde

die Dorp George **Erf 16519, George** en bevat 1. en 2. hierbo
geleë in Δ die **Munisipaliteit** en die **Uitbreiding No. 22** in

Administratiewe Distrik George
Saamgestel
Opge meet in Julie 1992
deur my,

Provinsie Kaap die Goeie Hoop
O.J.A. Goosen
O.J.A. Goosen Landmeter

Hierdie kaart is geheg aan
Nr. 9158/93
gedateer
t.g.v.
Registrateur van Aktes

Die oorspronklike kaart is
soos hierbo aangehaal
-Nr. -geheg aan
Transport/Grondbrief
-Nr.

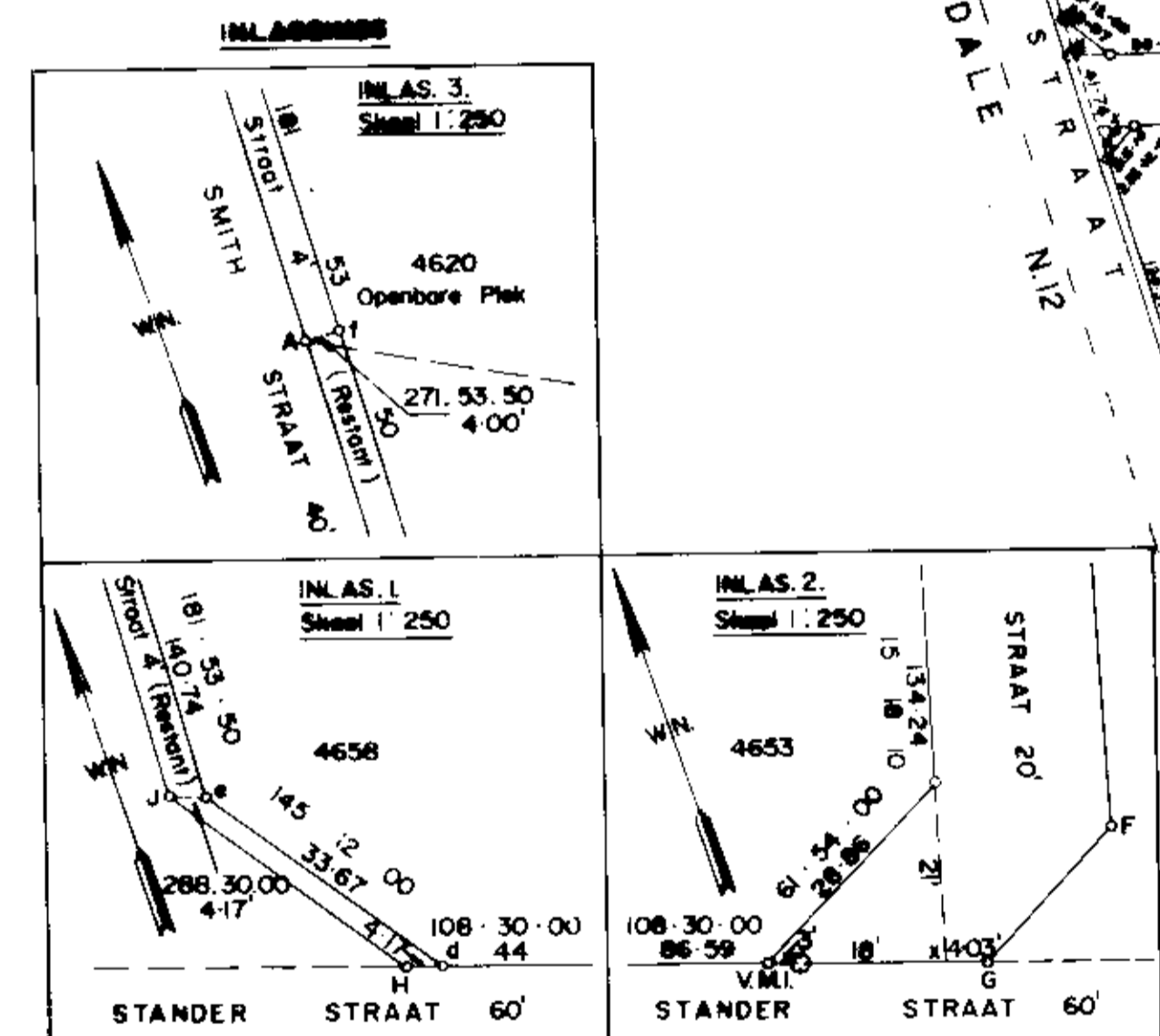
Leer Nr. S/8775/86/1
M.S. Nr. Saamgestel
Komp. BL-7DD/W51 (1747)
Algemene Plan TP Nr. 7997

TP
ALGEMENE PLAN No. 7887
VAN
DIE DORP GEORGE UITBREIING No. 22.



Bevallende 38 Erwe genommer 4621 tot 4658, Openbare Plek No. 4620,
en die strate, synde Erf 4105 George.
Munisipaliteit en Administratiewe Distrik van George. Provinsie Kaap die Goeie Hoop.
Sien kaart L.G. No. 5190/1968 getag aan Akte van Transport No.

SKAAL 1:1200



L.G. No. 8845/68

Geodigshour

Edw. Wright
Landmeter - Generaal.
25.11.69

Sye	Keppel Vier	Rigtings Hoekte	Koordinaat		Staat	L _o 231
			X	Y		
A B	820 - 15	296 - 38 - 40	A	+ 3198 - 84	+ 6705 - 65	
B C	344 - 66	15 - 16 - 30	B	+ 2479 - 07	+ 7096 - 80	
C D	77 - 60	15 - 18 - 10	C	+ 2569 - 87	+ 7431 - 28	
D E	50 - 58	285 - 18 - 10	D	+ 2590 - 30	+ 7506 - 13	
E F	632 - 16	15 - 18 - 10	E	+ 2541 - 56	+ 7519 - 48	
F G	21 - 98	61 - 04 - 10	F	+ 2708 - 41	+ 8129 - 23	
G H	519 - 79	108 - 30 - 00	G	+ 2727 - 80	+ 8139 - 58	
H J	33 - 67	145 - 12 - 40	H	+ 3280 - 74	+ 7974 - 64	
J A	1242 - 02	181 - 53 - 30	J	+ 3238 - 95	+ 7946 - 99	
A a						
B b						

Erf No.	GROOTTE	
	Vierkante Voet	Vierkante Meter
4620	13423	1497
4621	14796	1467
4622	13871	1375
4623	13344	1323
4624	14050	1393
4625	13190	1308
4626	10277	1019
4627	13687	1355
4628	14000	1388
4629	14000	1388
4630	13789	1367
4631	14048	1393
4632	15523	1519
4633	14000	1388
4634	14000	1388
4635	14000	1388
4636	13687	1357
4637	12808	1250
4638	14065	1394
4639	14065	1394
4640	14065	1394
4641	13448	1333
4642	14565	1444
4643	13860	1374
4644	13860	1374
4645	13860	1374
4646	13829	1371
4647	12937	1283
4648	14250	1413
4649	14250	1413
4650	14326	1420
4651	21111	2095
4652	12970	1286
4653	13788	1365
4654	13950	1383
4655	13950	1383
4656	13950	1383
4657	13950	1383
4658	13445	1333

Koordinaat	BLOKHOEKE	
	X	Y
4620 a	+ 2882 - 14	+ 7171 - 14
4620 b	+ 2739 - 67	+ 7094 - 80
4620 c	+ 2821 - 17	+ 7049 - 62
4620 d	+ 3194 - 84	+ 6705 - 78
4620 e	+ 3202 - 01	+ 6922 - 19
4622 a	+ 2670 - 83	+ 7278 - 63
4622 b	+ 2580 - 85	+ 7514 - 20
4622 c	+ 2743 - 31	+ 7595 - 23
4622 d	+ 2717 - 37	+ 7729 - 70
4622 e	+ 2655 - 47	+ 7859 - 97
4630 a	+ 2837 - 35	+ 7086 - 39
4631 a	+ 2786 - 50	+ 7125 - 66
4631 b	+ 2720 - 76	+ 7188 - 36
4631 c	+ 2711 - 31	+ 7276 - 19
4632 a	+ 2813 - 07	+ 7288 - 93
4637 a	+ 3214 - 45	+ 7297 - 65
4641 a	+ 2751 - 67	+ 7452 - 49
4641 b	+ 2784 - 18	+ 7594 - 52
4642 a	+ 2854 - 52	+ 7730 - 03
4642 b	+ 2763 - 27	+ 7702 - 90
4642 c	+ 3224 - 78	+ 7609 - 48
4650 a	+ 2855 - 80	+ 7771 - 78
4652 a	+ 2671 - 65	+ 7919 - 12
4653 a	+ 2731 - 62	+ 8138 - 30
4658 a	+ 3216 - 79	+ 7975 - 96
4658 b	+ 3236 - 00	+ 7948 - 31

VERBODINGSOMMERKE	
VM.1	+ 2748 - 70 + 8132 - 58
VM.2	+ 2750 - 68 + 7742 - 27
VM.3	+ 2742 - 70 + 7413 - 31
VM.4	+ 3203 - 40 + 6963 - 81
VM.5	+ 3226 - 16 + 7851 - 20

BAKEMERKTYPPE

A, B. ----- Ysterpaal
C, D. ----- Houtpaal in beton
E, F, G, H, J. ----- S' ysterpaal
VM.1, VM.2, VM.3, VM.4, VM.5. ----- S' ysterpaal, S' onder de grondspierste
Alle ander blyne is ----- S' ysterpaal.

Opgelees deur ons in

Maart 1968 en Julie 1968

Maart - Oktober 1968.

Edw. Wright
Landmeter

Lêer No. S/8775/86/1
Meerstukke No. E 1638/69
Kompilasië BL-7DD/W51, W53.
Oorspronklike Kaart No. 5190/1968

ENDOSSEMENTE — ENDORSEMENTS.	
No.	Byvoegsel
1	Erf 4621, 4622, 4623, 4624, 4625, 4626, 4627, 4628, 4629, 4630, 4631, 4632, 4633, 4634, 4635, 4636, 4637, 4638, 4639, 4640, 4641, 4642, 4643, 4644, 4645, 4646, 4647, 4648, 4649, 4650, 4651, 4652, 4653, 4654, 4655, 4656, 4657, 4658
2	Erf 4621, 4622, 4623, 4624, 4625, 4626, 4627, 4628, 4629, 4630, 4631, 4632, 4633, 4634, 4635, 4636, 4637, 4638, 4639, 4640, 4641, 4642, 4643, 4644, 4645, 4646, 4647, 4648, 4649, 4650, 4651, 4652, 4653, 4654, 4655, 4656, 4657, 4658

L.G. KANTOORNOTAS / S.G. OFFICE NOTES
Erven 4627 and 4628 included in consal vide Dgn 7161/92 Erf 16519

Edw. Wright
25.11.69

CONVEYANCER CERTIFICATE

IN TERMS OF SECTION 15(2)(b) and 15(2)(f) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW

APPLICATION DETAILS:

Date of Application: _____ September 2024

- **Subdivision** of Erf 16519 George in terms of Section 15(2)(d) of the George Municipality: Land Use Planning By-law (2023) in the following portions:
 - Portion A ($\pm 1391\text{m}^2$) (Single Residential Zone I – Dwelling house);
 - Remainder ($\pm 1352\text{m}^2$) (Single Residential Zone I – Dwelling house).

- **Permanent departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023) for the relaxation of the following building lines:
 - Portion A**
 - western street building line from 5.0m to 4.5m for the change in use of the corner of the existing outbuilding.
 - eastern side building line from 3.0m to 1.5m for the existing outbuilding of which a part is to become a dwelling house.
 - Remainder**
 - western side building line from 3.0m to 2.0m and 0.0 for the existing house

- **Permanent departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023) for the following for **Portion A**:
 - an increase in the garaging for vehicles from 6 to 10 (development parameter (g)(ii));
 - an increase in the width of the vehicle carriageway crossing from 8.0m to 17.825m for the existing carriageway crossing.

I, the undersigned

MARYKE LANDMAN

a duly qualified and admitted Conveyancer, practicing at:

RAUCH GERTENBACH GEORGE INC, 120 York Street, George

[Firm name and Address],

do hereby certify as follows:

1. I have perused the following Title Deed/s and conducted a search behind the pivot (T9158/1993) of the said title deed/s at the Deeds Office, Cape Town:



T9158/1993 [Current Title Deed]

In respect of:

**ERF 16519 GEORGE, IN THE MUNICIPALITY AND DIVISION OF GEORGE, WESTERN CAPE PROVINCE
IN EXTENT 2743 (TWO THOUSAND SEVEN HUNDRED AND FOURTY THREE) SQUARE METERS
HELD BY CERTIFICATE OF CONSOLIDATED TITLE NUMBER T9158/1993**

REGISTERED in the name of

The Estate of the Late ROELOF ANDRIES VERMEULEN Identity Number: 361024 5014 009

Estate Number: 5049/2022

And

WENDA VERMEULEN Identity Number: 400720 0020 007

2. I have appraised myself with the details of the abovementioned Land Development Application.

3. The abovementioned Title Deed/s contains no conditions restricting the contemplated Land Uses in terms of the abovementioned Land Development Application, save for a mortgage bond in favour of ABSA Bank, the cancellation of which we are attending to.

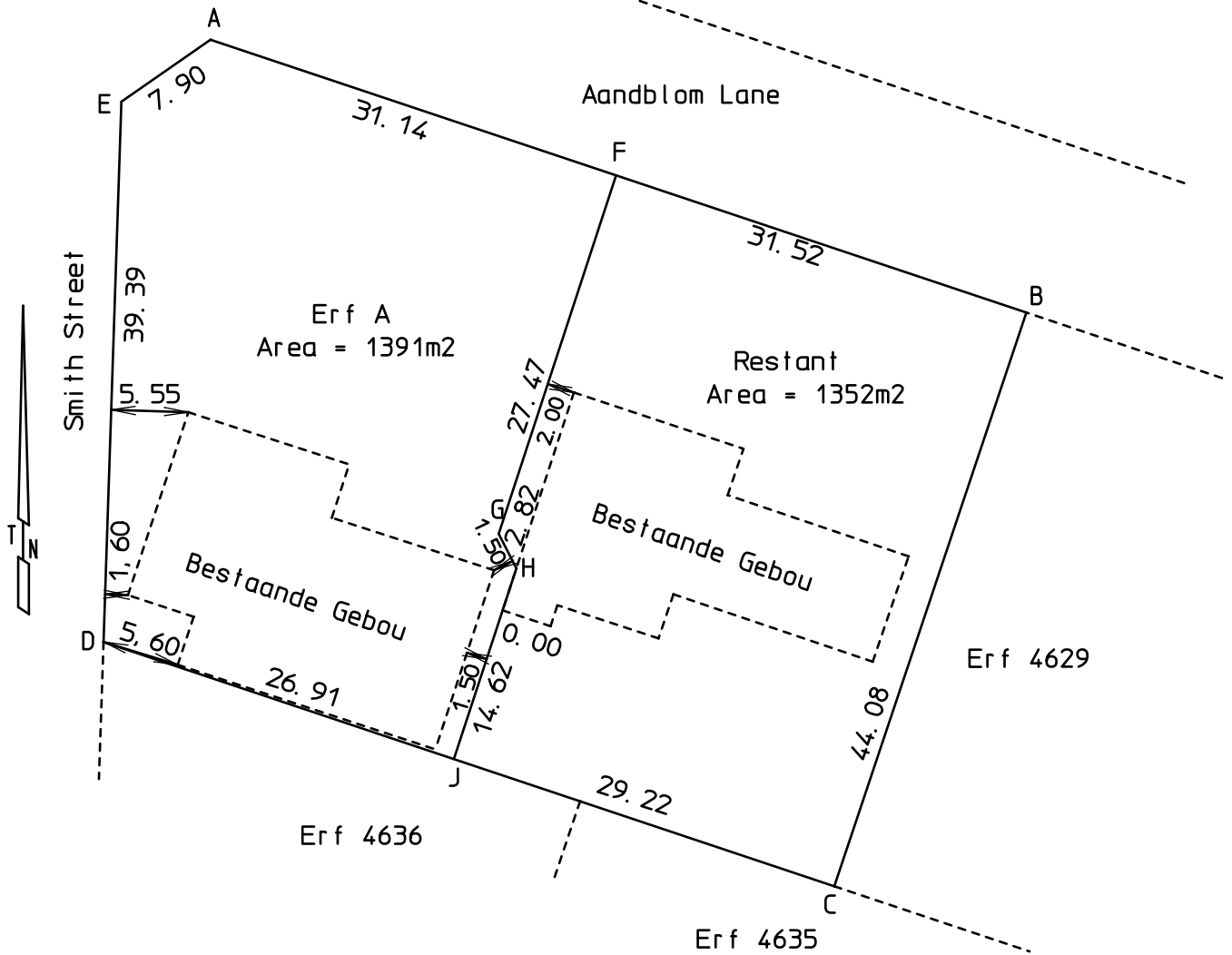
SIGNED at GEORGE on this 12 September 2024



CONVEYANCER

SUBDIVISION

Erf 4620



Notas:

- Figure ABCDE represents Erf 16519.
- Line FGHIJ - subdivisional line.

Our file ref no (G0492) July 2024

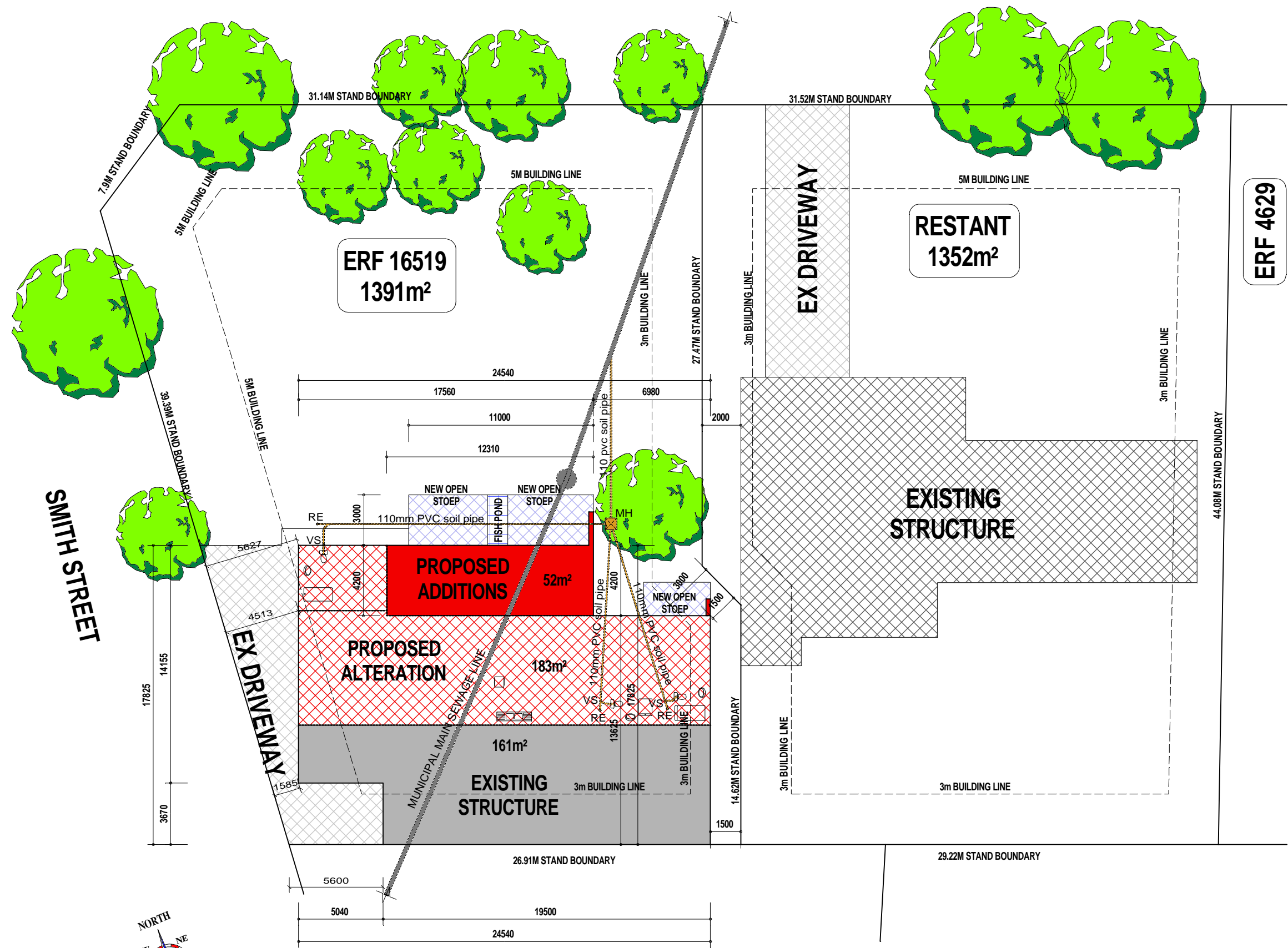
Tel: 044 874 0991

PROPOSED SUBDIVISION OF ERF 16519
 GEORGE
 (MUNICIPALITY AND ADMIN. DISTRICT GEORGE)

Scale 1 : 500



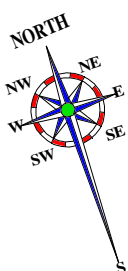
AANDBLOM LAAN



ERF 4629

AREAS	
EXISTING	161m ²
ALTERATIONS	183m ²
PROPOSED NEW	52m ²
TOTAL AREA	370m²
INTERNAL AREAS (COVERED)	
Home Occupation Facility	59m ²
Dwelling House	150m ²
Car Storage Area	161m ²
Total Area	370m²
EXTERNAL AREAS (OPEN)	
Stoep 1	14m ²
Stoep 2	14m ²
Stoep 3	7m ²
Fish Pond	5m ²
Total Area	40m²
Total Covered Area	370m²
Footprint	370m²
Erf	1391m²
Coverage %	26 %
Zoning	Residential

SMITH STREET



SITE PLAN
SCALE 1:250

ERF 4636

SA COUNCIL ARCHITECTS
Reg.no.PrArch20816

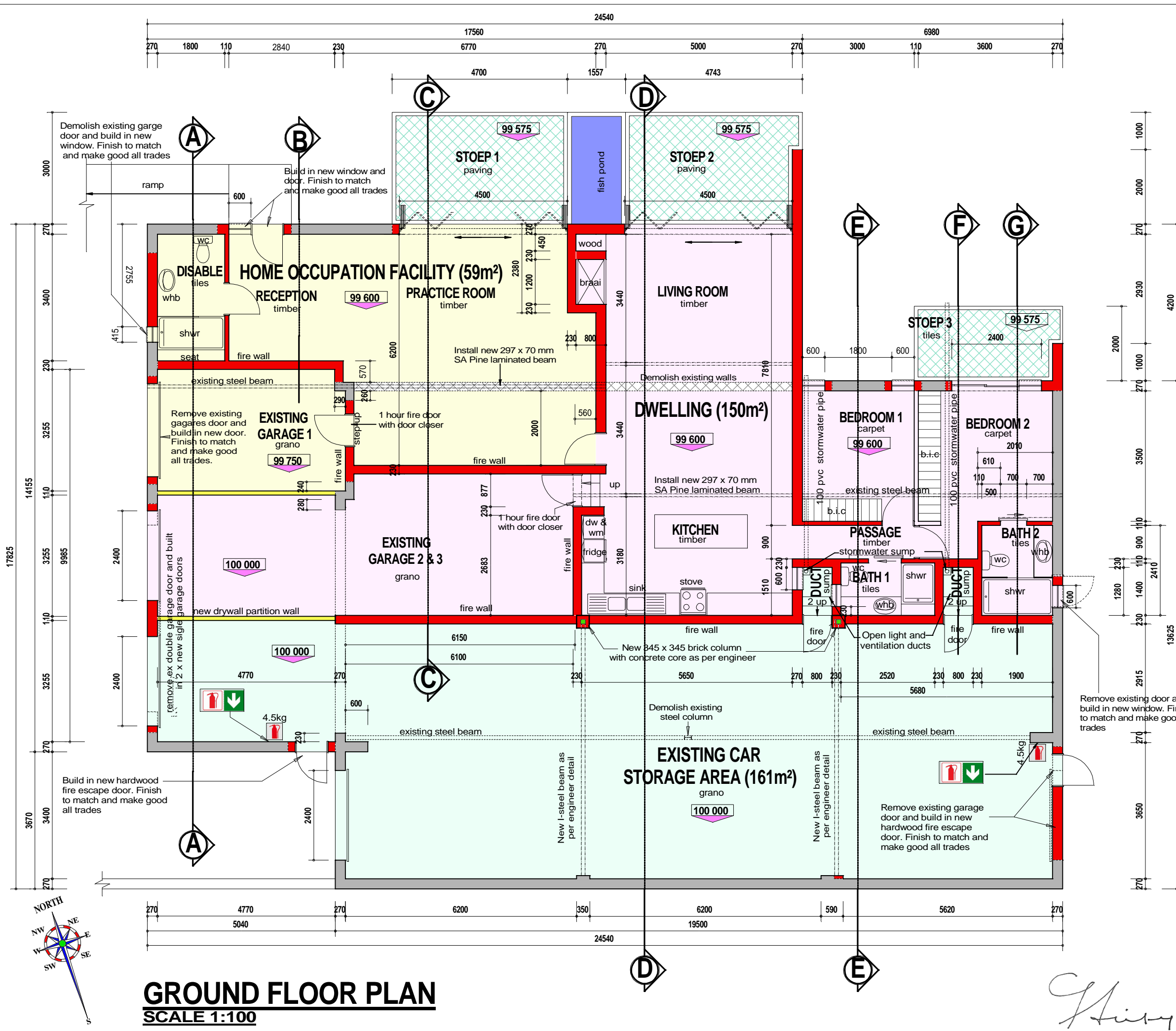
FRANCOIS SIEBERHAGEN
argitekte architects
& medewerkers & associates
Posbus/P.O. box 591, George, 6530 -
Tel. 082 417 0034

PROJEK / PROJECT:
PROPOSE ALTERATION AND EXTENTION TO EXISTING BUILDING TO CREATE HOME OCCUPATION FACILITY AND DWELLING HOUSE FOR ROELOF TRUST ON PORTION A ON ERF 16519, AANDBLOM LAAN, GEORGE

TEKENING OPSKRIF / DRAWING TITLE:
SITE PLAN

skaal / scale: 1:250	datum / date AUG 2024	geteken / drawn: jpc	nagesien / checked: fs
projek nr. / job no.:	tekening nr. / drawing nr. 001	hersiening / revision:	

Handwritten signature



GROUND FLOOR PLAN
SCALE 1:100

GENERAL NOTES

- GENERAL:**
- All work to comply with the National Building Regulations (SANS 10400), the applicable SABS codes of conduct and standards as prescribed by the National Home Builders Registration Council (NHBC).
 - All materials to be SABS or NHBC approved.
 - Boundary pegs to be identified by the Client. These are to be checked by the Contractor, including all levels, dimensions, steps, etc. Any apparent discrepancies between the site evaluation & the drawings are to be brought to the Designer's attention.
 - Figured dimensions to be taken in preference to scaling.
 - Foundation to take founding in solid undisturbed ground.
 - Electrical & plumbing work to be carried out by registered qualified subcontractors.
 - Concrete to foundation and surface bed to be 20MPa at 28 days.
 - Fill below surface bed to be well compacted in 150mm layers to achieve minimum 93% modified AASHTO. Use is to be made of suitable material which is free of clay content.
 - Brickwork to be built in below and above window level and every forth course in continuous bands.
 - Provide 4mm galvanized wire ties built 5 courses into external brickwork to secure rooftrusses to wall.
 - Provide laminated safety glass to all doors & windows where glazing is within 900mm above F.F.L.
 - Glazed tiling to full height in all bathrooms and kitchen.
 - Chimneys to be in accordance with part V of SANS 10400.
 - Timber to be in accordance with SANS 1063.
 - Drywalling to be in accordance with SANS 10400.
- FIRE PREVENTION:**
- Any roof space between garage and habitable areas shall be divided by a wall with a 30 minute fire rating.
 - Any door between garage & habitable areas to be solid timber core door, 40mm thick.
- FLOOR & WATERPROOFING:**
- Ground floor slab: 85mm thick, 20MPa concrete, perfectly level, min. 150 above N.G.L. on compacted hardcore min. 93% modified AASHTO: 25mm thick screed and finishes as indicated.
 - Structural concrete floors to eng. spec.
- FOUNDATIONS & BRICKWORK:**
- All foundations to be 20MPa concrete at least 250x750mm, min. 255 under ground level or to eng. spec.
 - Boundary walls foundation must not encroach over boundary and walls to be finished as per the finishing schedule.
 - Courtyard and screen walls to be at least 1.8m high above N.G.L.
 - Lintels to be supported min. 150mm for openings up to 3.0m and at least 220mm for openings up to 4.8m.
- STAIRS AND BALUSTRADE:**
- Stairs to be 900mm min. width, treads 250mm min., risers 190mm max., with 6mm max. deviation.
 - 1m high balustrade to all stairs and balconies with max. 100mm gaps.
 - Min. headroom to be 2.1m measured from pitchline.
- DRAINAGE:**
- Anti vac traps to all first floor waste fittings.
 - Drains not deeper than 350mm below ground to be protected against load.
 - Provide a chemical temporary toilet in position indicated: keep it in a hygienic and odourless state.
 - All drains to be 100Ø PVC with min 1:60, and max 1:40 fall
 - Stacks in ducts to be accessible for cleaning purposes.
- GLAZING:**
- All new Glazing to be in accordance with part N of SANS 10400
- GAS:**
- All new LPG installations to be in accordance with SANS 10087/1
- OPEN COVERED AREAS:**
- Patio/ Pergola/ Verandha/ Stoep / Braai Area / Carport to remain open as per building plan

SA COUNCIL ARCHITECTS
Reg.no.PrArch20816

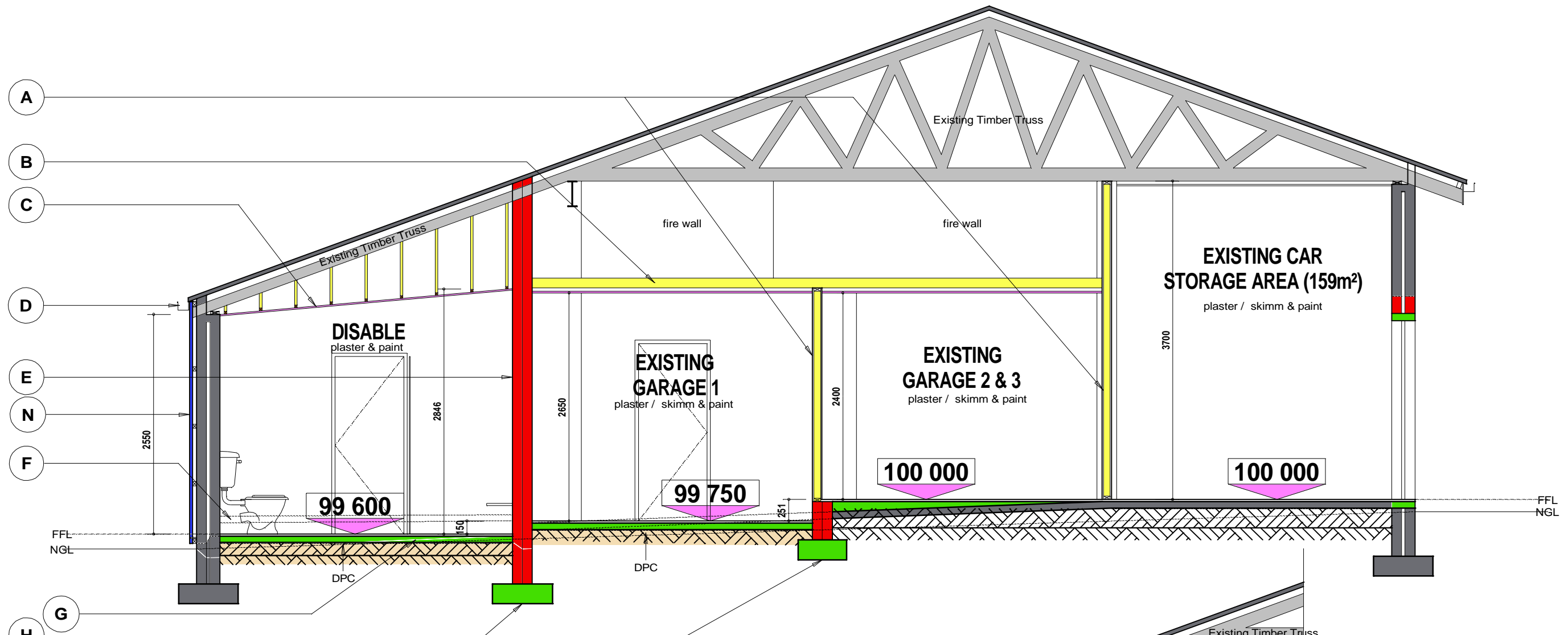
FRANCOIS SIEBERHAGEN
argitekte architects
& medewerkers & associates
Postbus/P.O. box 591, George, 6530 -
Tel. 082 417 0034

PROJEK / PROJECT:
PROPOSE ALTERATION AND EXTENTION TO EXISTING BUILDING TO CREATE HOME OCCUPATION FACILITY AND DWELLING HOUSE FOR ROELOF TRUST ON PORTION A ON ERF 16519, AANDBLOM LAAN, GEORGE

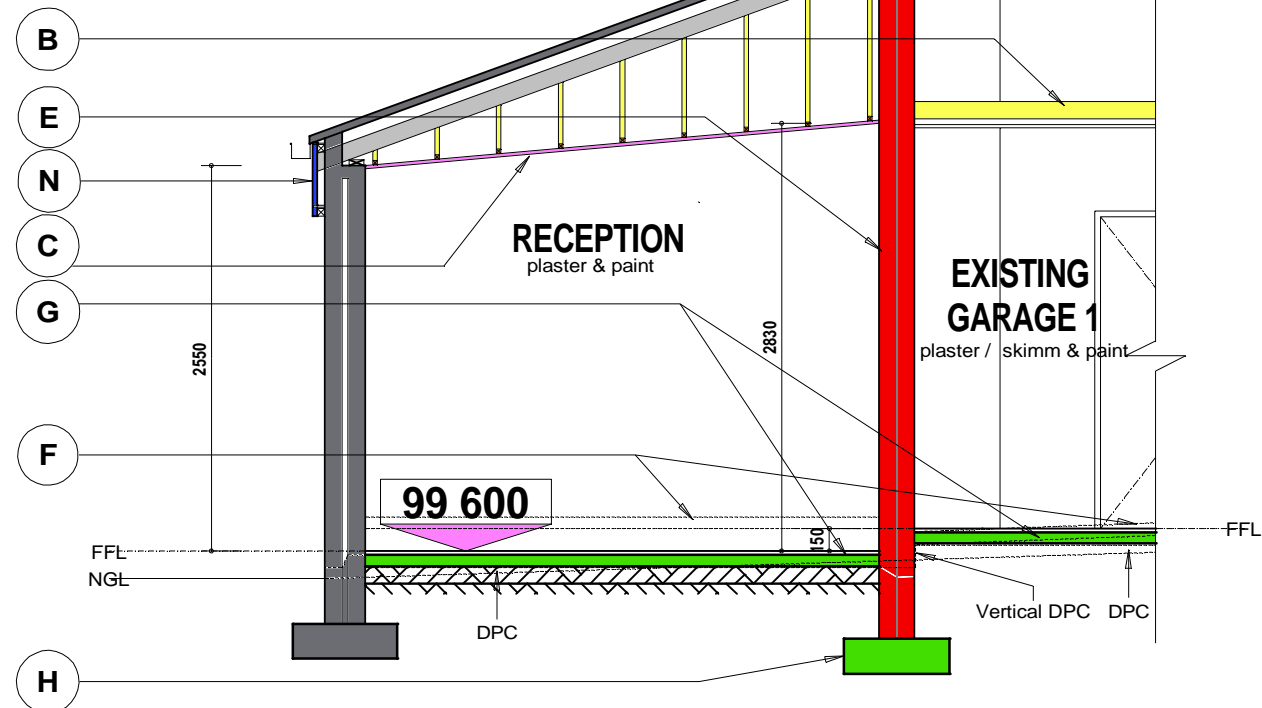
TEKENING OPSKRIF / DRAWING TITLE:
GROUND FLOOR PLAN

skaal / scale: 1:100	datum / date AUG 2024	geteken / drawn: jpc	nagesien / checked: fs
projek nr. / job no.:	tekening nr. / drawing nr. 002	hersiening / revision:	

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SECTION A-A
SCALE 1:50



SECTION B-B
SCALE 1:50

GENERAL NOTES	
A Dry-wall : 38 x 114mm SA Pine subframe clad with Gypsum Rhino Board. Skimm and paint. Colour as per the owner.	J Existing Roof trusses : Remove indicated portion of existing truss and replace roof with new roof as described in Construction note K
B Ceiling 1 : New PVC ceilings on 38 x 38mm SA Pine branderling @ 400m cc on 152 x 52mm SA Pine rafters @ 1000mm cc and 115 mineral wool insulation.	K Skylight : Translucent Polycarb sheet in IBR profile to form new skylight
C Ceiling 2 : New PVC ceilings on 38 x 38mm SA Pine branderling @ 400m cc and 115 mineral wool insulation. All fitted at 5deg angle.	L Roof : 5 ° angle Prepainted Zicalume Roof sheeting on Sisalation DMP on 76 x 52 SA Pine purlins @ 1000mm cc on 152 x 52 SA Pine rafters @ 1000mm cc. Colour as per owner.
D Rainwater goods : Seamless aluminium gutter and downpipes. Colour as per owner	M Braai Chimney : 350mm diameter steel flue with rotating rooster
E Brickwork : SANS 10400-B Structure to comply with part "K" of the NBR. Ext. & int walls standard. 375 micron damp proof course under all walls & window cills. Mortar to have a comprehensive strength of 20 Mpa and class II mortar mixture of 1:4 Lintols above all window & door openings, unless specified otherwise.	N Cladding : Prepainted Zicalume sheets on 38 x 38 SA pine cleats @ 1000 cc. Colour as per owner
F Existing surfacebed : Remove existing surfacebed and install new at indicted level. Make good all trades	O Duct : Roof opening to allow natural light and ventilation for duct. Water proofing to be done by specialist
G New Surfacebed : Non-slip floor tile/ timber flooring on 40mm sand/cement screed on 85mm concrete surfacebed on dpc on 50mm sand-layer on well compacted fill as per building regulations. Fill must be free of any organic material.	P Sump floor : Approve water proof in on 40mm sand/cement screed with 1:60 fall to stormwater drain on 85mm concrete surfacebed on dpc on 50mm sand-layer on well compacted fill as per building regulations. Fill must be free of any organic material.
H Foundation : Concrete strip foundations as per engineers detail	R Laminated Beams 296 x 70mm SA Pine laminated timber beam.
	S Ceiling 3 : New PVC ceilings on 38 x 38mm SA Pine branderling @ 400m cc. to the underside of the existing roof structure with 115 mineral wool insulation layed on top

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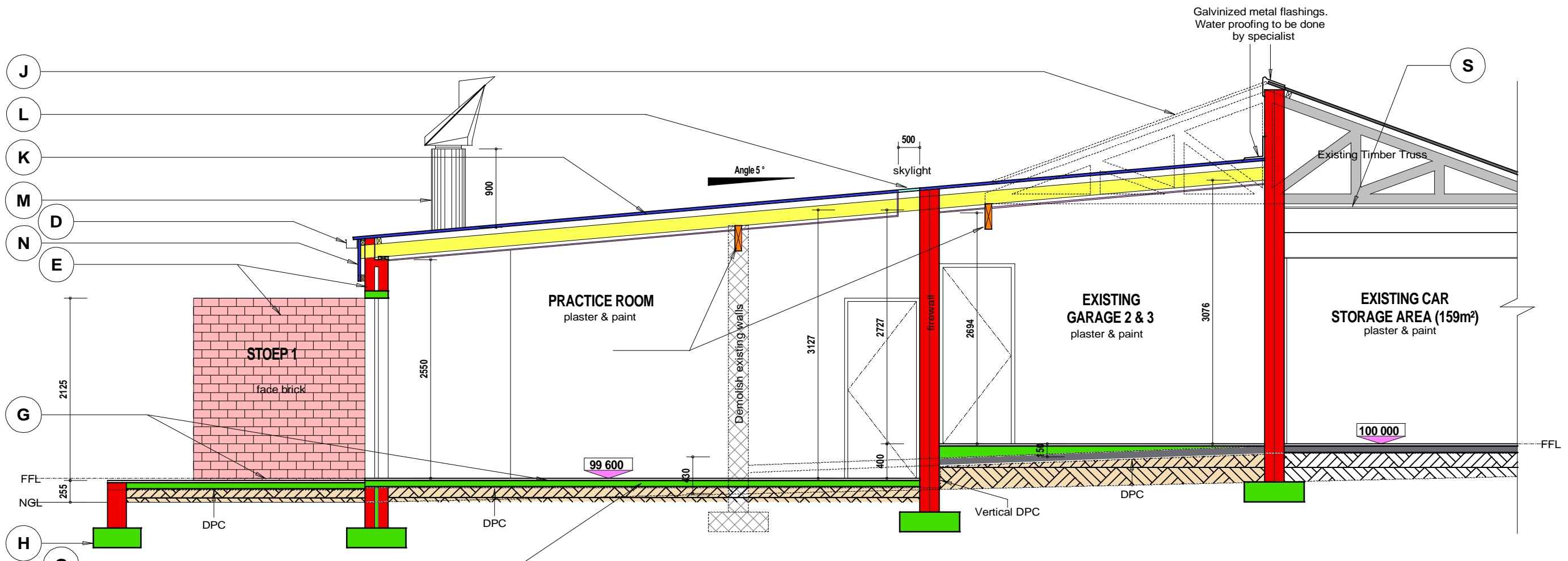
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PROJEK / PROJECT:
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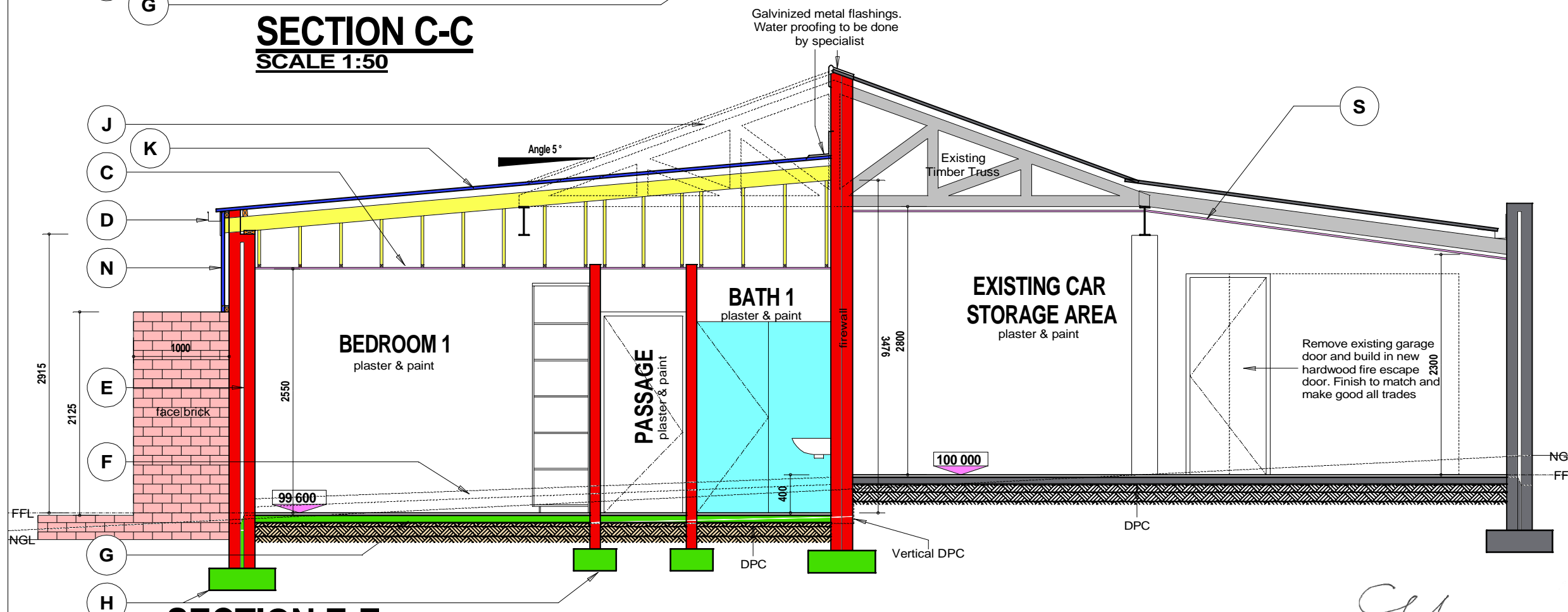
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**SECTION A-A
SECTION B-B**

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1:50	AUG 2024	jpc	fs
projek nr. / job no.:	tekening nr. / drawing nr.	hersiening / revision:	
	003		

G. H. H. H.



SECTION C-C
SCALE 1:50



SECTION E-E
SCALE 1:50

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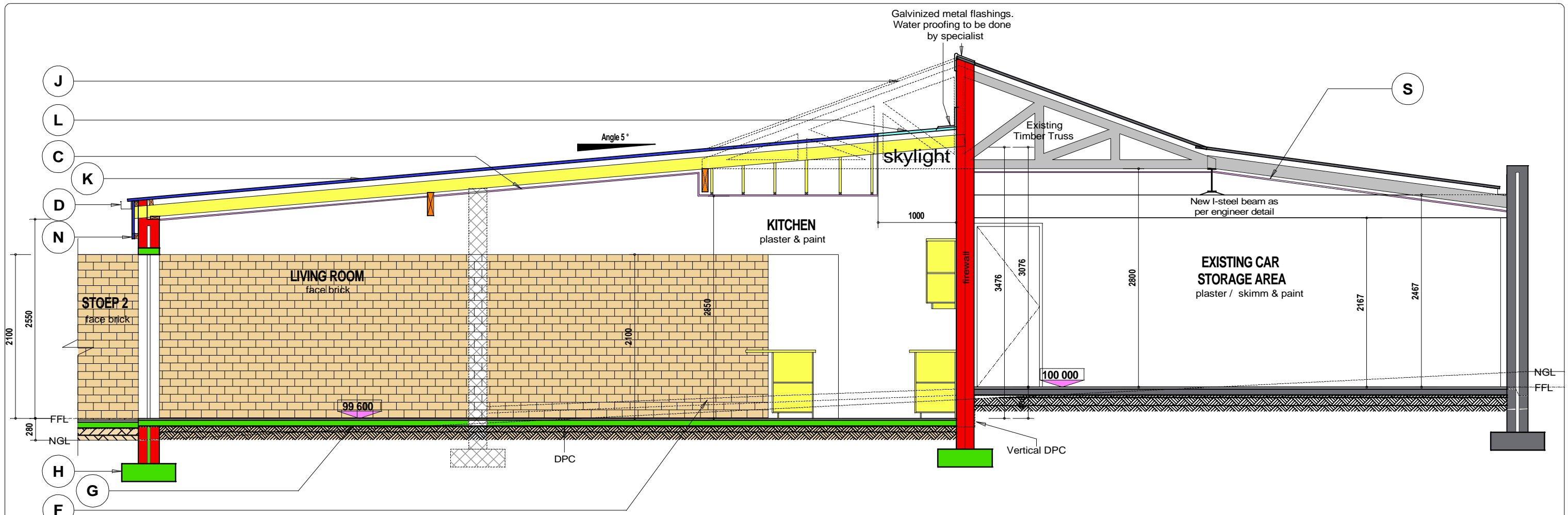
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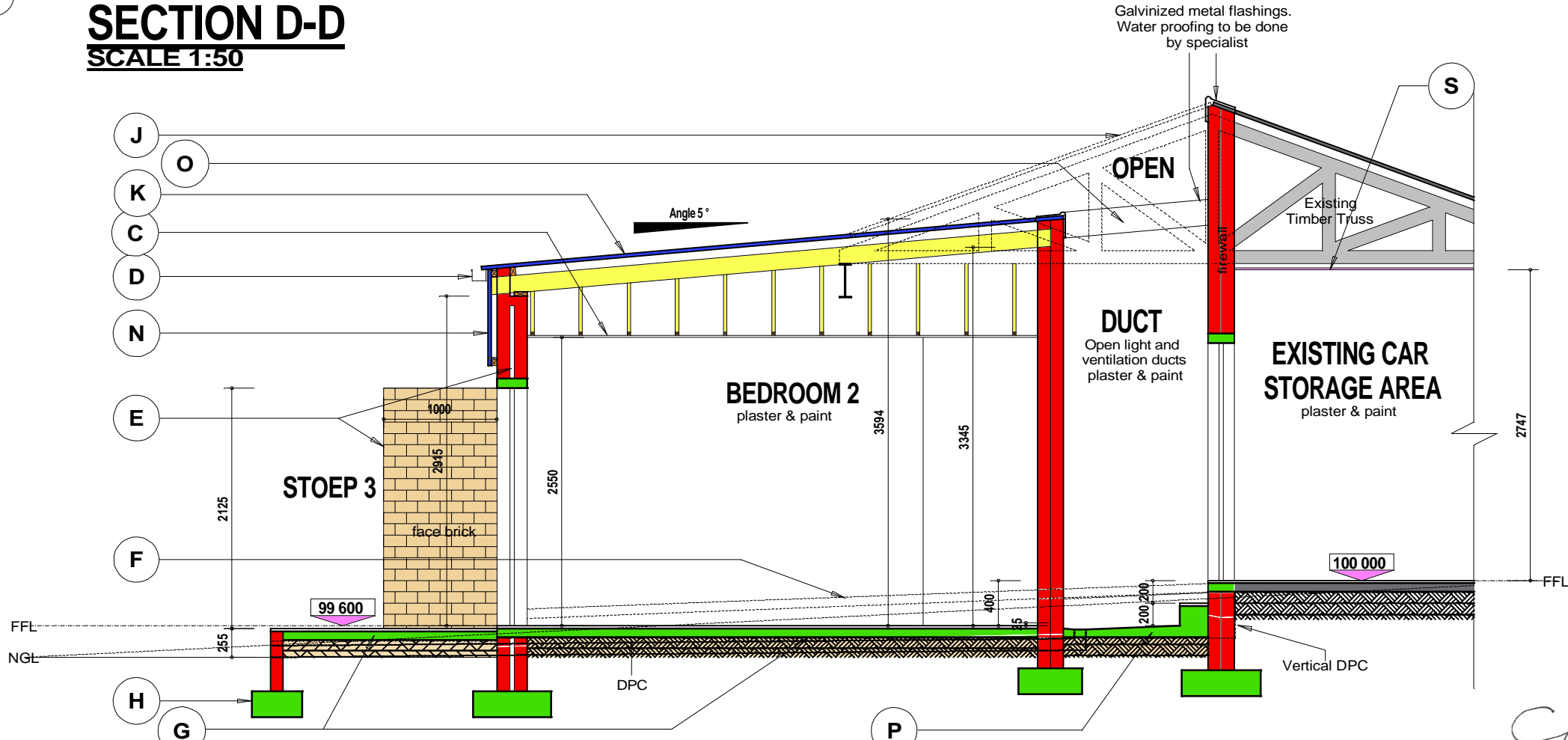
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**SECTION C-C
SECTION E-E**

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1:50	AUG 2024	jpc	fs
projek nr. / job no.:	tekening nr. / drawing nr.	herziening / revision:	
	004		

G. H. H. H.



SECTION D-D
SCALE 1:50



SECTION F-F
SCALE 1:50

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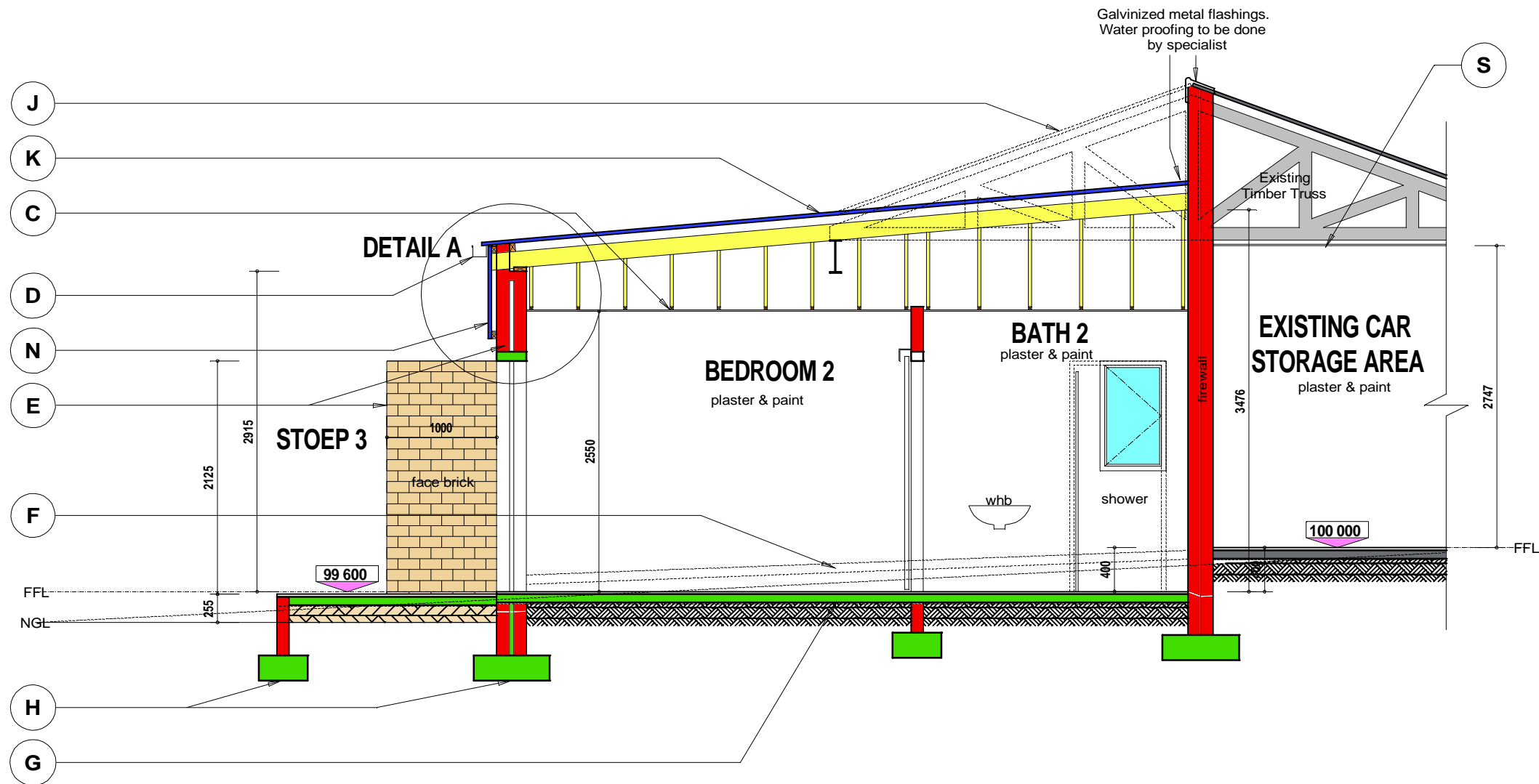
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PROJEK / PROJECT:
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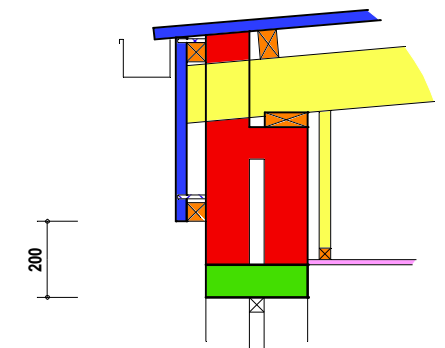
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**SECTION D-D
SECTION F-F**

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projek nr. / job no.:	tekening nr. / drawing nr. 005	herziening / revision:	

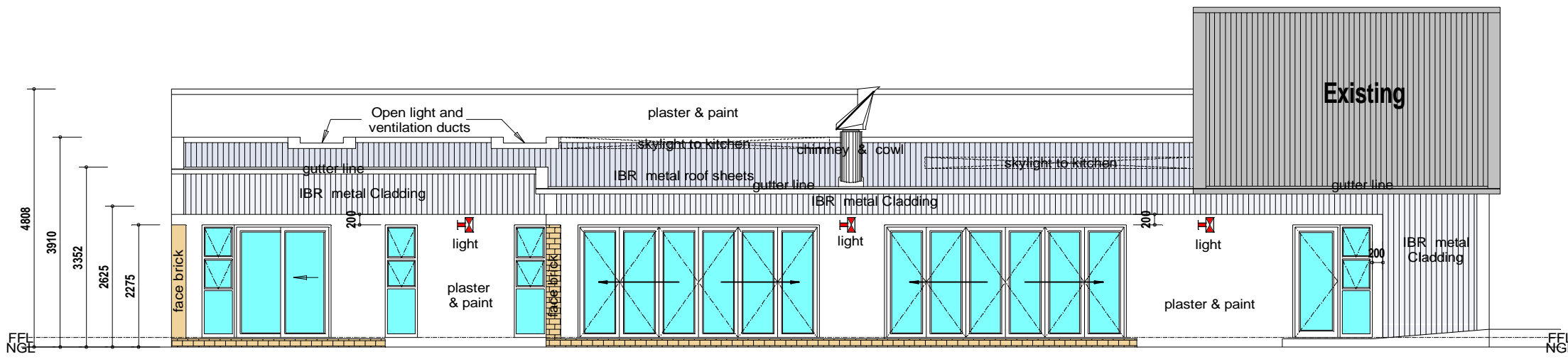
G. H. H. H.



SECTION G-G
SCALE 1:50



DETAIL A
SCALE 1:20



NORTH ELEVATION
SCALE 1:100

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Reg.no.PrArch20816

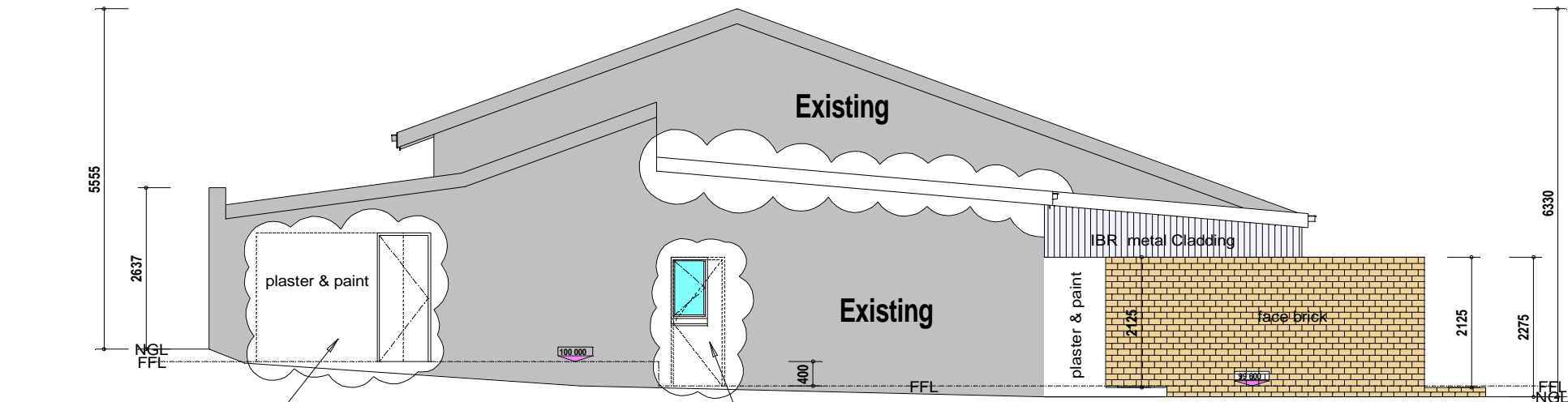
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ERF 16519, AANDBLOM LAAN, GEORGE**

TEKENING OPSKRIF / DRAWING TITLE:
**NORTH ELEVATION
SECTION G-G
DETAIL A**

skaal / scale: 1:100 1:50 1:20	datum / date AUG 2024	geteken / drawn: jpc	nagesien / checked: fs
projek nr. / job no.:	tekening nr. / drawing nr. 006	hersiening / revision:	

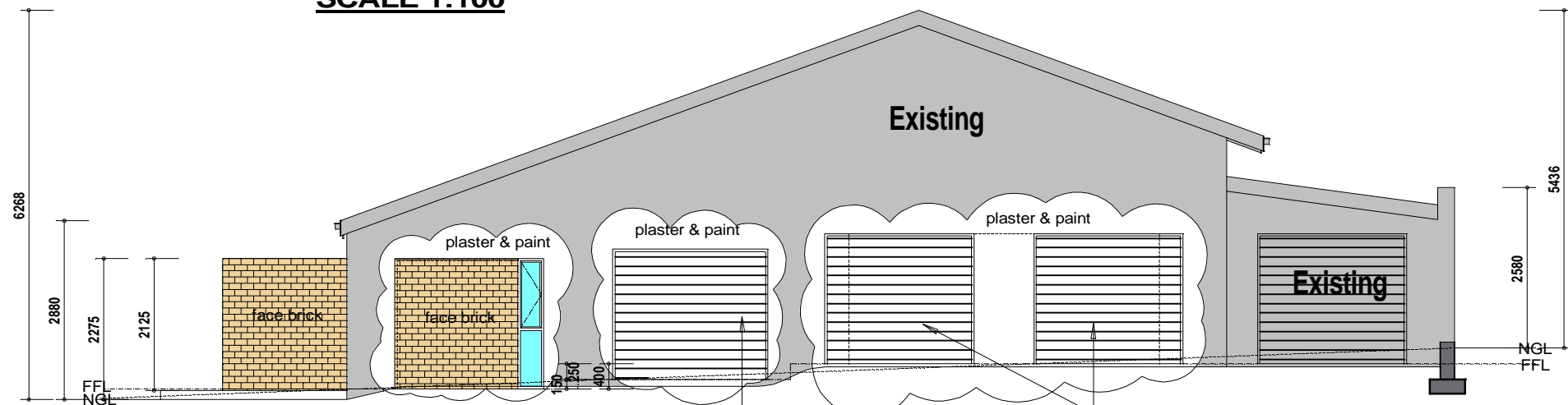
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Remove existing garage door and build in new hardwood fire escape door. Finish to match and make good all trades

Remove existing door and build in new window. Finish to match and make good all trades

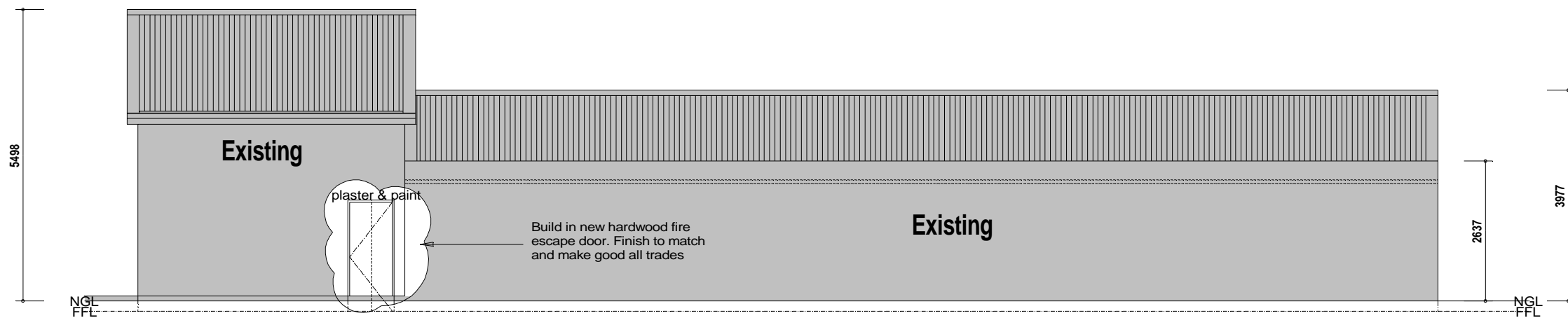
EAST ELEVATION
SCALE 1:100



Remove existing garage door and build in new door. Finish to match and make good all trades.

Remove ex double garage door and built in 2 x new single garage doors

WEST ELEVATION
SCALE 1:100



Build in new hardwood fire escape door. Finish to match and make good all trades

SOUTH ELEVATION
SCALE 1:100

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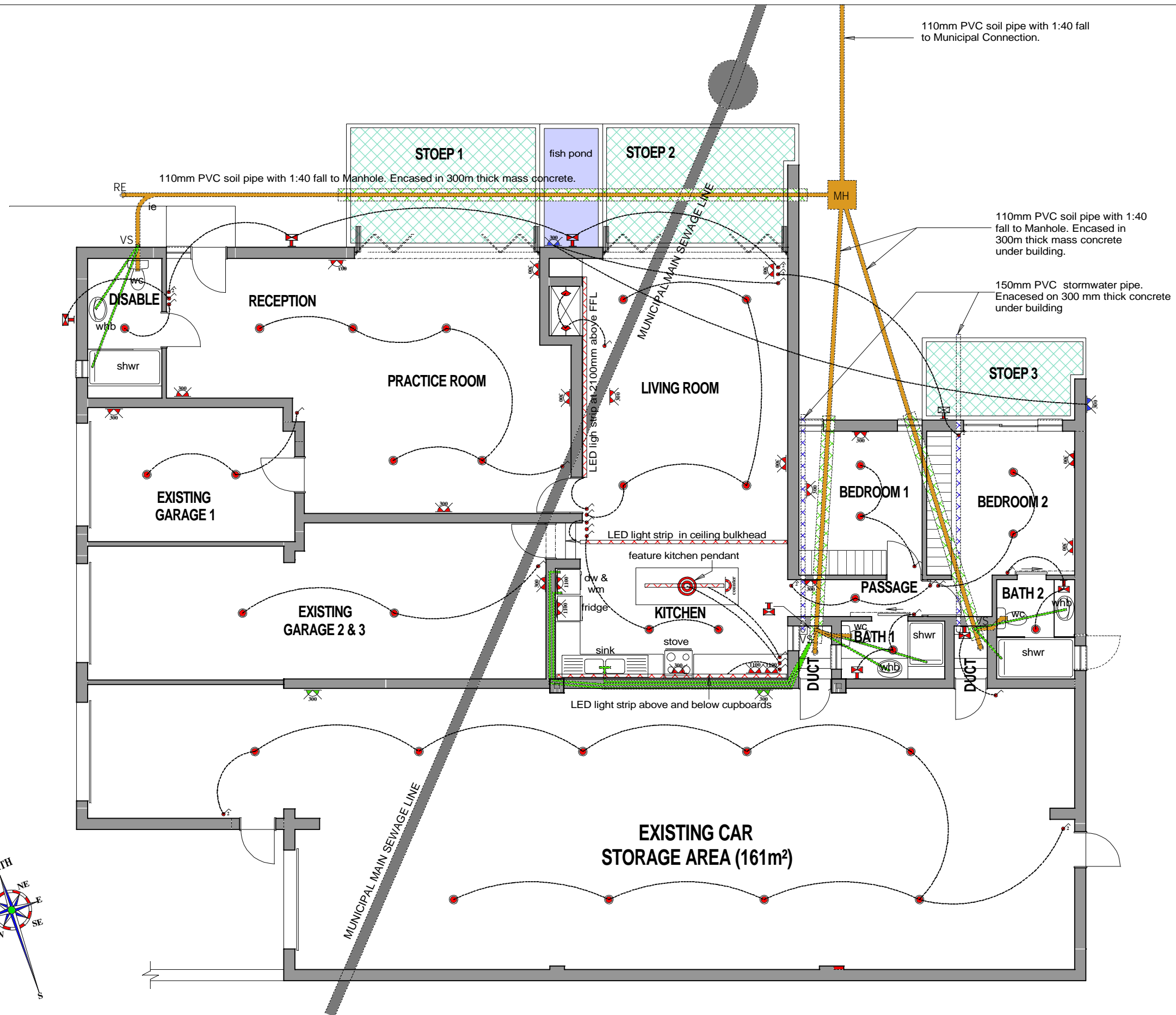
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PROJEK / PROJECT:
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TEKENING OPSKRIF / DRAWING TITLE:
**SOUTH ELEVATION
EAST ELEVATION
WEST ELEVATION**

skaal / scale: 1:100	datum / date AUG 2024	geteken / drawn: jpc	nagesien / checked: fs
projek nr. / job no.:	tekening nr. / drawing nr. 007	herziening / revision:	

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ELECTRICAL LEGEND	
LIGHT POINTS	● CEILING MOUNTED RECESSED SPOTLIGHT
	● OUTDOOR SPOTLIGHT ATTACHED TO THE PERGOLA
	⊥ WALL MOUNTED WATERPROOF LIGHT POINT 2100MM ABOVE FFL
	⬮ WALL BRAAI LIGHT FIRE RESISTANT
	⊥ 5M LED STRIP LIGHT
PLUGS	⊥ DOUBLE 15AMP PLUG, 300MM ABOVE FFL
	⊥ DOUBLE 15AMP PLUG, 1200MM ABOVE FFL
	⊥ DOUBLE 15AMP PLUG, 300MM ABOVE FFL (NOT WALL MOUNTED)
	⊥ DOUBLE 15AMP PLUG, 300MM ABOVE FFL
	⊥ COUNTER POP UP PLUG UNIT DOUBLE 15AMP PLUG,
SWITCHES	⊥ ONE WAY SWITCH 1200 MM ABOVE FFL
	⊥ TWO WAY SWITCH 1200 MM ABOVE FFL
	⊥ THREE WAY SWITCH 1200 MM ABOVE FFL

DRAINAGE NOTES:
 DISCHARGE PIPES LOCATED WITHIN A BUILDING TO BE ENCLOSED WITHIN A DUCT AND TO BE SHAPE AND SIZE READILY ACCESSED FOR CLEANING IN TERMS OF SANS 10400 PART P, 4.18
 DISCHARGE OVER THAT GULLY AS PER PART P OF SANS 10400 (4.21).
 DRAINAGE INSTALLATION TO COMPLY WITH SANS 10400 PART P.
 DRAINAGE INSTALLATIONS UNDER BUILDING WORK MUST BE INSTALLED IN TERMS OF PART P OF SANS 10400 (4.19.4).
 DRAINAGE INSTALLATIONS UNDER BUILDING WORK MUST BE PROTECTED IN TERMS OF PART P OF SANS 10400 (4.22.2).
 GULLY TO BE MIN 150MM ABOVE GROUND AND 50MM ABOVE PAVING

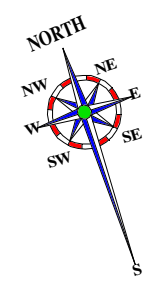
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TEKENING OPSKRIF / DRAWING TITLE:
GROUND FLOOR PLAN

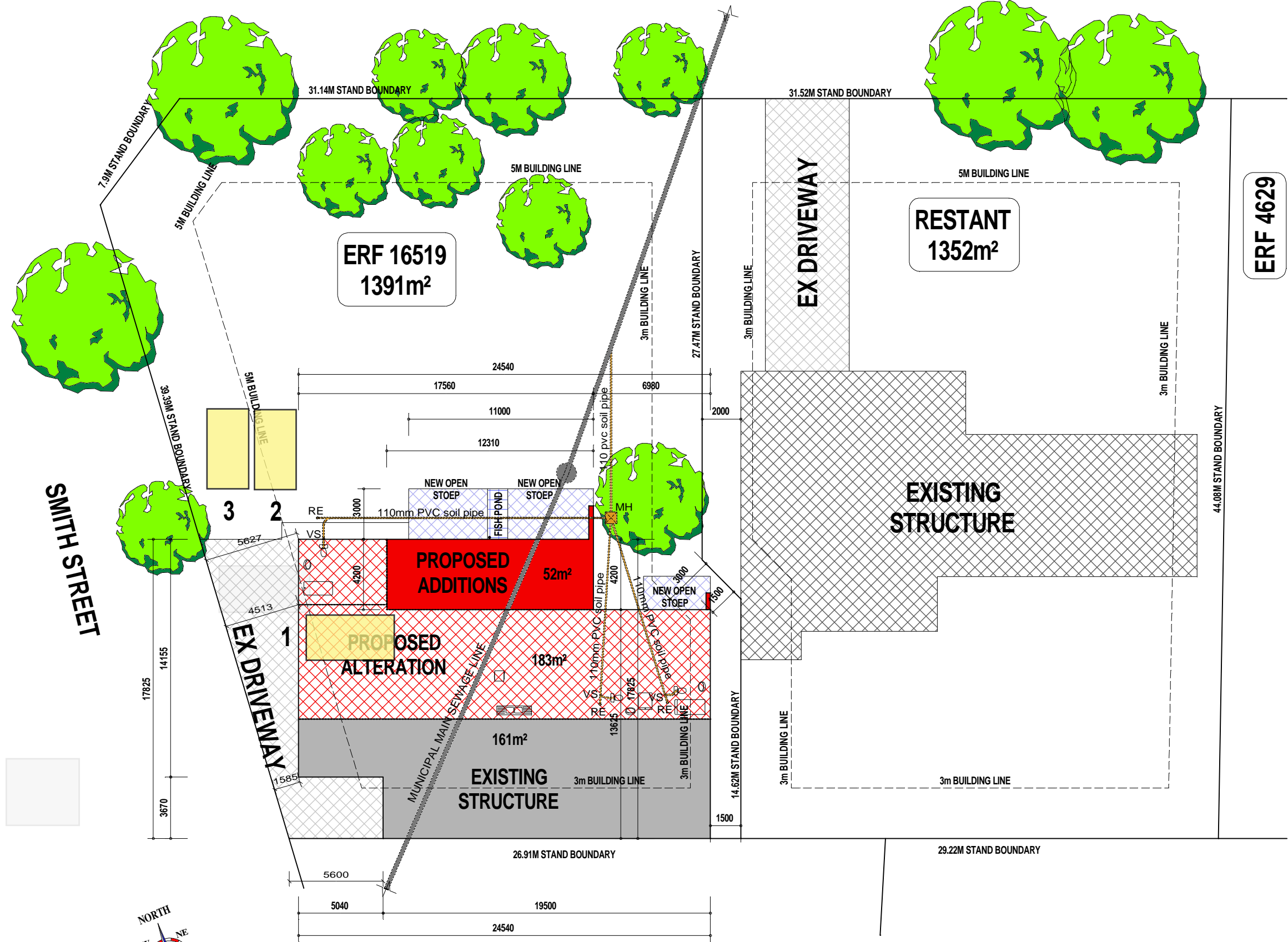
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	008		



ELECTRICAL & DRAINAGE LAYOUT
GROUND FLOOR PLAN
SCALE 1:100

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AANDBLOM LAAN



SITE PLAN
SCALE 1:250

ERF 4636

ERF 4629

AREAS	
EXISTING	161m ²
ALTERATIONS	183m ²
PROPOSED NEW	52m ²
TOTAL AREA	370m²
INTERNAL AREAS (COVERED)	
Home Occupation Facility	59m ²
Dwelling House	150m ²
Car Storage Area	161m ²
Total Area	370m²
EXTERNAL AREAS (OPEN)	
Stoep 1	14m ²
Stoep 2	14m ²
Stoep 3	7m ²
Fish Pond	5m ²
TotalArea	40m²
Total Covered Area	370m²
Footprint	370m²
Erf	1391m²
Coverage %	26 %
Zoning	Residential

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ERF 16519, AANDBLOM LAAN, GEORGE**

TEKENING OPSKRIF / DRAWING TITLE:
SITE PLAN

skaal / scale: 1:250	datum / date AUG 2024	geteken / drawn: jpc	nagesien / checked: fs
projek nr. / job no.:	tekening nr. / drawing nr. 001	hersiening / revision:	

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