



The Municipal Manager
P. O. Box 19
George
6530

Reference: Erf 5012 George

12 August 2024

Sir

**APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATIONS):
ERF 5012 GEORGE**

Attached hereto, please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of following building lines on Erf 5012 George:

- the street boundary building line from 4.0 metres to:
 - 2.310 metres and 2.565 metres to accommodate improvements to the eastern façade of the dwelling house and the proposed pergola on the south-eastern side of the dwelling house; and
 - 0.710 metres to accommodate the proposed balcony above the covered entrance.
- the southern side boundary building line from 2.0 metres to 0.0 metres to accommodate a new laundry and toilet.

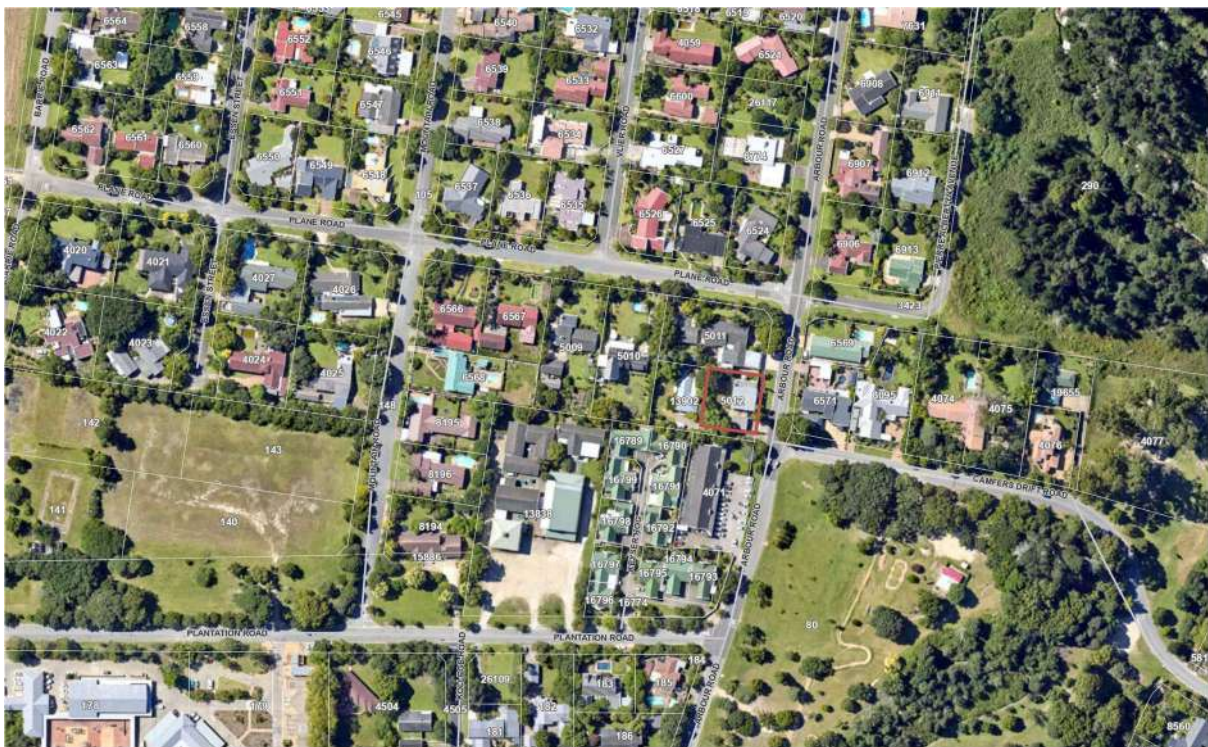
Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATIONS)
ERF 5012 GEORGE

12 August 2024



Prepared for:

Red Dot Catering (Pty) Ltd
P O Box 1195
George
6530

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SACPLAN Registration No A/1386/2011

INDEX

1. APPLICATION

2. DEVELOPMENT PROPOSAL

3. GENERAL INFORMATION IN RESPECT OF ERF 5012 GEORGE

- 3.1 Locality
- 3.2 Existing land use
- 3.3 Extent of erf
- 3.4 Present Zoning
- 3.5 Surveyor General Diagram
- 3.6 Title Deed
- 3.7 Power of attorney
- 3.8 Bondholder's consent
- 3.9 Conveyancer certificate

4. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATIONS): ERF 5012 GEORGE

- 4.1 Introduction
- 4.2 Existing planning in the area
- 4.3 Impact on schools, open spaces and other community facilities
- 4.4 Impact on sunlight, view and privacy
- 4.5 Impact on streetscape
- 4.6 Impact on property values
- 4.7 Impact on provision of parking
- 4.8 Impact on traffic circulation
- 4.9 Provision of services
- 4.10 Firefighting

5. CONCLUSION

ANNEXURES

Annexure "A": Proposed site plan and building plan

Annexure "B": Application form

Annexure "C": Locality plan

Annexure "D": Surveyor General Diagram

Annexure "E": Title Deed

Annexure "F": Company Registration document

Annexure "G": Power of Attorney

Annexure "H": Conveyancer Certificate

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF BUILDING LINES)
ERF 5012 GEORGE

1. APPLICATION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 5012 George:

- the street boundary building line from 4.0 metres to:
 - ⇒ 2.310 metres and 2.565 metres to accommodate improvements to the eastern façade of the dwelling house and the proposed pergola on the south-eastern side of the dwelling house; and
 - ⇒ 0.710 metres to accommodate the proposed balcony above the covered entrance.
- the southern side boundary building line from 2.0 metres to 0.0 metres to accommodate a new laundry and toilet.

The proposed building line encroachments are indicated on the proposed site plan and building plans attached hereto as **Annexure "A"**. The completed application form for the application for permanent departure is attached hereto as **Annexure "B"**.

2. DEVELOPMENT PROPOSAL

Erf 5012 George has been developed with a dwelling house consisting of 1 bedroom, 1 bathroom, a toilet, an open plan kitchen / dining area / lounge, tv room, entrance foyer, scullery and internal staircase on ground floor and 3 bedrooms and 3 bathrooms on the first floor, and a separate double garage, laundry and toilet, a wendy house and 2 rainwater tanks. The development is rounded off with a neatly kept front garden, consisting of lawn, paving and trees

and shrubs. The back garden consists of lawn, trees and shrubs. The double garage has direct access to Arbour Road.

The owners intend a total renovation of the dwelling house by modernizing the elevations, adding new balconies and converting the tv room into 2 bedrooms each with its own new bathroom. It is also intended to demolish the existing double garage situated on the southern side boundary and to replace the double garage with a new laundry, also situated on the southern side boundary of the erf. Undercover parking will be provided by means of a new, free-standing shade-net carport, to the west of the present garage. The following photo, which was taken eastwards from the rear boundary, shows the west elevation of the dwelling house, with the garage to be demolished, to the right thereof.



The extent of the application erf is 941m². The coverage and building lines applicable to a “dwelling house” are set out in a table in Schedule II of the George Integrated Zoning Scheme, 2023. The street building line applicable to a dwelling house on an erf larger than 500m², but not larger than 1 000m² is 4.0 metres and the side and rear building lines are 2.0 metres, whilst the coverage applicable is the larger of 325m² or 50% of the area of the erf.

The total ground floor area of the dwelling house, laundry, carport and pergolas will be 268.14m², which is considerably lower than the maximum coverage allowed.

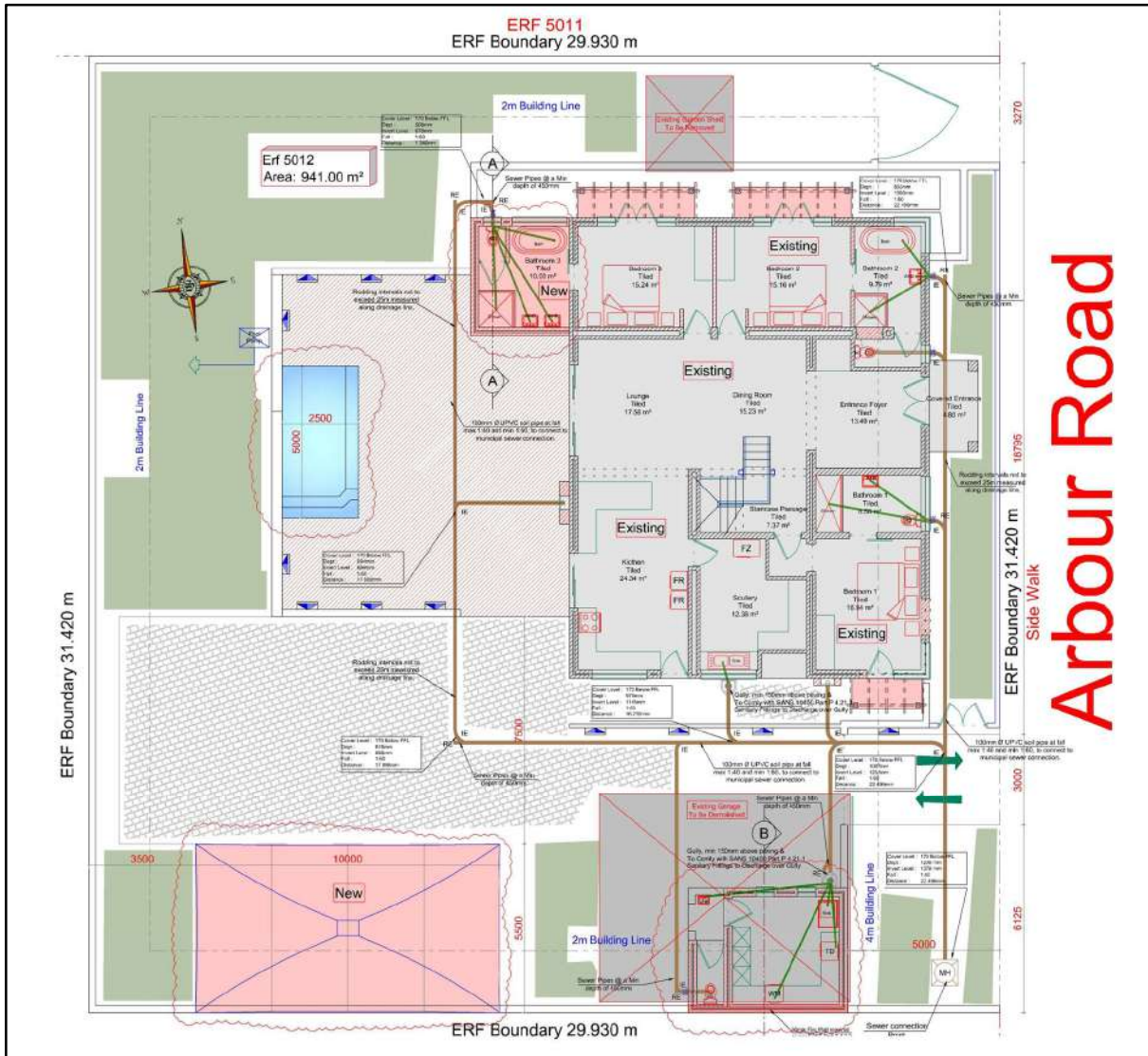
The eastern wall of the dwelling house and the proposed pergola transgresses street boundary building line between 1.69 metres and 1.435 metres. The house has been in existence for many years. The proposed improvements to the elevations include cladding, painting and repositioning and replacing some windows and doors. These improvements will have no influence on the position of the eastern wall in relation to the street boundary. A small pergola will be added to the south-eastern corner of the dwelling house. Due to the light-weight construction, the structure will be unobtrusive and will not have an impact on the street elevation.

The proposed laundry will be situated on the southern side boundary and will transgress the southern side boundary building line. The street front of this building, which replaces the existing garage, which transgresses the same side boundary building line, is considerably narrower than that of the double garage. There will be no windows or doors in the wall facing the street. The impact of this building will, therefore, be less than that of the current garage.

The following photo shows the street elevation of the current double garage, which will be replaced by the smaller laundry.



The following site plan and building plan indicates the position of the existing and proposed buildings in relation to the erf boundaries and building lines.



A copy of the site plan is attached hereto as part of **Annexure “A”**.

The purpose of this application is to obtain approval of the permanent departure for the relaxation of the building lines as mentioned in point 1 of this motivation report to facilitate the submission and approval of a building plan in respect of the mentioned improvements.

3. GENERAL INFORMATION IN RESPECT OF ERF 5012 GEORGE

3.1 Locality

Erf 5012 George is situated at 29 Arbour Road, Glen Barrie. The locality of the erf is indicated on the locality plan attached hereto as **Annexure “C”**.

3.2 Existing land use

The application erf is used for residential purposes.

3.3 Extent of erf

The total area of Erf 5012 George is 941m².

3.4 Present zoning

In terms of the George Integrated Zoning Scheme, 2023, the zoning of Erf 5012 George is Single Residential Zone I.

3.5 Surveyor General Diagram

A copy of the Surveyor General Diagram of Erf 5012 George is attached hereto as **Annexure “D”**.

3.6 Title Deed

Erf 5012 George is registered in the name of Red Dot Catering (Pty) Ltd Registration number 2005/155029/07. A copy of the Title Deed for Erf 5012 George is attached hereto as **Annexure “E”**.

3.7 Power of Attorney

A certificate issued by the Commissioner of Companies & Intellectual Property Commission on 13 March 2020, certifying that Natasha Liebenberg, ID Number 800616 0041 08 2 and Christiaan Stephanus Liebenberg, ID Number 780927 5228 08 5 are the only Directors of Red Dot Catering (Pty) Ltd Registration number 2005/155029/07, the registered owner of Erf 5012 George, is attached hereto as **Annexure “F”**.

A Power of attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Natasha Liebenberg and Christiaan Stephanus Liebenberg, the Directors of Red Dot Catering (Pty) Ltd Registration number 2005/155029/07, the registered owner of Erf 5012 George, to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “G”**.

3.8 Bondholder’s consent

Erf 5012 George is not encumbered by a bond.

3.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 5012 George is attached hereto as **Annexure “H”**. The certificate confirms that there are no conditions in the Title Deed of the erf which prohibits the development of the erf as proposed in this application.

4. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATIONS): ERF 5012 GEORGE

4.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as permanent departures for building line relaxations.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of erf values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

4.2 Existing planning in the area

The application erf is situated in the eastern side of Glen Barrie. The area surrounding Erf 5012 George has a predominantly single residential land use character, with dwelling houses and outbuildings, situated in neatly kept gardens. A small shopping centre is situated to the south of the erf.

The owner intends to renovate the exterior of the dwelling house inter alia, by modernizing the elevations by means of cladding portions of the walls and installing new windows and balconies. It is also intended to demolish the existing double garage situated on the southern side boundary and replace the building with a new laundry in a similar position. The proposed elevations are indicated on the site plan and building plan referred to in point 2 of this motivation report and attached hereto as **Annexure “A”**. Due to the dwelling house transgressing the street boundary building line, the purpose of this application is to obtain approval for a permanent departure for the relaxation of the mentioned building lines.

The dwelling house has been in existence for many years. The upgrading of the building as indicated on the proposed site and building plan will not result in the dwelling house being extended towards the street. The upgraded dwelling house will still be used for residential purposes as described in the land use description of a “dwelling house” in the George Integrated Zoning Scheme, 2023.

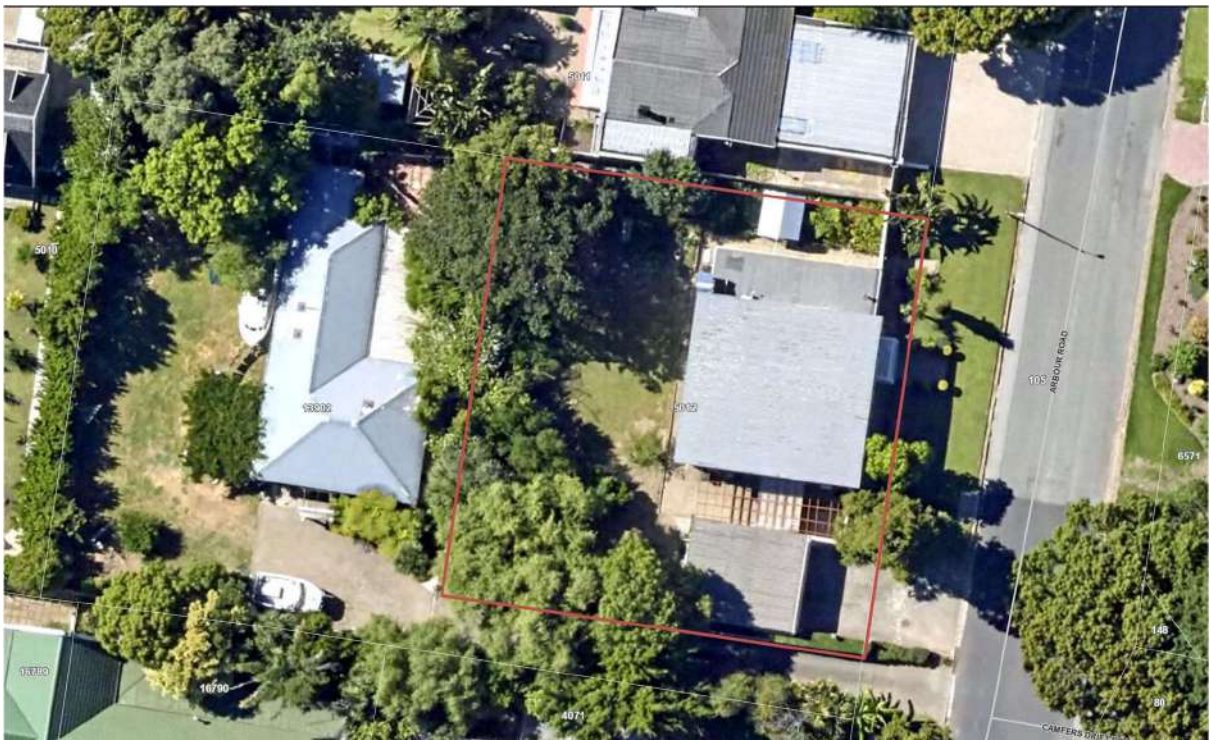
The relaxation of the side boundary building line, as proposed in this application, will therefore, not establish an undesirable precedent and can be accommodated within the existing planning of the area concerned.

4.3 Impact on schools, open spaces and other community facilities

The proposal will not result in an increase in the number of inhabitants of the erf beyond that which is accommodated in the zoning of the erf. As such, the proposed relaxation of the building lines as applied for, will not have an impact on schools, open spaces and other community facilities in the area. This aspect is, therefore, not relevant to this application.

4.4 Impact on sunlight, view and privacy

The following aerial photo indicates that, as the erf is situated on the western side of Arbour Road and north of the panhandle access to Erf 13902 George, there are no erven which could be affected by the proposed relaxation of the street- or southern boundary building lines.



It is clear from the motivation in this point, that the proposed relaxation of the building line on the application erf can have no negative impact on sunlight, view or privacy in respect of any adjacent erf.

4.5 Impact on streetscape

The following photo shows the elevation of the erf as seen from Arbour Road.



A comparison of the current street elevation with the proposed elevations of the building, as shown on the site- and building plan in point 2 of this motivation report clearly indicates that the proposed modernization of the elevations will have a positive impact on the appearance of the existing dwelling house and therefore, on the streetscape. The new laundry will be situated outside the street boundary building line and will have no impact on the streetscape.

The proposed relaxation of the street and southern side boundary building line can, therefore, not have a negative impact on the streetscape in the vicinity of the application erf.

4.6 Impact on erf values

As indicated in the previous paragraphs, the improvements in respect of which the building line relaxations are required, do not have a negative impact on any of the surrounding properties. The outside finish will be of good quality and the elevation of the structures will improve the appearance of the existing building. The improvements as described add value to the utilization of the erf and represents a substantial capital investment by the owner.

The value of surrounding properties can, therefore, not be negatively impacted upon by the relaxation of the building line as proposed in this application.

4.7 Impact on the provision of parking

As indicated on the site and building plan attached hereto as **Annexure "A"**, the existing double garage will be replaced by a shade-net carport, situated to the west of the proposed laundry. The proposal as described in this motivation report, therefore, has no influence on the provision of parking, as more than the 2 parking bays required in respect of a dwelling house will still be provided.

The provision of on-site parking can, therefore, not be negatively impacted upon by the relaxation of the building lines as proposed in this application.

4.8 Impact on traffic circulation

The proposed improvements described in this application will result in vehicular access to the erf being moved slightly northwards, closer to the southern side of the dwelling house. The access point will thus be located slightly further from the panhandle access to Erf 13903 George, which is situated to the south of the application erf. The proposed laundry will be situated a considerable distance behind the street boundary building line. The proposed relaxation of the mentioned building lines can thus have no negative impact on sight distances in any direction in the streets. The proposed relaxation of the building lines will not result in the generation of more traffic.

The building line relaxations as proposed in this application will, therefore, not have any negative impact on the traffic situation in Arbour Road.

4.9 Provision of services

The existing development on the application erf has been connected to the municipal services in the area and the building line relaxations as proposed in this application will, therefore, not have any negative impact on the existing services or the provision of services. The proposal will thus not result in infrastructure costs to any external parties and will thus not place any burden on the municipal budget for the provision services infrastructure.

4.10 Firefighting

The firefighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

5. CONCLUSION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the street boundary and southern side boundary building lines on Erf 5012 George to accommodate improvements to the eastern façade of the dwelling house, the proposed pergola on the south-eastern side of the dwelling house, the proposed balcony above the covered entrance, as well as to accommodate a new laundry and toilet, respectively.

The proposed permanent departure for the relaxation of the mentioned building lines on Erf 5012 George will not have a negative impact on development, public facilities or traffic circulation in the surrounding area.

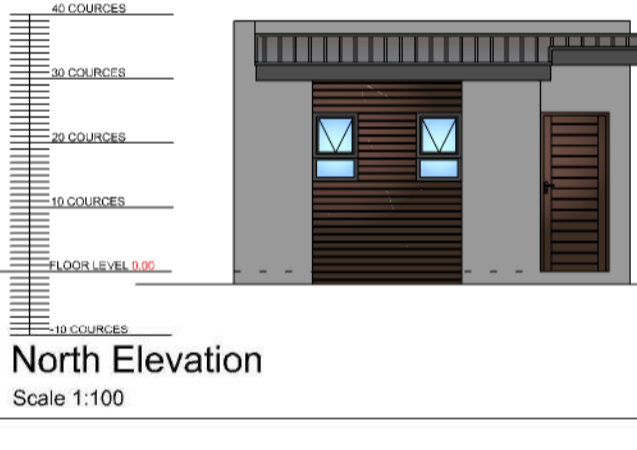
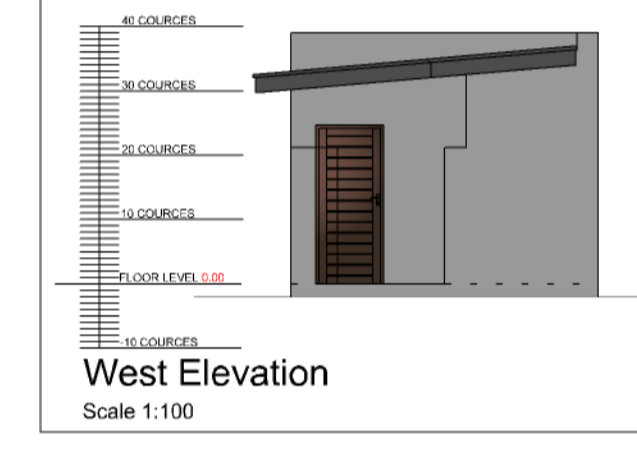
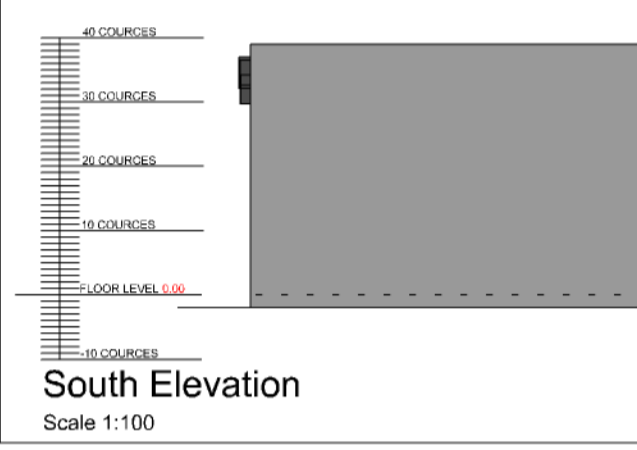
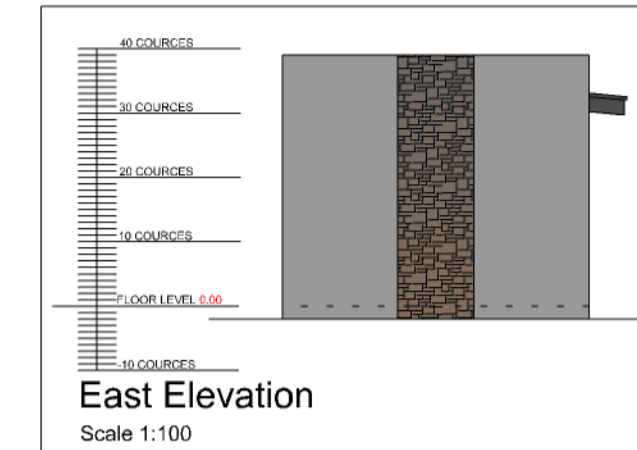
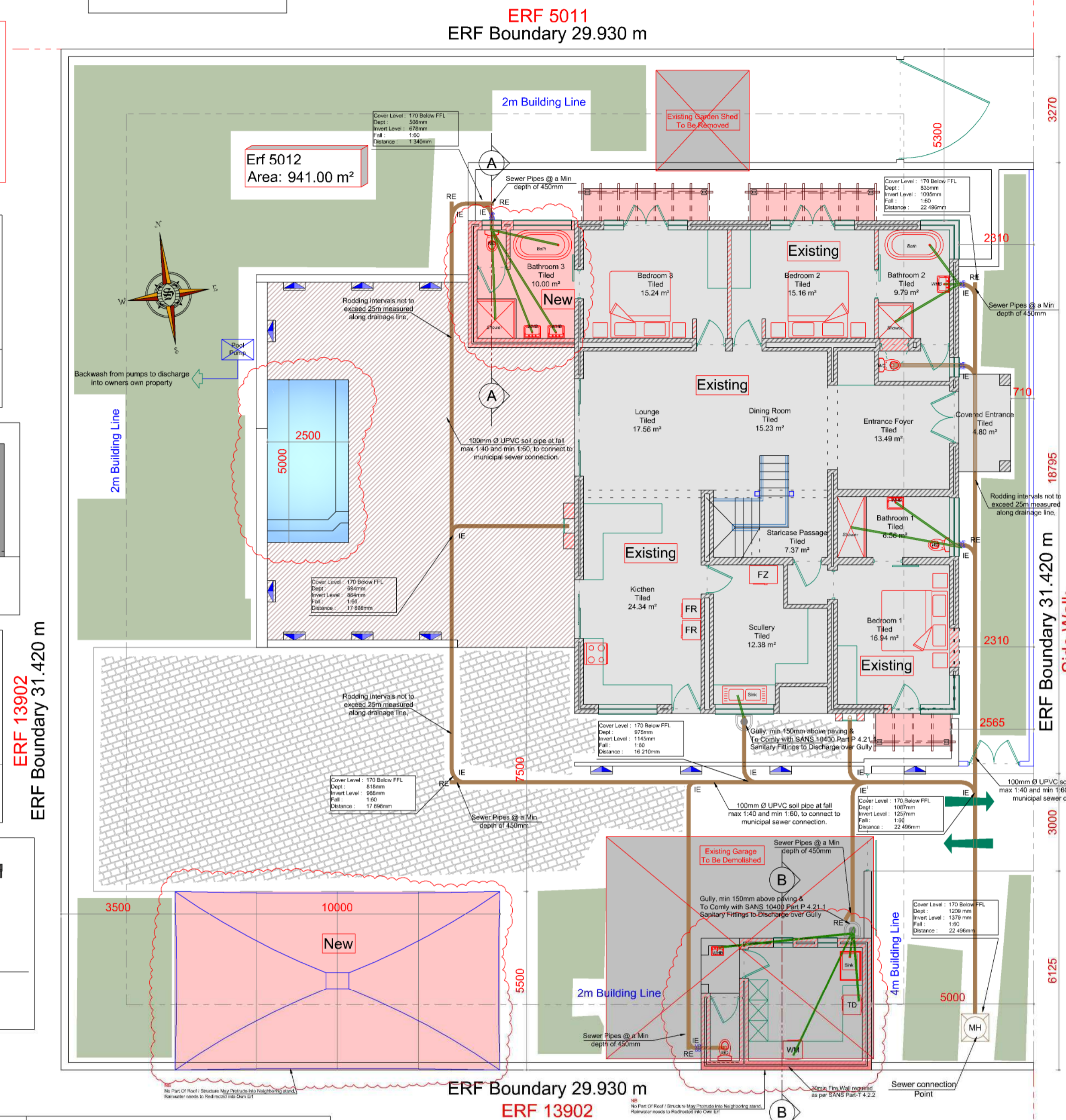
The application conforms with the prescriptions contained in the Land Use Planning By-Law for George Municipality, 2023 and is submitted for consideration in accordance with the relevant stipulations of the mentioned By-Law.

ANNEXURE "A" - PROPOSED SITE PLAN AND BUILDING PLAN

Site Plan

SCALE 1:100

Municipal Approval Stamp



Elevations

SCALE 1:100



Arbour Road

SEWER NOTES:

SEWERAGE LAY-OUT TO COMPLY WITH SANS 10400 PART P GENERAL:

CE. CLEANING EYE. GLAZED EARTHEN WARE PIPE WITH CAST IRON COVER. ENCASED IN 150mm. CONCRETE SURROUND.

IE. INSPECTION EYE. STANDARD PIPE WITH GLAZED EARTHEN WARE COVER, SEALED WITH BITUMEN.

WASTE PIPES. SABS APPROVED GALVANISED MILD STEEL WITH Ø AS INDICATED.

SOIL VENT. VALVE. VACUUM RELIEF FUNCTION. NOMINAL SIZE 110mm. IN COMPLIANCE WITH SABS CODE 1532-1991.

NOTE:
ALL WORK TO BE DONE IN ACCORDANCE WITH LOCAL AUTHORITY'S SPECIFICATIONS.

REFILLING TRENCHES. REFILL WITH CLEAN DRY SOIL & RAM DOWN THOROUGHLY, LEVEL WITH EXISTING LEVEL.

CONCRETE TILE IE COVER. 450x450 LOOSE CONCRETE TILES OVER IE'S PASSING BENEATH CONCRETE APRON. TILES MUST BE MARKED DISTINCTLY & MUST BE REMOVABLE FOR INSPECTION PURPOSES.

CONCRETE CASINGS. ALL VITRIFIED CLAY PIPES UNDER WALLS, FOUNDATIONS & PAVING MUST BE ENCASED IN 150mm - 200mm. 6:3:1 CONCRETE.

COUPLINGS. VITRIFIED CLAY PIPES - SABS APPROVED. VITRO-HEPSLEVE POLYPROPYLENE COUPLINGS.

DRAINAGE TEST. A FINAL DRAINAGE TEST WILL BE EXECUTED TO THE APPROVAL OF THE OWNER & ARCH PROFESSIONAL.

All drainage pipes closer than 900mm from building or strip foundations to be encased in 150mm - 200mm concrete. Strip foundations over drains to be reinforced.

All waste fittings fitted with reseal traps.

No bends or junctions under building.

All waste pipes to be min 50mm.

All traps, sinks, troughs, to be fitted with S or P traps.

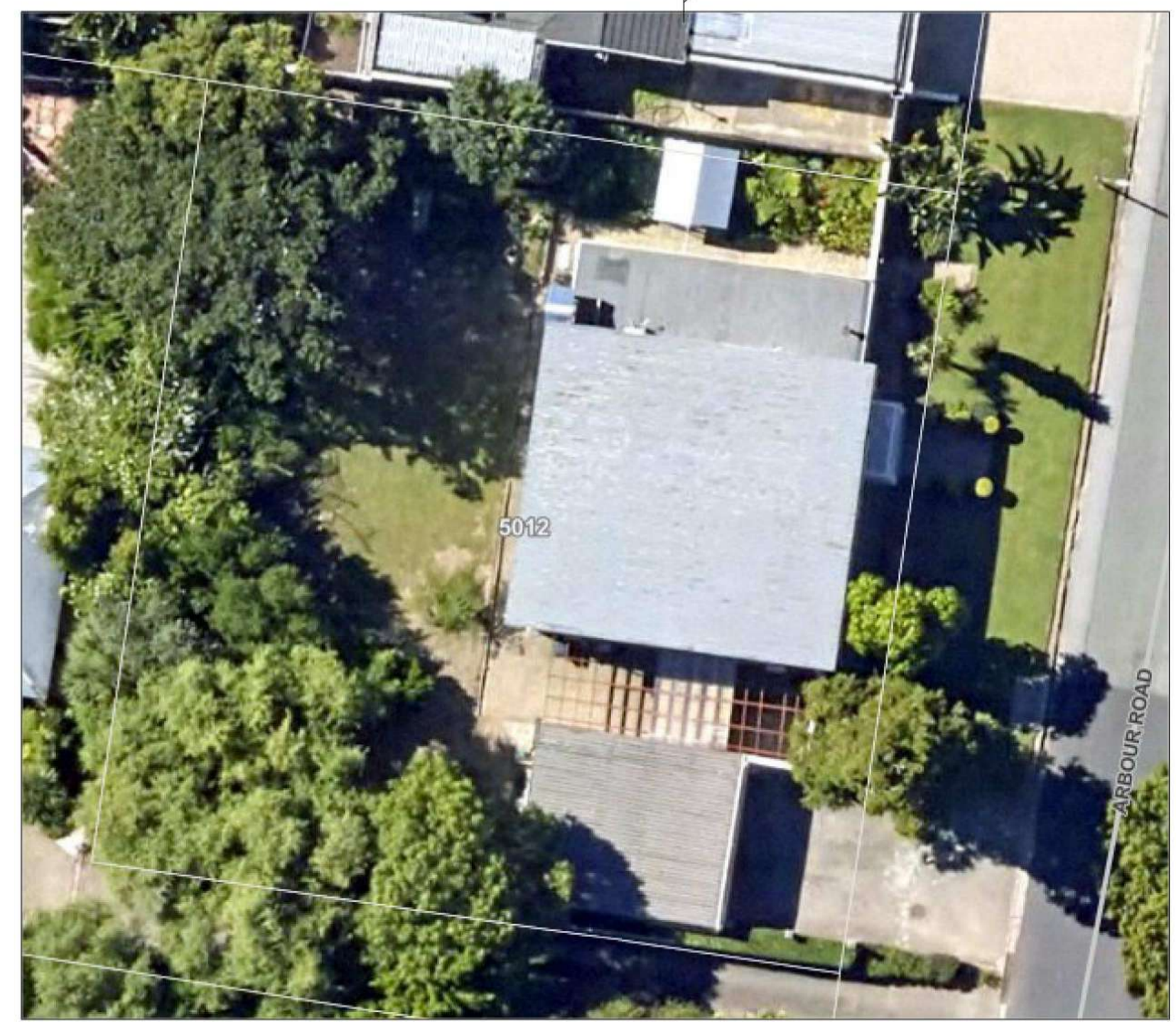
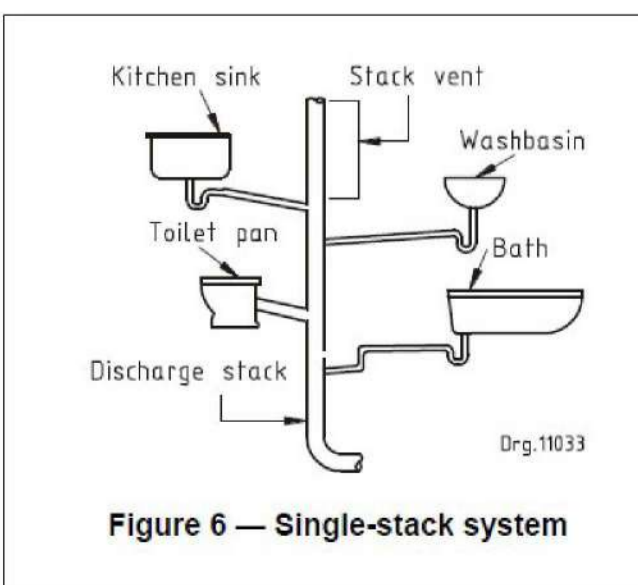
110mm dia. U.P.V.C. SEWER PIPE
50mm dia. U.P.V.C. WASTE WATER PIPE

Additional Notes:
1. All sewer joints to be sealed as per manufacturers specifications.
2. Sewer to be tested and certified by a registered plumber.
3. All waste and sewer pipes to be laid to a min 1:60 gradient and to start at min 450mm below ground level at any point.

Note:

- INSTALL MAIN SERVICES IN 750MM DEEP TRENCH(IES) FOR DISTANCES AS INDICATED. TRENCH BASE TO BE WELL COMPACTED, INSTALL 50MM THICK BED OF SAND, BACK FILL TRENCH IN COMPACTED LAYERS NOT EXCEEDING 150MM IN DEPTH.
- TELCOM: INSTALL 50MM DIA. U.P.V.C. SLEEVE INCLUDING DRAW WIRE FOR USE BY TELCOM. INSTALL CAST IRON DRAW BOXES AT EACH END OF SLEEVE AND AT MAX. 100M INTERVALS ALONG LENGTH OF SLEEVE.
- ELECTRICAL: INSTALL 25MM 4 CORE CABLE INSTALLED WITH 2 PAIRS OF PARALLEL 25MM WIRE EACH FOR LIVE & NEUTRAL CONNECTIONS. INSTALL SEPERATE 25MM EARTH WIRE.
- WATER: INSTALL 32MM DIA. CLASS 10 H.D.P.E. WATER SUPPLY PIPE. INSTALL ISOLATER VALVE IN CAST IRON BOX IN POSITION TO BE INDICATED ON SITE NEXT TO HOUSE. INSTALL PRESSURE RELIEF VALVE AT EACH MAIN CONNECTION TO HOUSE.
- GENERAL: BOUNDARY WALL MUST BE COMPLETED FIRST, BEFORE STARTING CONSTRUCTION ON MAIN BUILDING.

Please Note:
All Ducts to have a cavity of 250mm x 300mm, for easy accessibility, in which pipes will be concealed.
All trenches, and building works must be done in such a manner so that there will be minimum damage to current vegetation.



BLUEPRINT DRAFTING
PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
TIAN SCHOON
082 303 0652 | TIAN@BLUEPRINTWC.CO

PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
TIAN KONRAD SCHOON
10:29 AM (Africa/Johannesburg) on 30 Sep 2020
Member NR: 32414

Project Description:
Additions & Alterations on Erf 5012
George - Campherdrift
for Mr Liebenberg & Mrs Van Zyl

Drawing Nr: H24 - 01
CNL - 01 - 06
23/04/2024
Drawing :
Site Plan And Elevations

NOTES:
1. All information on the plan must be checked and any discrepancies must be brought to the arch professional's attention, before any building work commences.
2. All levels and dimensions must be checked on site.
3. Drawings must not be scaled.

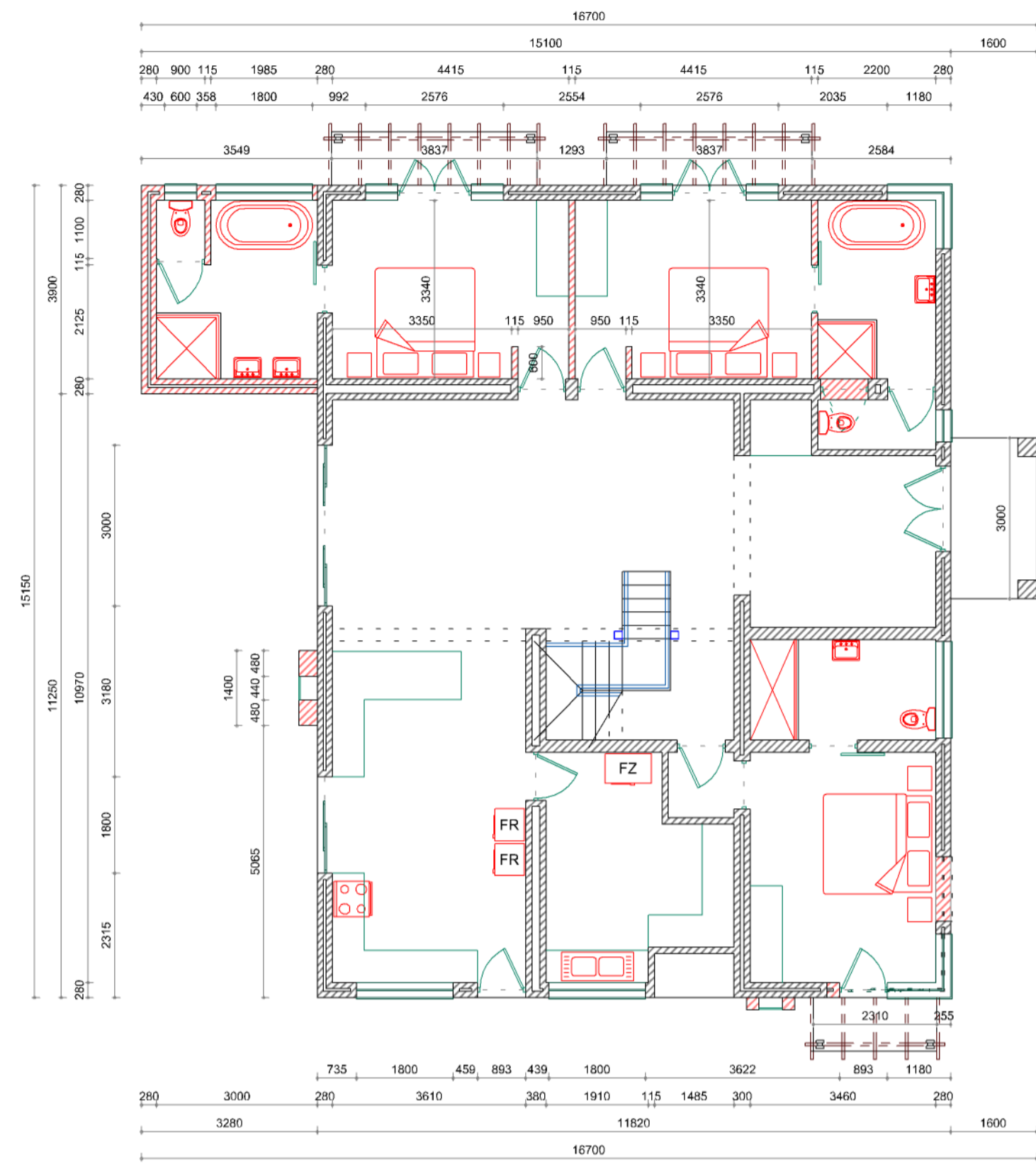
Area Covered:	
GROUND STOREY :	
Existing :	183.87 m ²
Additions :	12.79 m ²
New Laundry :	16.48 m ²
New Shade Net Carport :	55.00 m ²
New Pool :	12.50 m ²
TOTAL :	280.65 m²
FIRST STOREY	
Existing :	141.04 m ²
New Balcony :	46.48 m ²
TOTAL :	187.51 m²
Total Floor Area :	468.16 m²
Total Stand Area:	512.50 m ²
Site coverage percentage incl Pool 174.68 / 512.50 :	34.08 %
F.A.R. 220.88 / 512.50 : (Excl Garage, Balcony & Carport)	0.4309
Occupancy:	H4
Zoning:	Res 1

Applicable Party Approval:
Owner/authorized Signature: _____ Date: _____
T Schoon Signature: _____ Date: _____

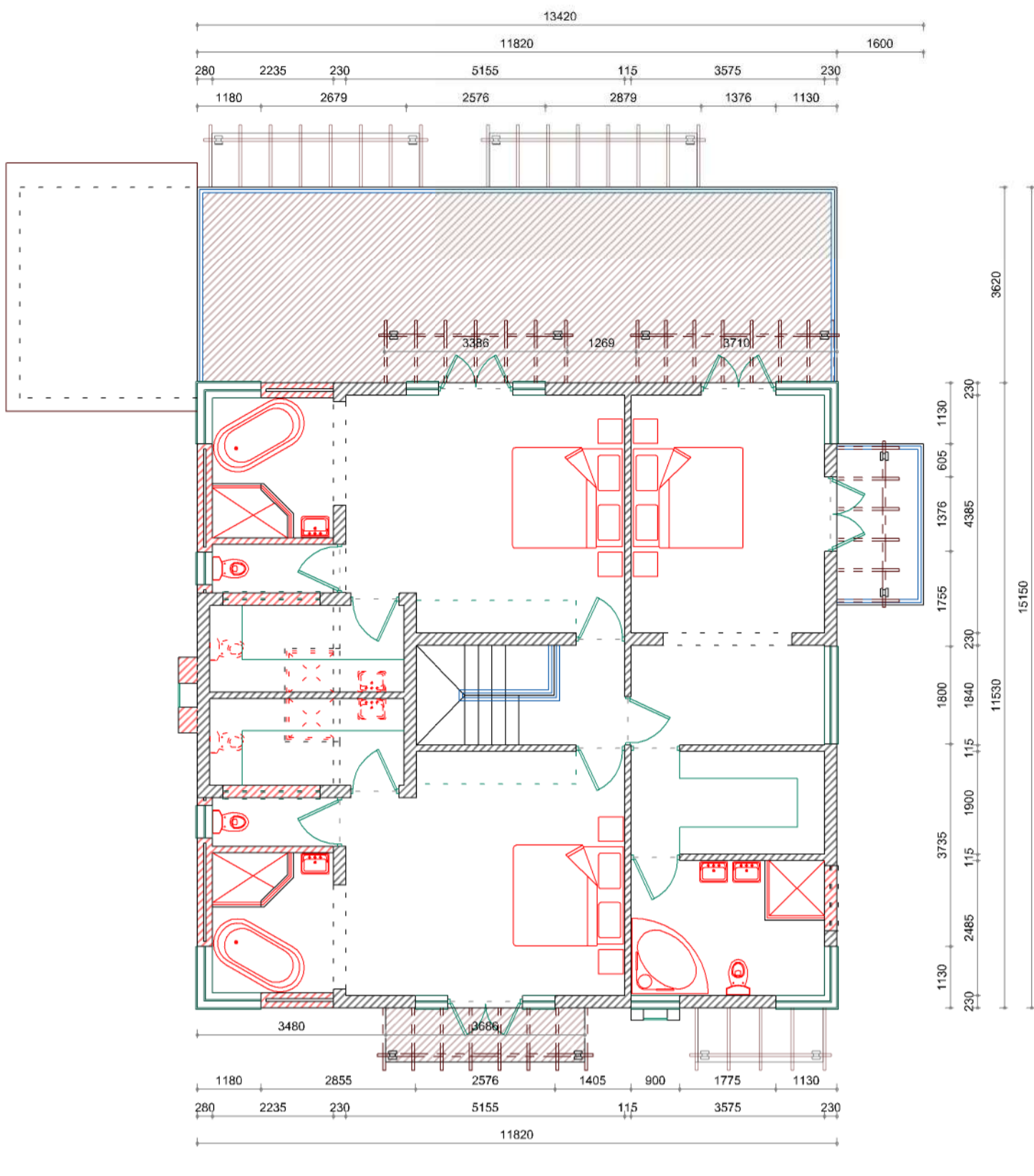
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ACTS OF PARLIAMENT
All Contractors shall ensure that, before any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of South Africa.

Finishing schedule:	ITEM Detail:	Finishing schedule:	ITEM Detail:
Exterior Paints: Dulux Weatherguard Paints	Abbey Lane	Exterior Cladding: Horizontal Enviro Decking	Mocha Brown
Exterior Cladding: Sandstone Cladding	Dulux - Abbey Lane External Paint	Paving & apporing:	Paving Profile - Baseel 60mm Layout : As per Owner Colour - Charcoal

Ground Storey Dimension Plan
SCALE 1:100

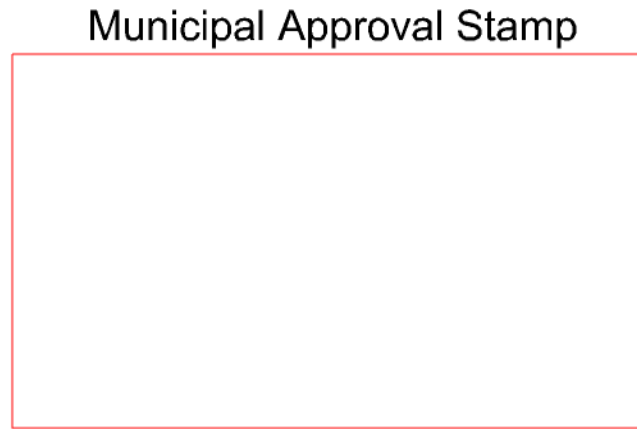


First Storey Dimension Plan
SCALE 1:100



- Main Water line 110mm diameter
- 50mm dia. Class 16 H.D.P.E. cold water supply & distribution pipe to main connections, fire hose reels.
- 32mm dia. Class 10 H.D.P.E. cold water supply & distribution pipe to main connections, fire hose reels and swimming pool filter pipe.
- 22mm dia. Copper cold water distribution pipe
- 22mm dia. Copper hot water distribution pipe
- Stop cock
- Water meter
- Double check valve/backflowpreventer

- Hot water pipes indicated. Hot water pipes to consist of 22mm dia. copper pipes with soldered joints. Final positions to be determined from final geyser positions. All calculations must be checked if moved, to confirm flow rates and demands & usage as per SANS 10252-1.
 - ALL HOT WATER SERVICE PIPES SHALL BE CLAD WITH INSULATION WITH A MINIMUM R-VALUE IN ACCORDANCE WITH TABLE 1 SPECIFIED IN SANS 10400-XA.
 - Internal dia. of pipe: less or equal to 80mm R-value of minimum 1.00
Internal dia. of pipe: more than 80mm R-value of minimum 1.50
 - Main water supply pipe to be fitted with pressure relief valve.
 - Main water supply to consist of class 10 H.D.P.E. water supply pipe suitable for underground installation, installed 750mm below ground level.
 - Double check valve backflow preventer water fitting must be installed that incorporates at least two independently acting non-return valves.
 - Copper or copper alloy pipes
 - Light gauge copper pipes shall be jointed
 - with suitable compression fittings (manipulative or non-manipulative),
 - with suitable capillary-soldered fittings,
 - by forming the tube ends into capillary-type soldered joints,
 - by either bronze welding or silver brazing, or
 - as otherwise approved.
 - The manufacturer's instructions shall be strictly followed when copper pipes are being jointed, particularly with regard to the grade of solder and flux to be used for capillary-soldered fittings.
 - Copper flanges shall be secured to the flanges of fittings and appliances by means of gunmetal or extruded-brass bolts and nuts, and the joint shall be made watertight with a gasket.
- Where any portion of a pipe passes under a building or under a surface slab, and unless otherwise approved, the following shall apply:
- such portion shall be installed inside a sleeve of internal diameter of at least 15 mm plus the outside nominal diameter of such portion, or without any junctions, and
 - such portion shall be protected against the transmission of any load to it;
 - the trench in which such portion is laid shall in no way impair the stability of any building, or interfere with, or affect, any existing services.
- Where any portion of a pipe is concealed in a floor, concrete slab or wall, the following shall apply:
- adequate measures shall be taken to protect such portion from external pressure or from the transmission of any load to it;
 - should a leak develop in such portion, the installation shall be such that the portion of the pipe can be removed without danger to the building structure; and
 - plastics pipes shall not be rigidly encased in floors, concrete slabs or walls.
- Where any portion of a pipe passes through a wall or under a floor, such portion should preferably be installed inside a sleeve of internal diameter of at least 15 mm plus the outside nominal diameter of such portion (see detail elsewhere).
- Geyser systems**
- Hot water geysers must be equipped with a pressure relief valve water fitting that is pressure-actuated to automatically discharge water when a set pressure limit is exceeded
 - All Geysers installed in roofs will be supported by a platform and such platform shall
 - be capable of safely sustaining any loads to which it is likely to be subjected,
 - support the water heater or storage tank in accordance with the instructions of the manufacturers of such water heaters or storage tanks, and
 - shall comply with the requirements in SANS 10400-L.
 - Hot water return pipes should be installed so that it conveys hot water in a hot water circulation system, between the last terminal water fitting and the water heater
 - Only water heaters or storage tanks of capacity below 200 L shall be attached by means of brackets or hangers to a load-bearing masonry or concrete wall or to any other vertical structural element. Tanks and water heaters 200 L and larger shall not be wall mounted.
 - Solar water heater installations for domestic use shall comply with SANS 10106.
- Taps, Mixers & components**
- Metallic water taps and mixers shall comply with the requirements in SANS 226, SANS 1480, SANS 1808-9, SANS 1808-16, SANS 1808-30, SANS 1808-35, SANS 1808-37, or SANS 1808-66, as relevant.
- All rubber components that are in contact with potable water, such as joint rings, tap washers and flange packings, shall, in order to control the multiplication of Legionella pneumophila bacteria in water installations, be of a composition that will not promote microbiological growth. Rubber joint rings that comply with the relevant requirements of SANS 4633 and that have the dimensions, composition and hardness that are suitable for the particular application, shall be deemed to be acceptable.
- WC and sanitary units**
- NOTE For water conservation, it is recommended that the dual flush WC units be considered WC toilet pans and wall-hung urinals shall comply with the performance requirements in SANS 497. Low flushing capacity (4,5 L) WC flushing systems (including WC pan and cistern) shall comply with SANS 1733.
- Water Storage tanks**
- Storage tanks shall be
- watertight and vermin proof,
 - properly covered and ventilated,
 - sized to comply with the requirements of the local authority, and
 - sized to make provision for the usable capacity of a storage tank, which is the volume of water between the upper and lower operating water levels in the tank under normal operating conditions.
- NOTE 1 Water for drinking purposes in buildings that exceed three storeys is usually supplied from a storage tank.
- NOTE 2 The storage tank fulfills the purpose of attenuation of peaks in the water supply system and also provides an emergency supply during mains failure.
- 5.4.6.1.2 Storage tanks shall be provided with an adequate drainage system to ensure that the premises are not flooded in the event of leakage or accidental overflow. The capacity of such a drainage system shall be such that it is capable of discharging water at a rate at least equal to the rate of flow of the incoming water supply. The outlet of the drainage pipe shall be so situated that the discharge of water can be readily detected.
- 5.4.6.1.3 The inlet pipe to any storage tank shall be provided with a float valve or any other approved level control device.
- 5.4.6.1.4 Pressurized storage tanks (metallic and non-metallic) shall be assessed for conformity in accordance with SANS 347, and the pressure equipment regulations in terms of the relevant national legislation (see foreword).



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10:29 AM (Africa/Johannesburg) on 30 Sep 2020

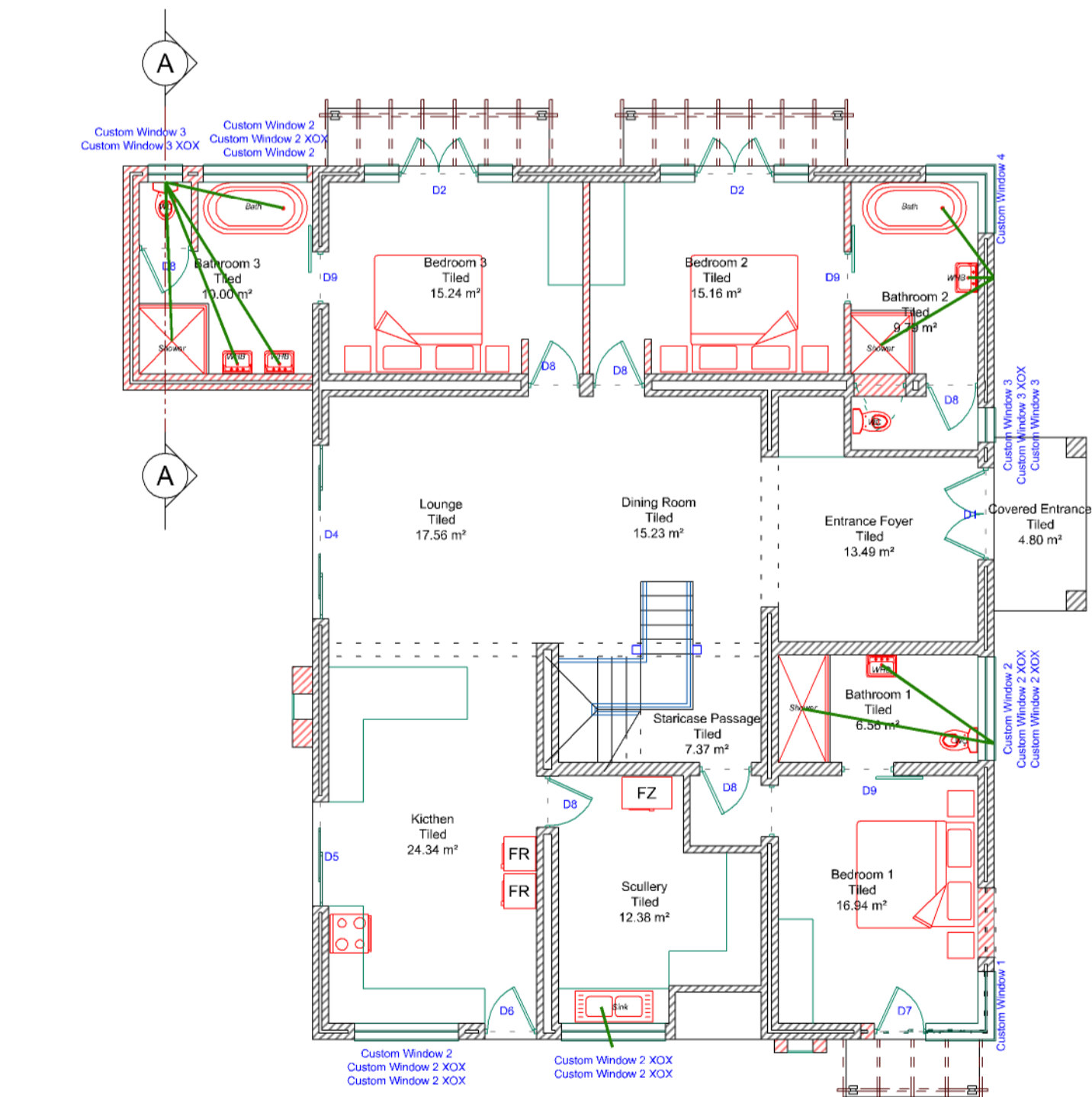
Member of the South African Institution of Civil Engineers
Member NR: 32414

Project Description:
Additions & Alterations on Erf 5012
George - Campherdrift
for Mr Liebenberg & Mrs Van Zyl

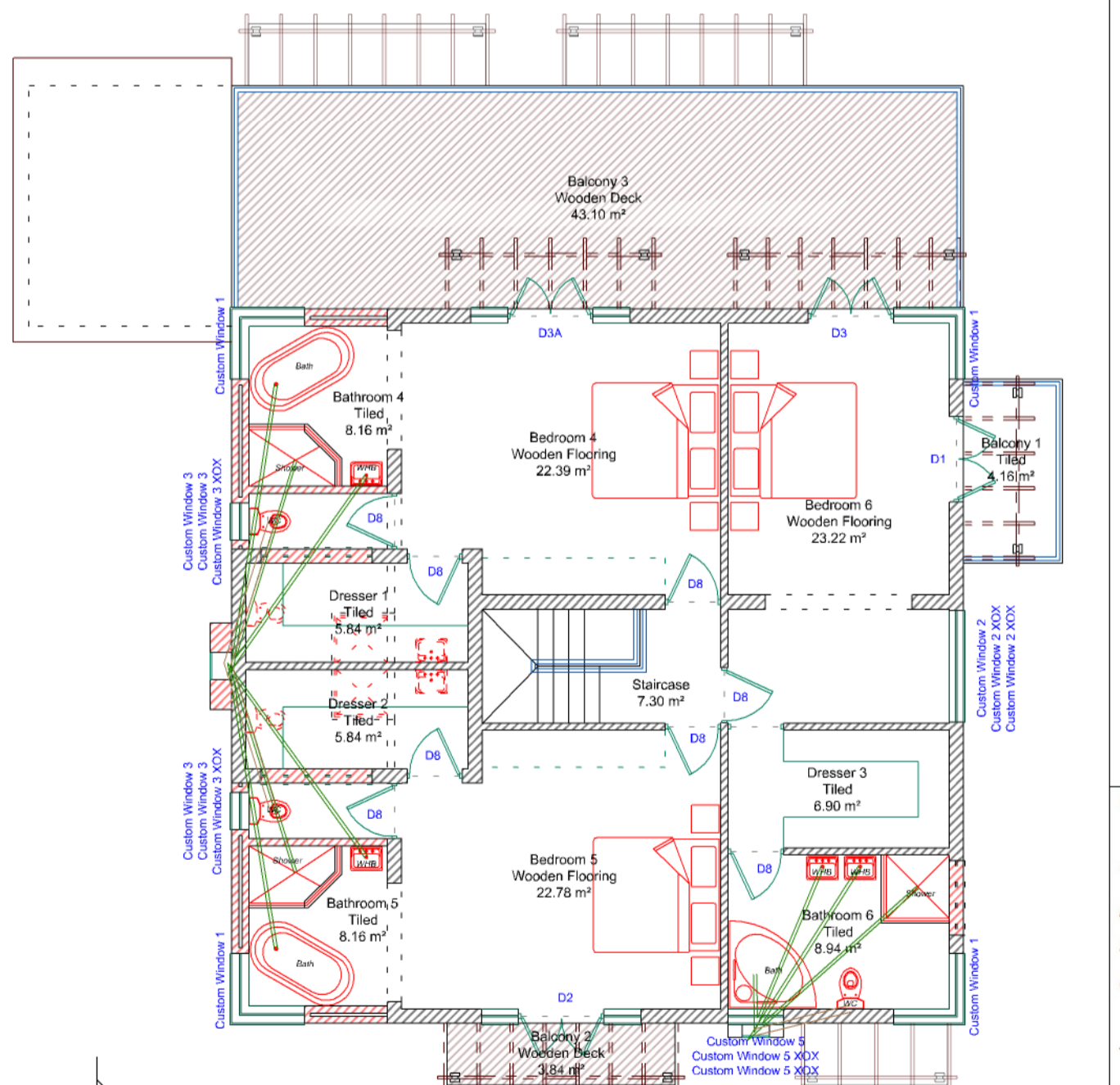
Drawing Nr: H24 - 01
CNL - 02 - 06
23/04/2024
Drawing:
Dimension & Information Plan

- NOTES:**
- All information on the plan must be checked and any discrepancies must be brought to the arch professional's attention, before any building work commences.
 - All levels and dimensions must be checked on site.
 - Drawings must not be scaled.

Ground Storey Information Plan
SCALE 1:100



First Storey Information Plan
SCALE 1:100



Calculated as per SANS 10252-1:2012
COLD WATER DEMAND
(Dwelling House - Low Rental (80-115)/capita/day
Estimated daily demand for total house: (6 rooms x 2 people max)
Cold Water supply:
Washing Dishes - 4L x 2 sinks 2 x per day = 16 L
WC Flushing: 32L/person/day x 12 = 384 L
Personal washing & Bathing: 25L/person/day x 12 = 300 L
Laundry: 12L/person/day x 12 = 144 L
Drinking food & preparation: 20L/person/day x 12 = 240 L
TOTAL: = 1084L / day required

Calculated as per SANS 10252-1:2012
HOT WATER DEMAND
(Dwelling House - Low Rental (80-115)/capita/day
Storage vol. Required: 100-150L/Unit (2-3)kW/Unit
Storage vol. Supplied for house: 2 x 2 Gas Geysers
(size of gas geyser to be determined by plumber)
Estimated daily demand for house - 6 bedrooms = 12 people max:
As determined/prescribed by George town planning scheme
HOT Water supply:
Cooking: (H) 2L/person/day 2 x 12 = 24L
food prep: (H) 4L/person/day 4 x 12 = 48L
Laundry: (H) 7L/person/day 7 x 12 = 84L
Personal washing & bathing: (H) 20L/person/day 20 x 12 = 240L
Washing Dishes: (H) 7L/person/day 7 x 12 = 84L
WC flushing: N/A
Carwash & garden: N/A
TOTAL: = 480L

STORAGE TANK CAPACITY N/A
Capacity Total : 2 x (Gas Geysers)
All hot water pipes must be insulated with thermal insulation with a thermal resistivity of at least 1
CONCLUSION: 50% of Hot water supply = 480L/2 = 240L
Gas Geyser (Comply as per SANS XA2), **THUS**
THE DESIGN COMPLIES WITH THE MINIMUM REQUIREMENTS OF SANS 10400-XA:2011 AND SANS 10252-1:2012 FOR HOT WATER CALCULATIONS

Regulation XA2 is very clear about the hot water requirement:

"At least 50% (volume fraction) of the annual average hot water heating requirement shall be provided by means other than electrical resistance heating including but not limited to solar heating, heat pumps, heat recovery from other systems or processes and renewable combustible fuel."

The designer has to prove that, with whatever heating system is used, that at least 50% of the volume of the annual hot water requirement is heated by something else that an electrical element, except from fuel that is from a non-renewable source like gas and coal.

Notes:

- All Concrete & Steel Beams to Engineer Spec & Design
- Specifications on drawings are Only Preliminary & Must Be Checked & Approved By an Engineer.
- Curved Balconies & Curved Beams Need to be Inspected by the Architectural professional before Building work can continue to the next phase!

Important:

All Ducts to have a cavity of 300mm x 350mm, for easy accessibility, in which pipes will be concealed. Building complies to SANS 10400 Part XA & SANS 204 requirements on foundations, walls, roofs, fenestration, mechanical ventilation, lighting, energy demand & consumption. Calculated with Fenestration & Energy demand & consumption calculation software and manual calculations. Full test calculation results available for scrutiny on request.

All external Masonry walls must achieve a minimum R-value of 0.35 according to regulations in SANS 10400-XA. These values can be determined by means of a test conducted in accordance with ASTM C 1363, ASTM C 518, or ASTM C 177. Surface film resistance shall be in accordance with SANS 6946. Results are indicated on Dimension Plan.

Important:

Consults must be provided in corners of all Walls for wiring and Home automation acc. to specifications from automation supplier, if applicable. NOT INDICATED ON PLAN

Ground Storey Area Schedule

Covered Entrance	4.80m²
Entrance Foyer	13.49m²
Dining Room	15.23m²
Staircase Passage	7.57m²
Lounge	17.56m²
Kitchen	24.34m²
Scullery	12.38m²
Bedroom 1	16.94m²
Bathroom 1	6.56m²
Bedroom 2	15.16m²
Bathroom 2	6.79m²
Bedroom 3	15.24m²
Bathroom 3	10.00m²
Total Area	168.87m²

Laundry Area Schedule

Laundry	12.38m²
Outside Toilet	1.75m²
Total Area	14.12m²

First Storey Area Schedule

Bedroom 4	22.39m²
Bathroom 4	8.16m²
Dresser 1	5.84m²
Bedroom 5	22.78m²
Bathroom 5	8.16m²
Dresser 2	5.84m²
Bedroom 6	23.22m²
Bathroom 6	8.94m²
Dresser 3	6.90m²
Staircase	7.30m²
Balcony 1	4.83m²
Balcony 2	3.84m²
Balcony 3	43.10m²
Total Area	171.30m²

Applicable Party Approval:

Owner/authorized Signature: _____ Date: _____

T Schoon Signature: _____ Date: _____

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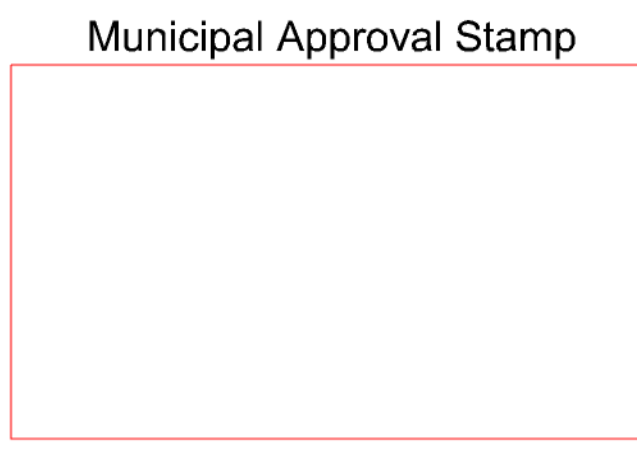
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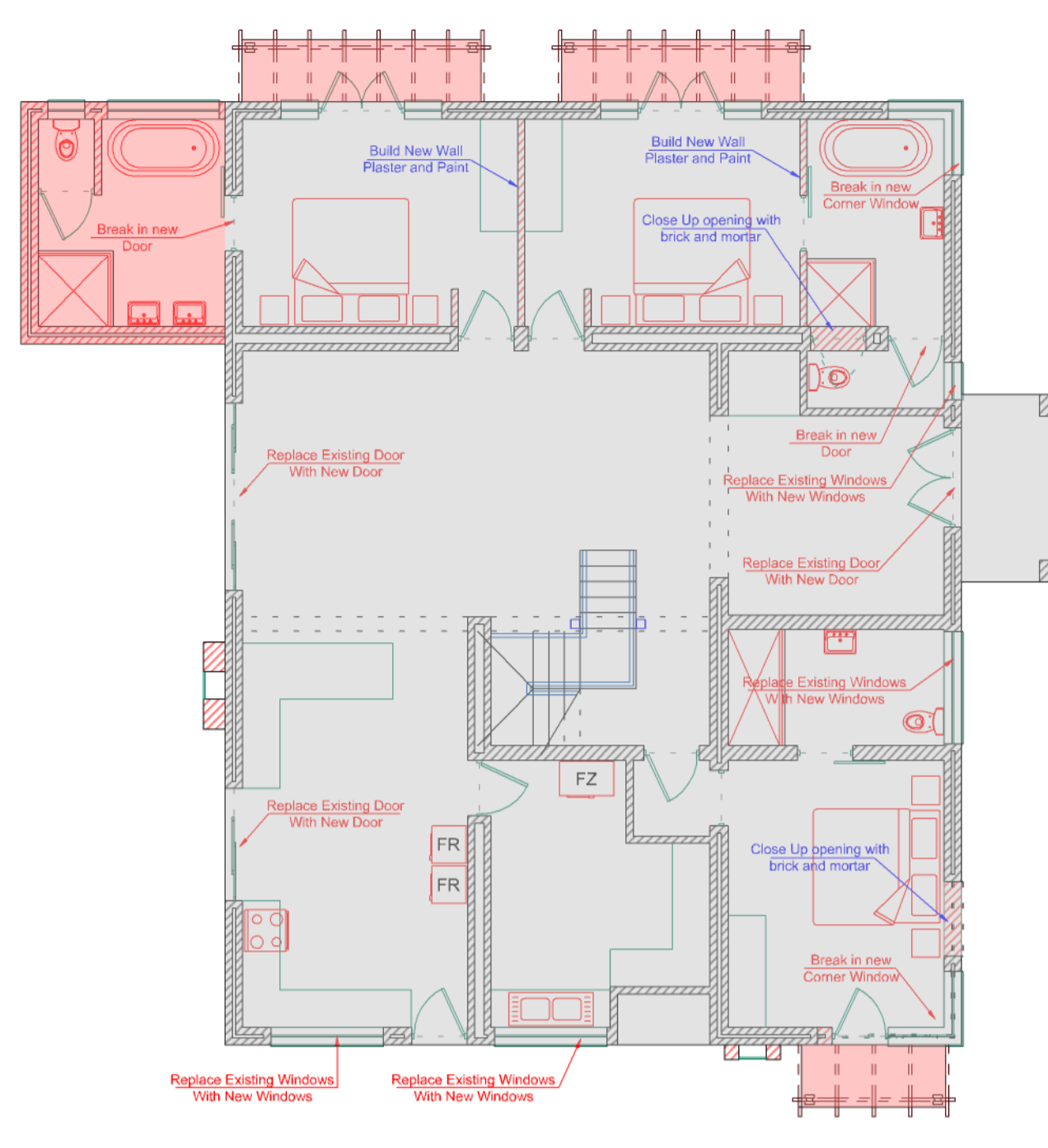
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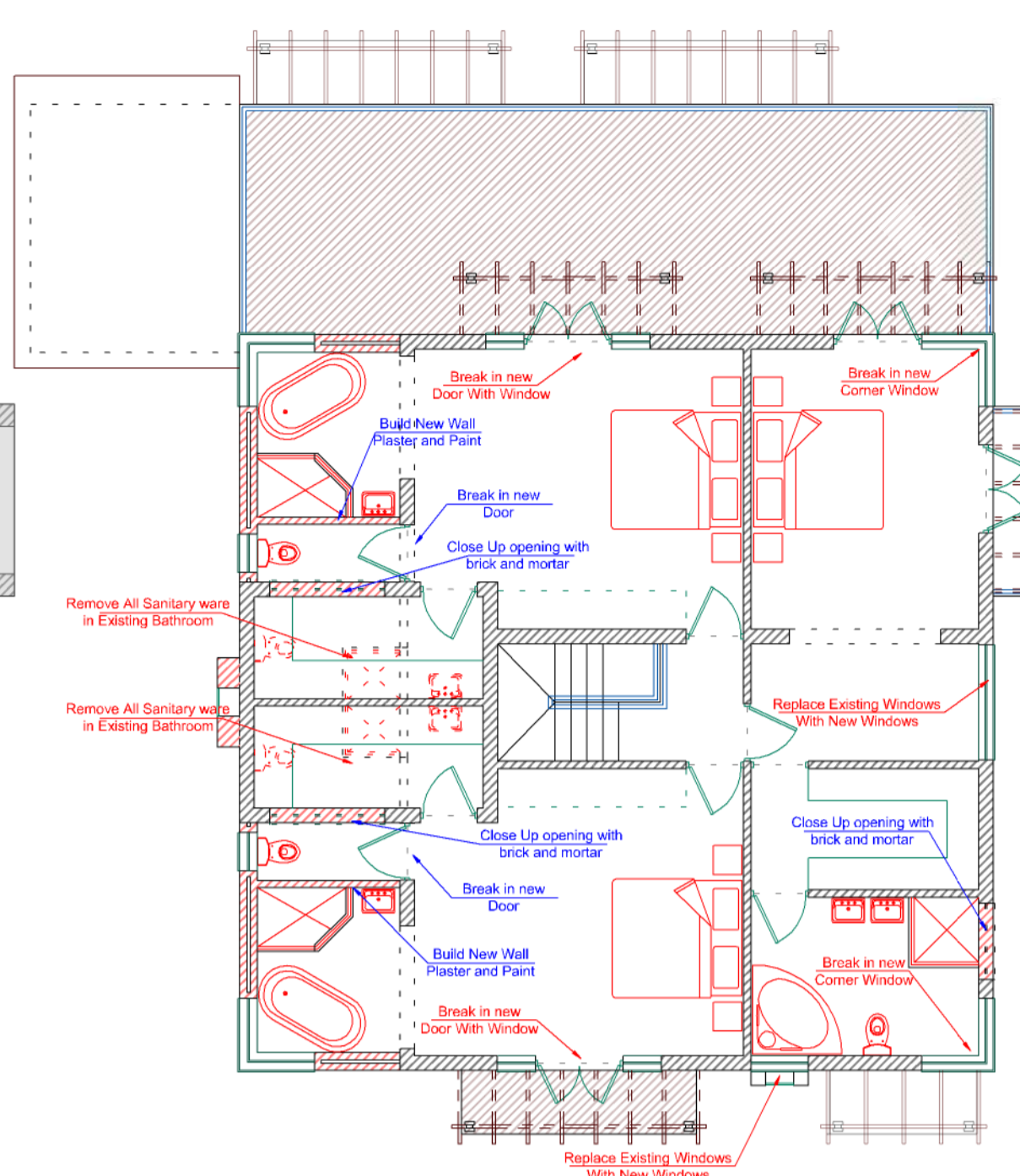
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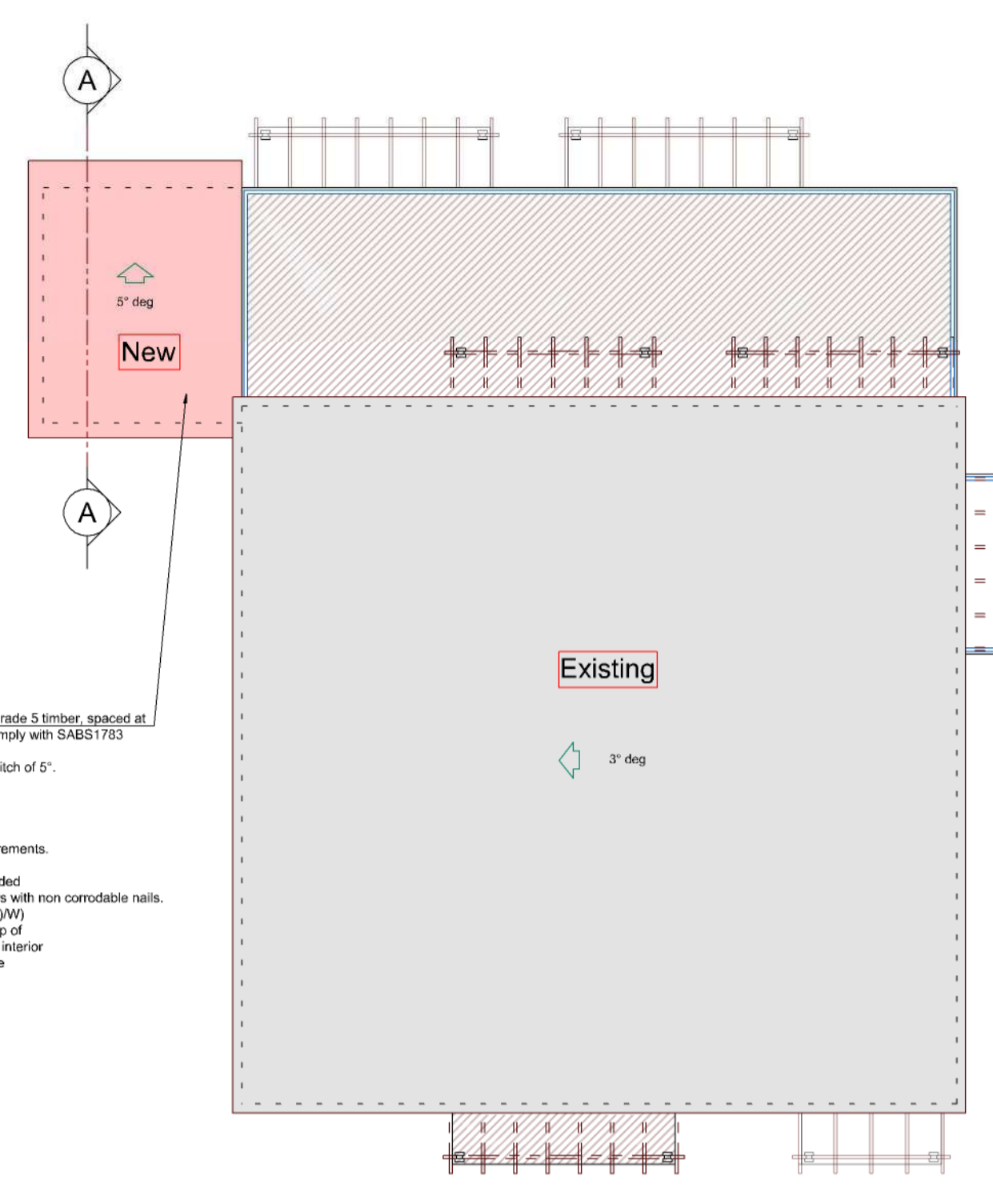
Ground Storey Alteration Plan SCALE 1:100



First Storey Alteration Plan SCALE 1:100



Roof Plan SCALE 1:100



- Roof Detail:**
- Trusses: min. 38x114mm rafters & min. 38x114mm tie beam, SAP grade 5 timber, spaced at 760mm max centre to centre as per engineer specification. To comply with SABS1783
 - 50 X 76 Batten spaced to Sheeting
 - Sheets: BR Colour bond pre-painted Charcoal sheets, fixed at a pitch of 5°. Anchor screws at truss overhangs & gable ends.
 - Barge flashing to be fitted on gable ends and painted charcoal
 - Apex flashing to be fitted to apex
 - Fascia boards to be fitted at overhang and painted charcoal
 - 38 x 114mm ventilated SAP grade 4 timber, as per NBS min requirements.
 - Trusses fixed with 40mm Hoop iron built into wall 6-8 courses
 - Double-sided Rodent/Insect Resistant (Covered) must be provided between roof covering and trusses. (1.35m²/KW) Nailed to rafters with non-corrodable nails.
 - Aerolite Think Pink (75mm) membrane above ceiling (1.85m²/KW)
 - Min 9mm thick Gyproc ceiling boards (seamless) with min air gap of 150mm to be installed as per sectional detail, finish with approved interior paint to owner spec. Paint 2 coats Dulux Ecocore Silk - Color White
 - Gutters to be installed

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 - Gutters to be installed

Window Schedule

WINDOW & NO.	QUANTITY	Window 1	Window 1	Window 2	Window 2	Window 3	Window 3	Window 4	Window 5	Window 5	Window 5	PT69	
DESCRIPTION	2	3	3	5	9	7	4	1	1	2	2	2	
DESCRIPTION	Aluminum Custom Windows With sizes as described with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.	Aluminum Custom Windows With sizes as described with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.	Aluminum Custom Windows With sizes as described with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.	Aluminum Custom Windows With sizes as described with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.	Aluminum Custom Windows With sizes as described with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.	Aluminum Custom Windows With sizes as described with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.	Aluminum Custom Windows With sizes as described with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.	Aluminum Custom Windows With sizes as described with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.	Aluminum Custom Windows With sizes as described with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.	Aluminum Custom Windows With sizes as described with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.	Aluminum Custom Windows With sizes as described with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.	Aluminum top hung Charcoal powder coated window frames, size 600 x 900mm high code PT69 with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.	
GEAR	Standard as per manufacturer. Burglar bars Internal	Standard as per manufacturer. Burglar bars Internal	Standard as per manufacturer. Burglar bars Internal	Standard as per manufacturer. Burglar bars Internal	Standard as per manufacturer. Burglar bars Internal	Standard as per manufacturer. Burglar bars Internal	Standard as per manufacturer. Burglar bars Internal	Standard as per manufacturer. Burglar bars Internal	Standard as per manufacturer. Burglar bars Internal	Standard as per manufacturer. Burglar bars Internal	Standard as per manufacturer. Burglar bars Internal	Standard as per manufacturer. Burglar bars Internal	
FINISH	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	
GLASS	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)

Door Schedule

DOOR & NO.	QUANTITY	D1	D2	D3	D3A	D4	D5	D6	D7	D8	D9	D10	
DESCRIPTION	2	3	1	1	1	1	1	1	1	14	3	2	
DESCRIPTION	Aluminum Solid glazed Charcoal powder coated Double door, with top light with sizes as described with neoprene seals and plugged to brickwork or concrete.	Aluminum Solid glazed Charcoal powder coated Double door, with Side light with sizes as described with neoprene seals and plugged to brickwork or concrete.	Aluminum Solid glazed Charcoal powder coated Double door, with top & Side light with sizes as described with neoprene seals and plugged to brickwork or concrete.	Aluminum Solid glazed Charcoal powder coated Double door, with top & Side light with sizes as described with neoprene seals and plugged to brickwork or concrete.	Aluminum Solid glazed Charcoal powder coated Double Sliding door, with sizes as described with neoprene seals and plugged to brickwork or concrete.	Aluminum Solid glazed Charcoal powder coated Single Sliding door, with sizes as described with neoprene seals and plugged to brickwork or concrete.	Aluminum Solid glazed Charcoal powder coated Single door, with sizes as described with neoprene seals and plugged to brickwork or concrete.	Aluminum Solid glazed Charcoal powder coated Single door, with sizes as described with neoprene seals and plugged to brickwork or concrete.	Aluminum Solid glazed Charcoal powder coated Single door, with top light with sizes as described with neoprene seals and plugged to brickwork or concrete.	All interior doors	Sliding Door Horizontal painted solid Meranti sliding door sealed Nova clear multi interior sealer Opening 893 x 2100 High Door 900 x 2056	Fire Door Horizontal painted solid door 30min Fire Door Opening 813 x 2032 High	
FINISH	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Aluminum Charcoal Powder Coated	Stained & Varnished Rubber seals in door openings to prevent air infiltration as set out in SANS 613 Wooden frame single sided	Stained & Varnished Meranti Solid Wood	Stained & Varnished Rubber seals in door openings to prevent air infiltration as set out in SANS 613 Steel frame single sided	
GLASS	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	Single Tinted Obscured Glass (U-Value: 1.7 / 3.5kPa 0.41) Clear Glass PG Smart Glass X2 Elite (U-Value: 1.7 / 3.5kPa 0.41)	NA	NA	NA

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10:29 AM (Africa/Johannesburg) on 30 Sep 2020

Member NR: 32414

Project Description:
Additions & Alterations on Erf 5012
George - Campherdrift
for Mr Liebenberg & Mrs Van Zyl

Drawing Nr: H24 - 01
CNL - 03 - 06
23/04/2024

Drawing:
Alteration & Roof Plan And Window / Door Schedule

- NOTES:**
- All information on the plan must be checked and any discrepancies must be brought to the arch professional's attention, before any building work commences.
 - All levels and dimensions must be checked on site.
 - Drawings must not be scaled.

Area Covered:	
GROUND STOREY :	
Existing :	183.87 m ²
Additions :	12.79 m ²
New Laundry :	16.48 m ²
New Shade Net Carport :	55.00 m ²
New Pool :	12.50 m ²
TOTAL :	280.65 m²
FIRST STOREY	
Existing :	141.04 m ²
New Balcony :	46.48 m ²
TOTAL :	187.51 m²
Total Floor Area :	468.16 m²
Total Stand Area:	512.50 m²
Site coverage percentage incl Pool 174.68 / 512.50 :	34.08 %
F.A.R. 220.88 / 512.50 : (Excl Garage, Balcony & Carport)	0.4309
Occupancy:	H4
Zoning:	Res 1

Applicable Party Approval:

Owner/authorized Signature: _____ Date: _____

T Schoon Signature: _____ Date: _____

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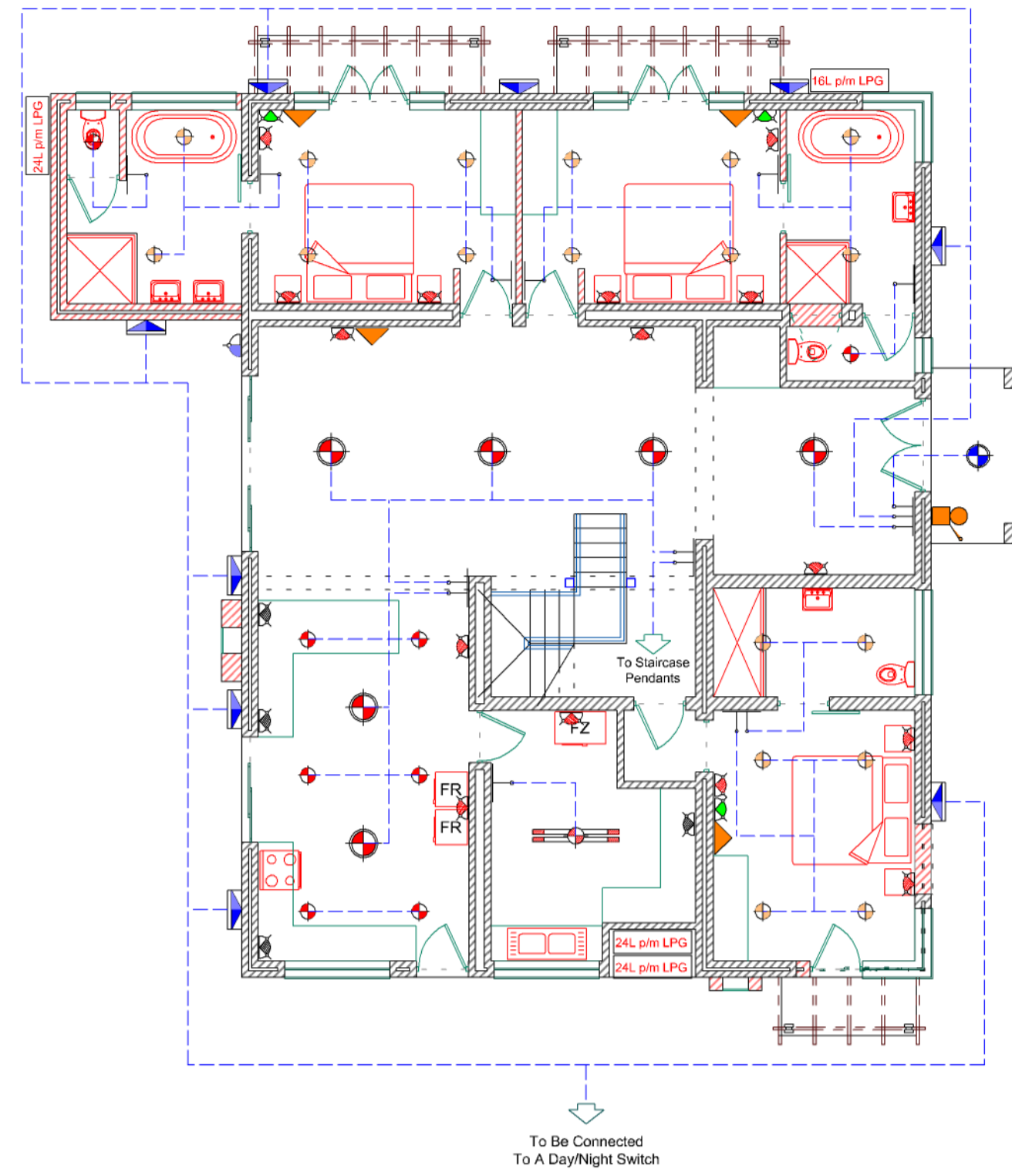
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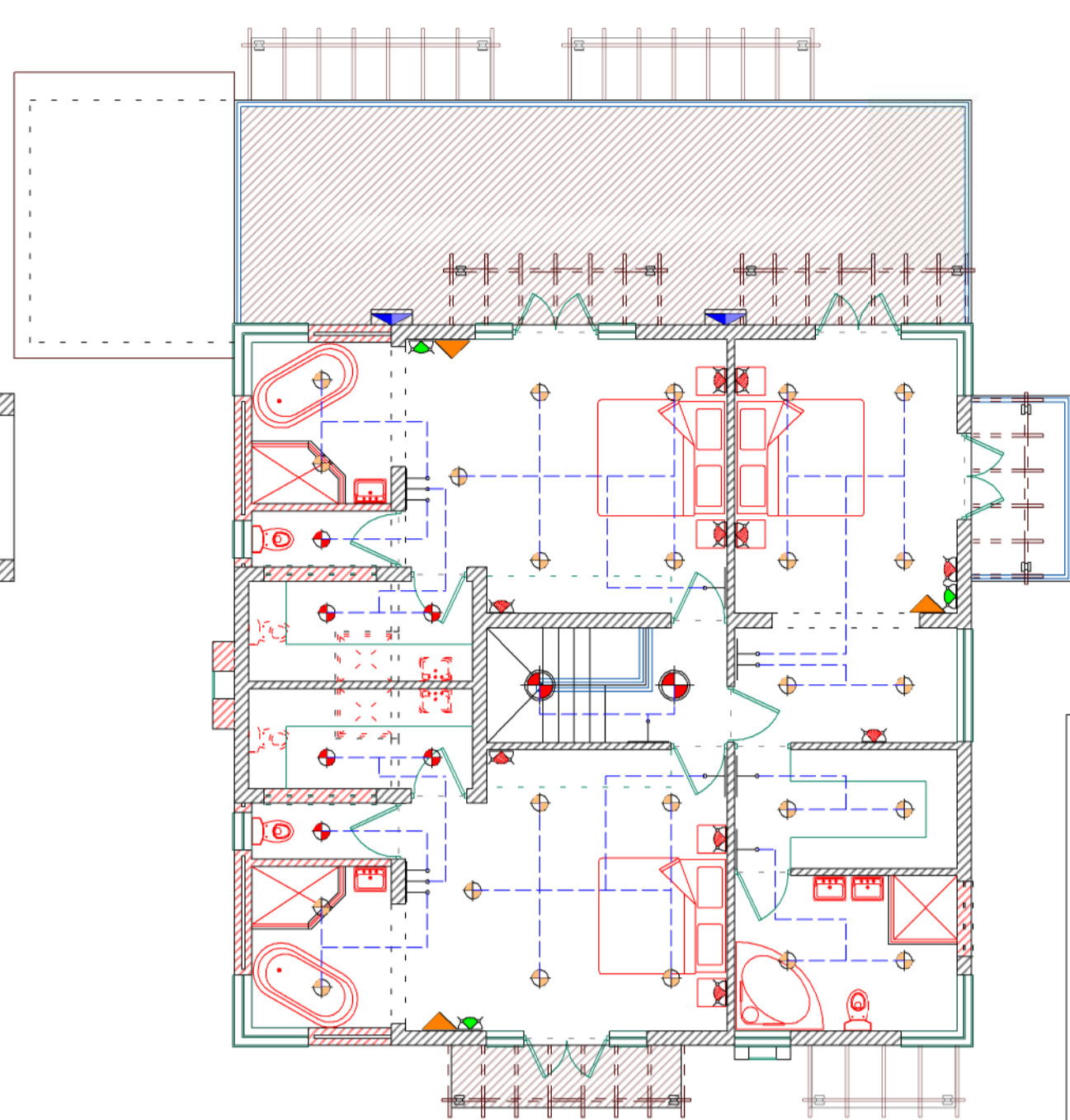
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Municipal Approval Stamp

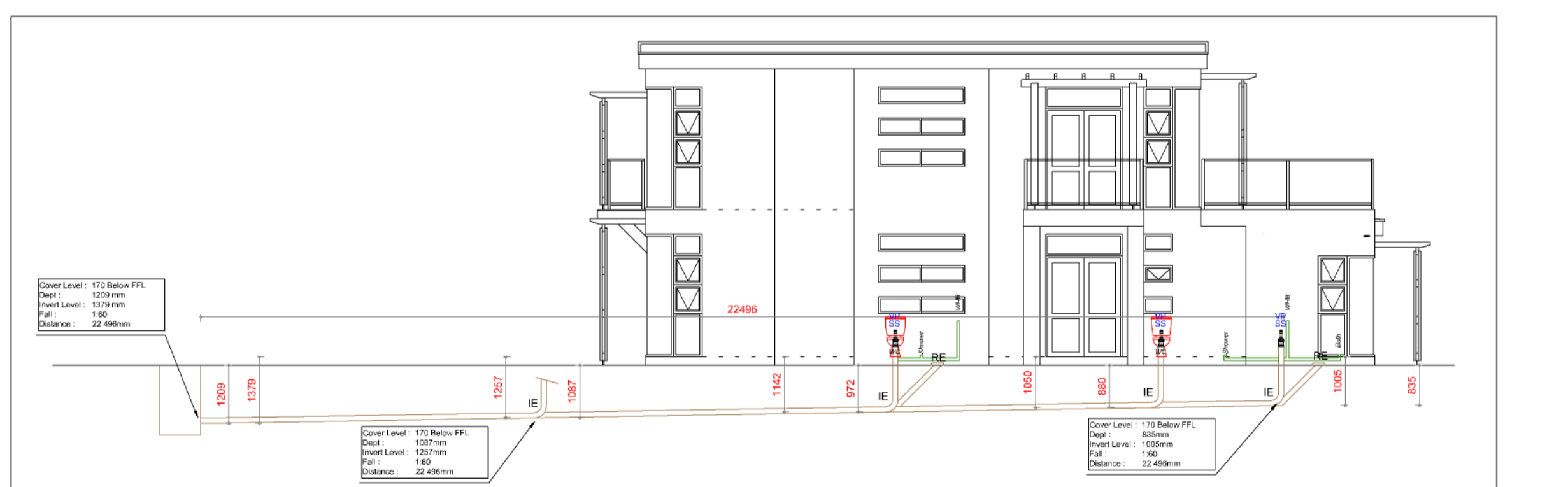
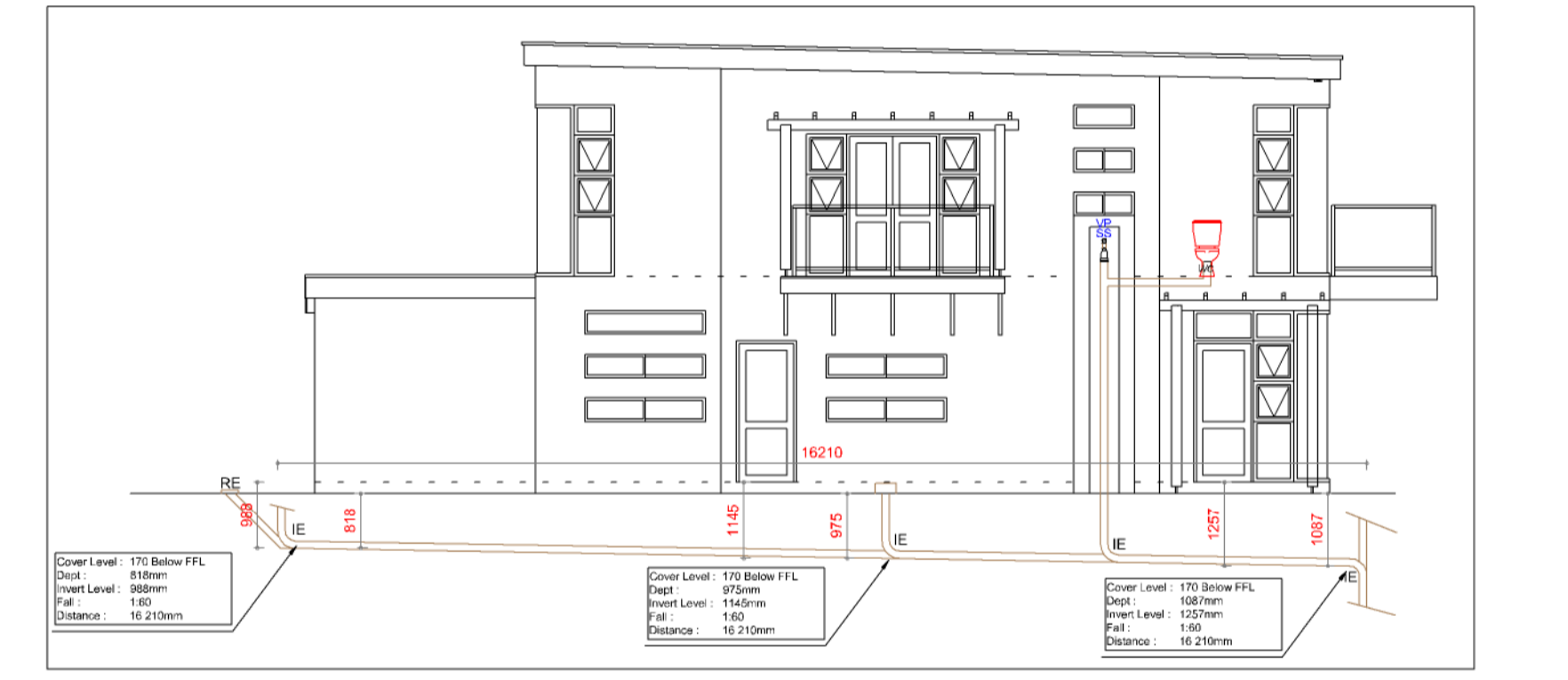
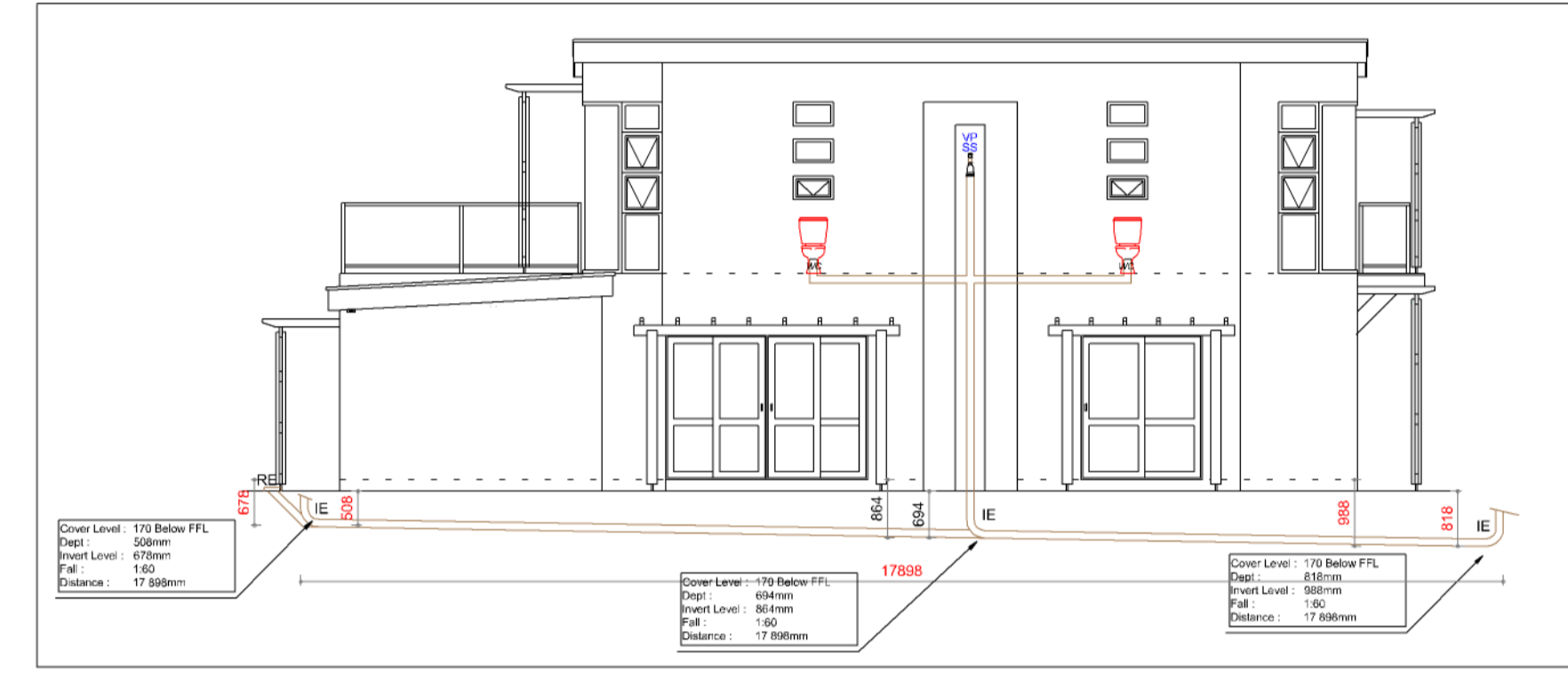
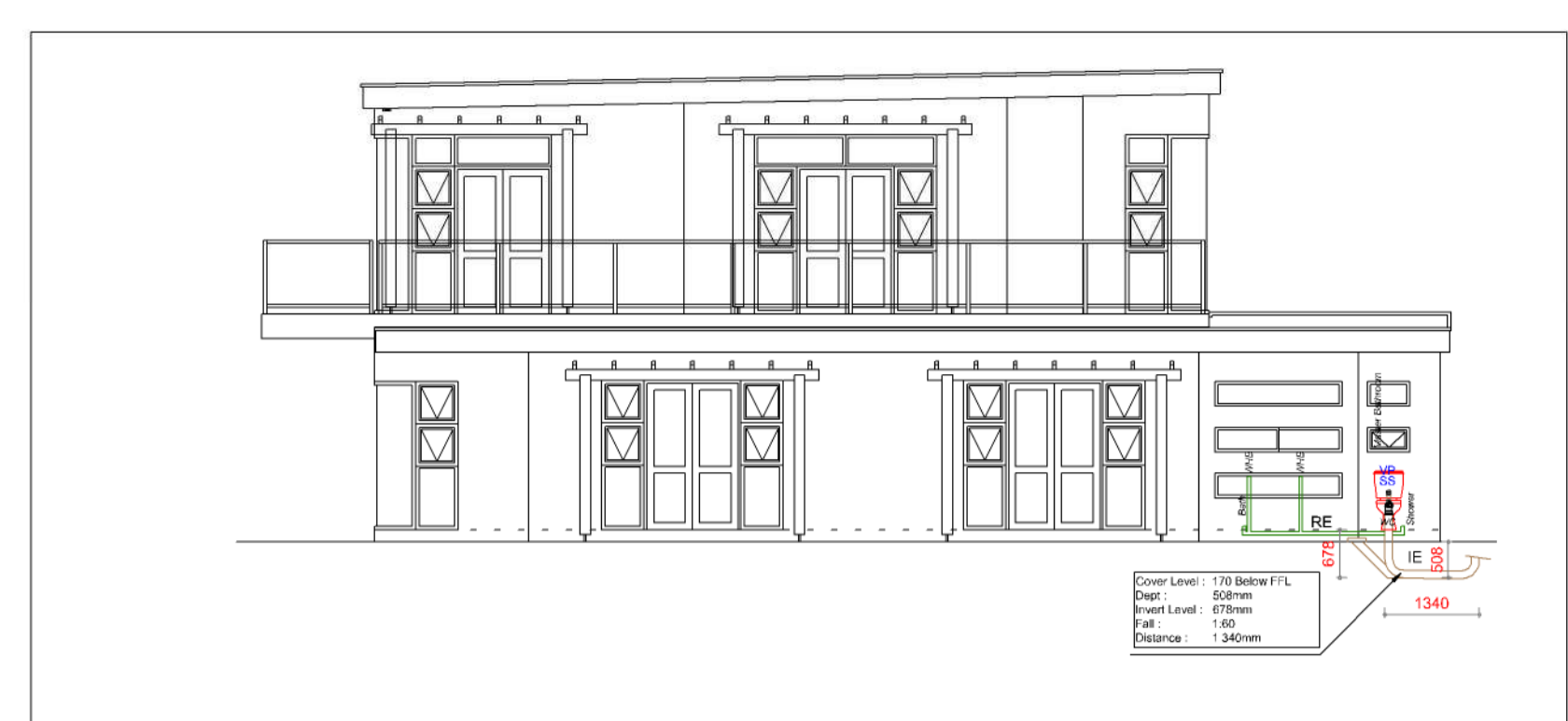
Ground Storey Electrical Plan
SCALE 1:100



First Storey Electrical Plan
SCALE 1:100



Sewer Layout Section
SCALE 1:100



ELECTRICAL CHART

Symbol	Item Description	Bulb/Sub Quantity	Item Quantity	Symbol	Item Description	Bulb/Sub Quantity	Item Quantity	Bulb/Item Descriptions	Lm/bulb
	SINGLE PHASE DISTRIBUTION BOARD GROUND	1	1		CEILING MOUNTED LIGHTS Recommend C140 Eurolux Light Fixings	1	3	Eurolux LED GoBall ØW E27 Ø925	485Lm/bulb
	Pre-Paid Meter	1	1		WALL MOUNTED DOWNLIGHT Recommend Eurolux P219	1	0	Eurolux LED GoBall ØW E27 x 1 Ø925	485Lm/bulb
	UB-7 Box and Prepaid Meter see detail on electrical plan	1	0		PENDANT LIGHTS INTERIOR Recommend Eurolux P304	2	5	Eurolux LED A65 10W E27 x 2 Ø922	850Lm/bulb
	15A DOUBLE PLUG SOCKET @ 1m HIGH	1	2		PENDANT LIGHTS KITCHEN COUNTER	1	2	Eurolux LED A65 10W E27 x 2 Ø922	850Lm/bulb
	15A DOUBLE PLUG SOCKET @ 2.3m High	1	0		ADJUSTABLE 3 SPOTLIGHTS	2	0	Eurolux GU10 LED 7W (dimmable) Ø727CW	500Lm/bulb
	15A DOUBLE PLUG SOCKET max 300mm high (unless if used in a rail)	1	14		SINGLE FLUORESCENT LIGHT 1500mm	1	2	25W Philips Master LED Tube Light 1500mm	3100Lm/bulb
	15A DOUBLE (2 POINT) PLUG SOCKET max 300mm high (unless if used in a rail)	1	0		DOUBLE FLUORESCENT LIGHT	2	0	25W Philips Master LED Tube Light 1500mm	3100Lm/bulb
	15A WATERTIGHT PLUG SOCKET	1	2		WATERPROOF WALL LIGHT FITTING Recommend Eurolux Q243 (1 downlighters) plinking down	1	3	Eurolux GU10 LED ØW (not dimmable) Ø665CW	360Lm/bulb
	CEILING MOUNTED PLUG (for garage door or projector)	1	1		LANTERNPENDANT LIGHTS EXTERIOR Recommend Eurolux P64	1	1	Eurolux LED A65 10W E27 Ø824	850Lm/bulb
	TELEVISION SOCKET	1	1		WALL INCASED WATERTIGHT EXTERIOR LIGHT EYELET TYPE LIGHT TO SHINE DOWN Eurolux Black recessed light code: BS2 (see site plan)	1	0	Eurolux LED GoBall ØW E27	485Lm/bulb
	TELEPHONE & ADSL SOCKET	1	0		DOWNLIGHTERS GU10	1	0	Eurolux GU10 LED ØW (not dimmable) Ø665CW	360Lm/bulb
	Data Point	1	1		DOWNLIGHTERS GU10 DIMMABLE	1	0	Eurolux GU10 LED 7W (dimmable) Ø727CW	500Lm/bulb
	Boach / or similar 16L p/min LPG gas geyser flow rate 16L p/min (incased in wall (Size of geyser to be determined by Plumber)	1	1		WATERTIGHT DOWNLIGHTER GU10	1	0	Eurolux GU10 LED 7W (dimmable) Ø727CW	500Lm/bulb
	Boach / or similar 24L p/min LPG gas geyser flow rate 24L p/min (incased in wall (Size of geyser to be determined by Plumber)	1	1		TUBULAR CEILING MOUNTED SKY LIGHT	1	0	Eurolux LED A65 ØW E27 Ø922	850Lm/bulb
	SOLATOR (STOVE & GEYSERS & AIRCONS) Heatpumps 50amp breakers	1	1						
	LIGHT & DIMMER SWITCH	1	8						
	DOUBLE LIGHT & DIMMER SWITCH	1	1						
	TRIPLE LIGHT SWITCH	1	1						
	4 POINT LIGHT SWITCH	1	0						
	DOORBELL/BUZZER	1	1						
	ELECTRIC EXTRACTOR FAN FOR TOILET VENTILATION (Automatic on-and switch after 5 minutes. Reset with remote device)	1	0						

BLUEPRINT DRAUGHTING
PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
TIAN SCHOON
082 303 0652 | TIAN@BLUEPRINTWC.COM

TIAN KONRAD SCHOON
PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
30:29 AM (Africa/Johannesburg) on 30 Sep 2020

Project Description:
Additions & Alterations on Erf 5012
George - Campherdrift
for Mr Liebenberg & Mrs Van Zyl

Drawing Nr: H24 - 01
CNL - 04 - 06
23/04/2024

Drawing :
Electrical Plan And Sewer Section

- NOTES:**
- All information on the plan must be checked and any discrepancies must be brought to the arch professional's attention, before any building work commences.
 - All levels and dimensions must be checked on site.
 - Drawings must not be scaled.

Area Covered:

GROUND STOREY :	
Existing :	183.87 m ²
Additions :	12.79 m ²
New Laundry :	16.48 m ²
New Shade Net Carport :	55.00 m ²
New Pool :	12.50 m ²
TOTAL :	280.65 m²
FIRST STOREY	
Existing :	141.04 m ²
New Balcony :	46.48 m ²
TOTAL :	187.51 m²
Total Floor Area :	468.16 m²
Total Stand Area:	512.50 m ²
Site coverage percentage incl Pool 174.68 / 512.50 :	34.08 %
F.A.R. 220.88 / 512.50 : (Excl Garage, Balcony & Carport)	0.4309
Occupancy:	H4
Zoning:	Res 1

Applicable Party Approval:

Owner/authorized Signature: _____ **Date:** _____

T Schoon Signature: _____ **Date:** _____

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ACTS OF PARLIAMENT

All Contractors shall ensure that, before any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of South Africa.

Municipal Approval Stamp



SANS 10400 part XA Lighting, Energy demand & consumption calculations:

General Input :
Home Address
 Erf 5012
Owner
 Liebenberg
Climatic Zone
 4 Temperate Coastal

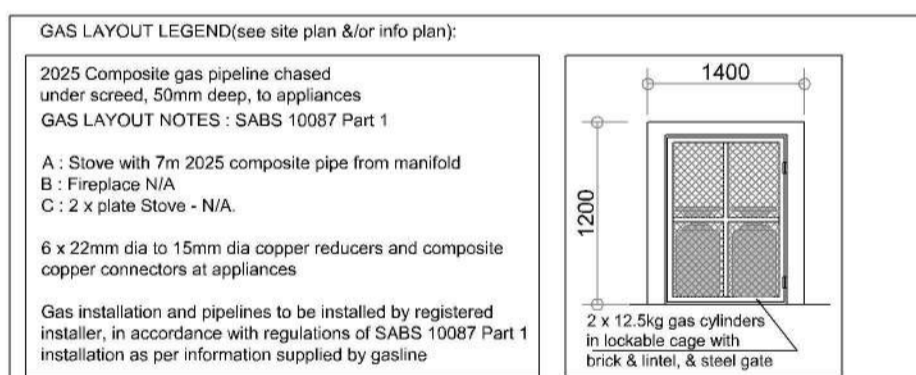
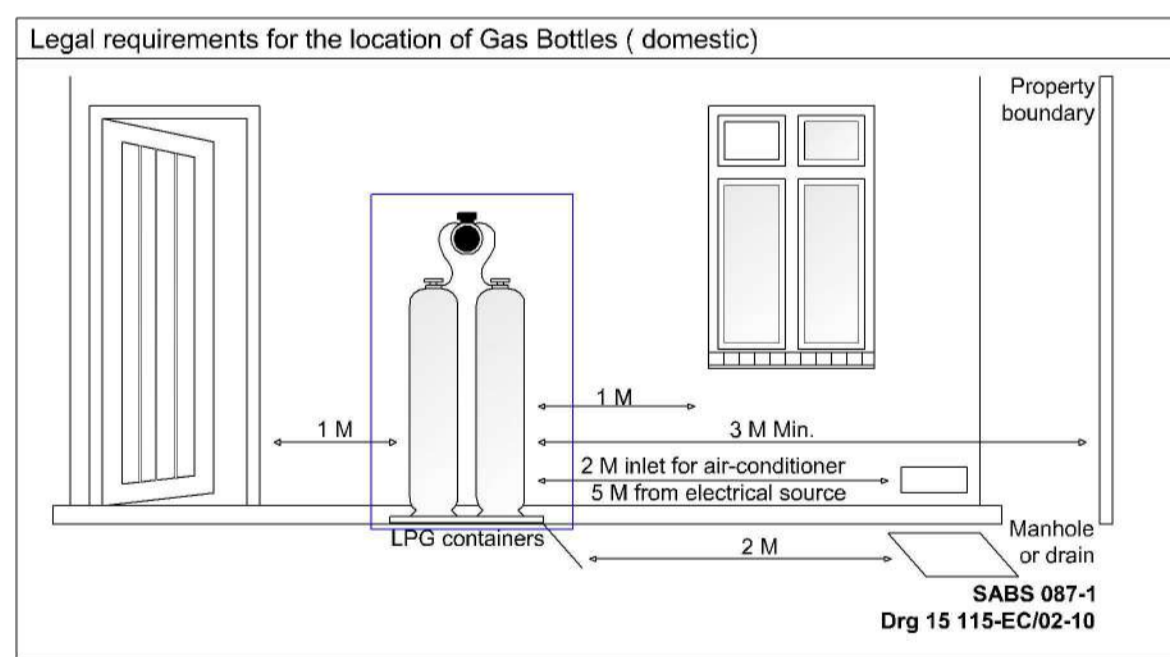
Note:
 All lights & electrical specifications must comply with energy efficiency requirements as per SANS 204 - ALG2011, for energy & consumption. All geyser must be connected to solar panel power generators as indicated on roof plan and must comply with requirements of SANS 1307 and be installed in accordance with SANS 10106, as required 50% of hot water should be provided by means of solar energy. Alternatively the use of heat pumps to be compliant to the above requirements. Heat pumps must not be enclosed in basements or inside roofs. Renewable energy sources should be maximized. Below calculated is Max energy demand & consumption for dwelling occupied by 8 people max (2bedroom):



SANS 10400 PART XA REQUIREMENTS - APPLICATION OF SANS 204 CALCULATIONS OUTPUT

Input:	Outcome:
Occupation Class H4 Dwelling house	Demand W/m ² : 719 Consumption kWh/m ² .a: 1832.012
Occupation Desc Dwelling house	5762.7000 5762.7000
Number of People 12	
Energy Demand per Person 1.25	
Energy Consumption per Person 1.25	
Energy Demand Total 15.00	
Energy Consumption Total 15.00	
Light Hours per Day 7	
Light Days per Week 7	
Light Hours per Year 2548	
Gross External Area (Including Walls) 384.18	

Room Name	Name	Quantity	Bulb Watts	Total Watts
Bedroom 1	Down Lighters	42	7	294
Bathroom 1	Pendant	17	10	170
Staircase Passage	Down Lighters	14	6	84
Entrance Foyer	Double Fluorescent Light	2	25	50
Lounge	Low Level Foot Down Light	11	11	121
Kitchen				
Scullery				
Bedroom 2				
Bedroom 3				
Bedroom 4				
Bedroom 5				
Dresser 1				
Bedroom 6				
Dresser 2				
Dresser 3				
Bedroom 7				
Bedroom 8				
Outside Lights				



- GAS LAYOUT LEGEND (see site plan &/or info plan):**
 2025 Composite gas pipeline chased under screed, 50mm deep, to appliances
 GAS LAYOUT NOTES : SABS 10087 Part 1
 A : Stove with 7m 2025 composite pipe from manifold
 B : Fireplace N/A
 C : 2 x plate Stove - N/A
 6 x 22mm dia to 15mm dia copper reducers and composite copper connectors at appliances
 Gas installation and pipelines to be installed by registered installer, in accordance with regulations of SABS 10087 Part 1 installation as per information supplied by gasline
- GENERAL NOTES - GAS INSTALLATION**
 a) The installation must be installed in compliance with SANS 10040, 10087:1
 b) At least One 9kg dry chemical powder BC type fire extinguisher must be provided per installation
 c) SABS approved symbolic signs:
 1. "No Smoking"
 2. "No open fire"
 3. "No unauthorized person"
 4. "No littering at cage - signs must be provided"
 d) Gas cage must be provided with locks for protection
 e) No cylinders are allowed to be stored outside an approved LPG cage
 f) LPG signs to be displayed on front of the entrance of the pipes
 g) Should have adequate ventilation
 h) A test certificate must be provided by the installer
 i) All electrical cables must be a minimum of 150mm from any gas pipes, except electric cables in appliances
 j) Gas piping shall not be used as an earth for electrical circuits
 k) All buried steel pipes must be corrosion protected in any approved manner. Schedule 40 steel pipes and wrought fittings which comply with SANS 62-1 must be used
 l) All underground pipes must be placed a minimum of 50mm below the top of the concrete surface bed.
 m) Pipes that are to be embedded in concrete must be tested before completion of the applicable floor
 n) Pipe lines to be tested prior to completion of the installation.
 o) Kitchens must be adequately ventilated by the use of at least one airbrick in a external wall.
 p) A test certificate must be provided before any product is supplied.
 q) Gas supply line must be tamper proof
 r) The user must ensure that appliances, components of a system be inspected at regular intervals not exceeding 5 years
 s) All hoses used on outdoor installations must be replaced after 5 years
 t) The local fire department must be informed at least 2 working days in advance before any work of the installation
 v) General - Application for a certificate of registration must be applied for at the fire department, on completion of the installation before any product (LPG) is supplied.
 - This installation is subject to Local authority approval
 - All mandatory fire equipment to be present and maintained
 - Area around main shut off point to be kept clear of any combustible materials
 - Gas pipelines to be installed and pressure tested by registered gas installer
- 1. ALL PIPEWORK ABOVE GROUND LEVEL TO BE CLASS 16 IN GALV. IRON**
2. FIREWALLS UP TO ROOF COVERING
3. 4.5kgDCP

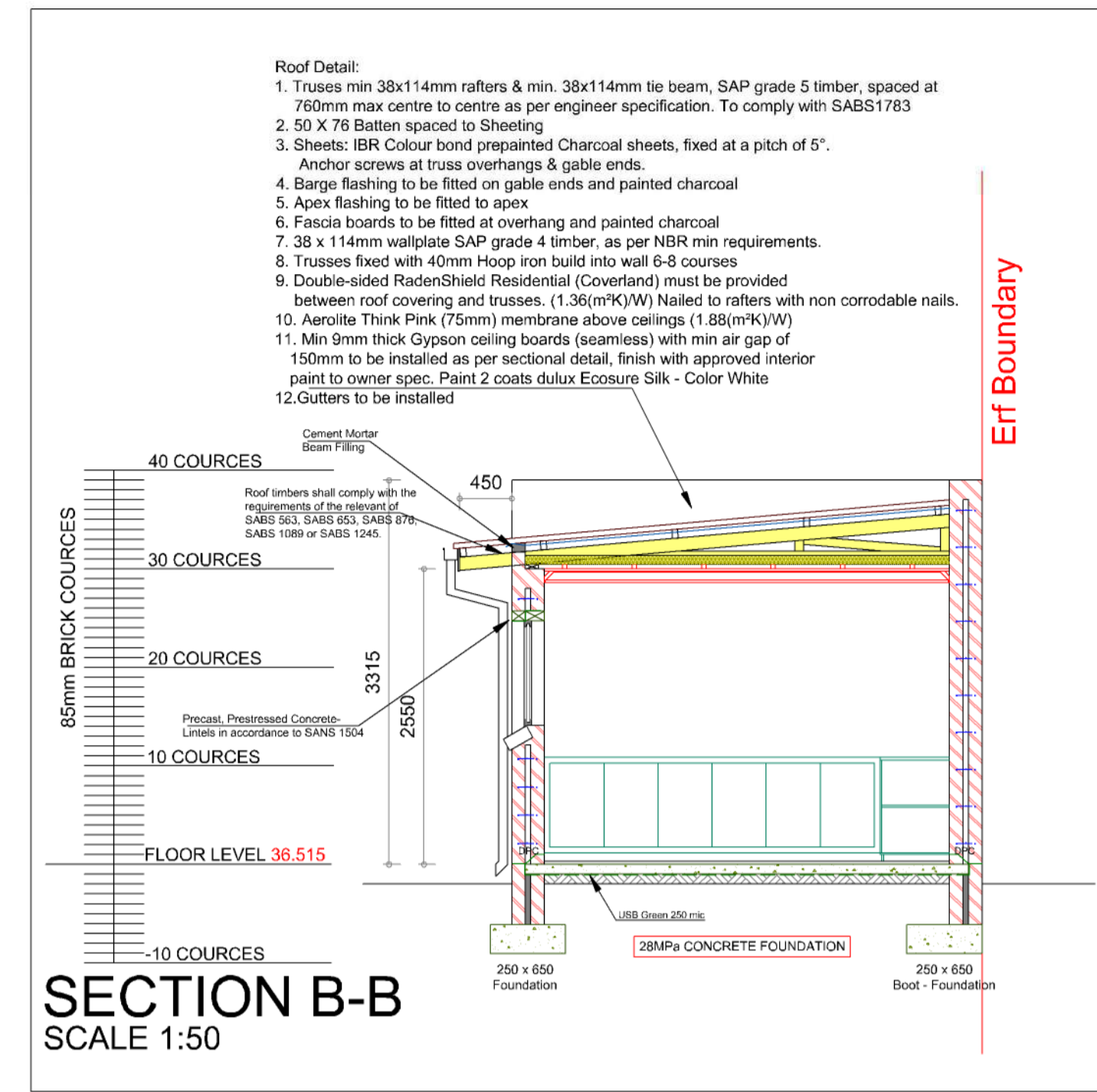
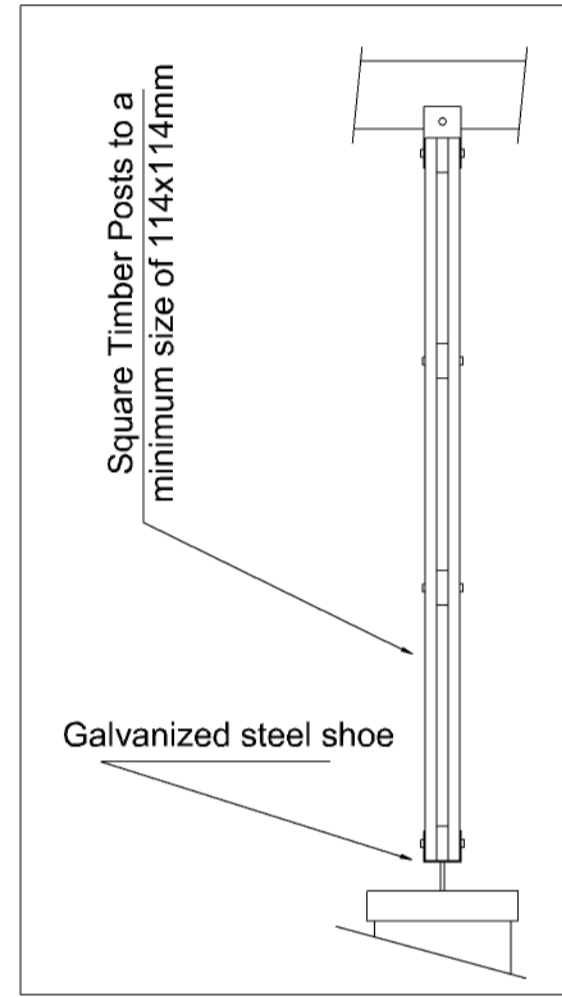
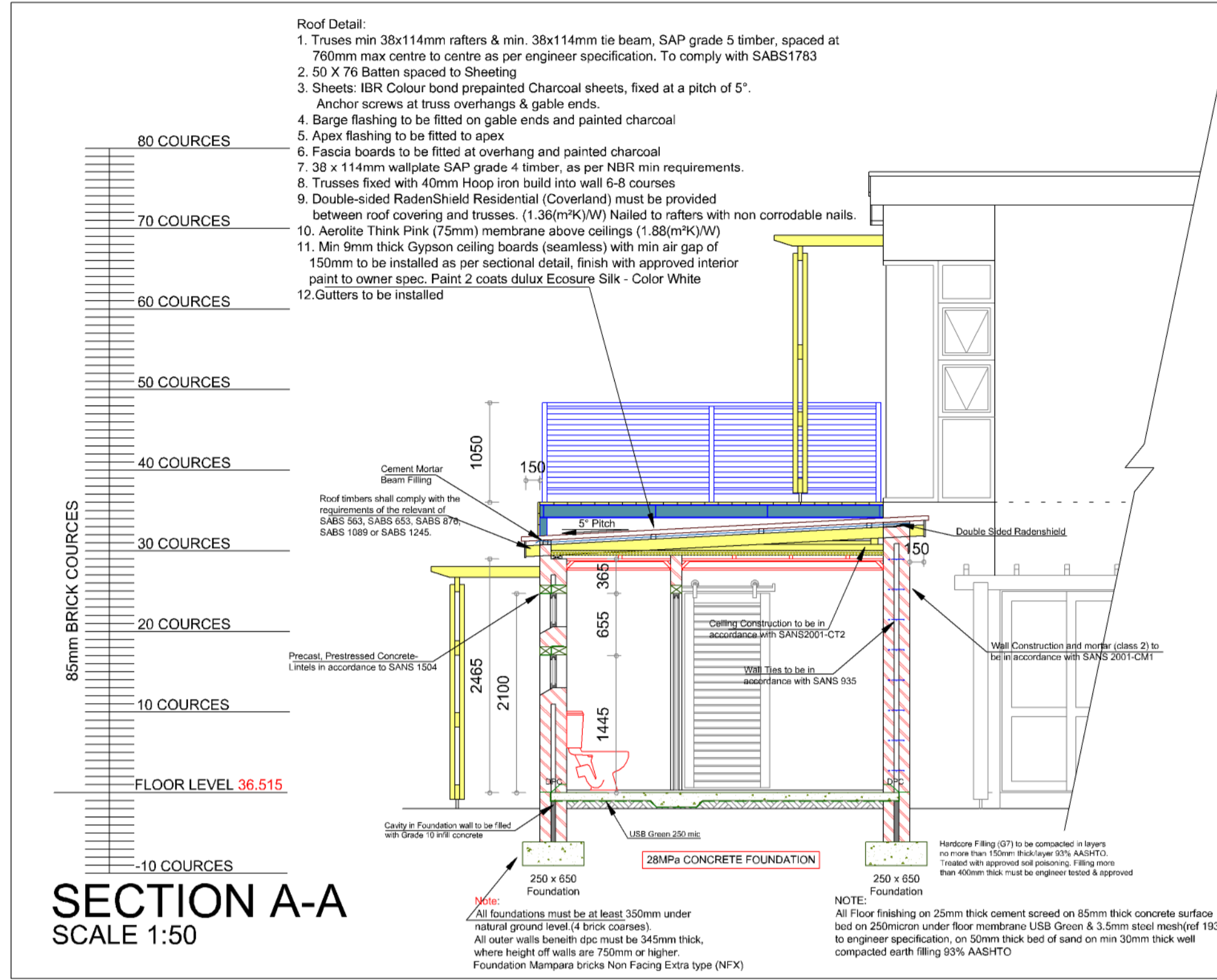
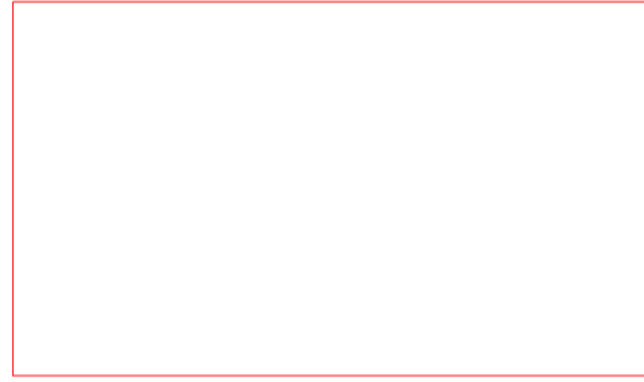
Ground storey Input Summary Results

Test	Actual	Allowed	Result
Artificial Cooling Heating Total Internal floor area	142.8753300	229.688	PASS
SHGC	19.434837500	21.3291	PASS

Ground storey Input Fenestration

Room Name	Frame Type	Frame Code	Frame Desc	Height	Length	Area	Glazing Element	Conductance U	U Value	Orientation	P	H	G	PHI	E-Factor	Action
Bedroom 1	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 2	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 3	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 4	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 5	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 6	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 7	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 8	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 9	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 10	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 11	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 12	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 13	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 14	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 15	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 16	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 17	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 18	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 19	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 20	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 21	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 22	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 23	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 24	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 25	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 26	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
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Bedroom 28	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 29	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 30	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 31	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 32	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 33	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 34	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 35	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 36	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 37	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 38	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 39	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 40	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 41	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 42	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 43	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 44	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 45	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 46	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 47	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 48	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 49	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 50	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
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Bedroom 53	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 54	Aluminium	PTT	CK1	2.05	1.18	0.2419	2 Single Treated	0.67	0.41	E	0.1	2.05	0	0.02074	0.15	PASS
Bedroom 55																

Municipal Approval Stamp



BLUEPRINT DRAUGHTING
PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON

TIAN SCHOON
082 303 0652 | TIAN@BLUEPRINTWC.COM

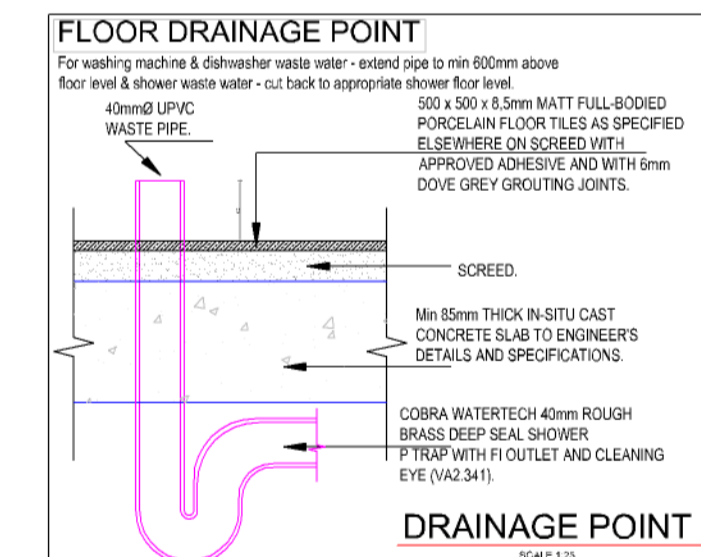
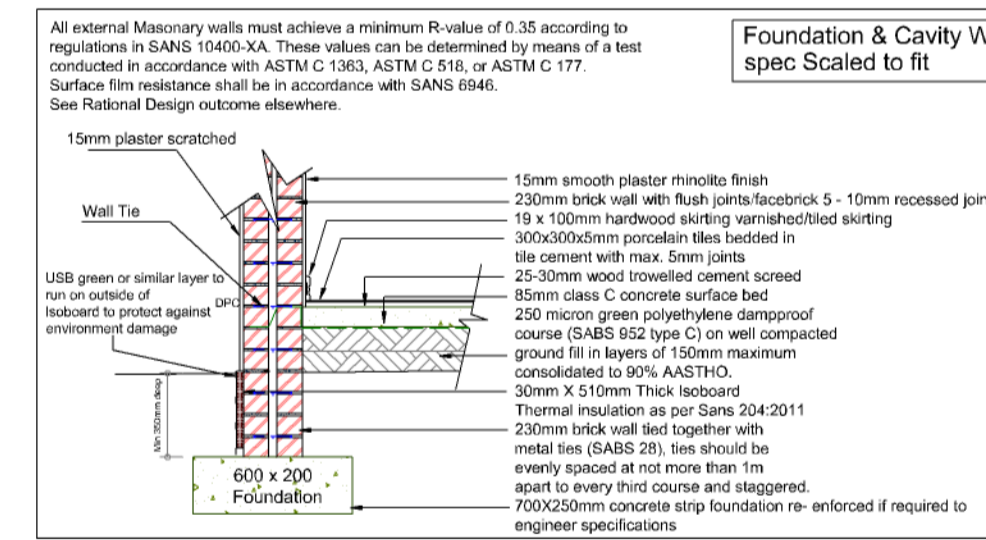
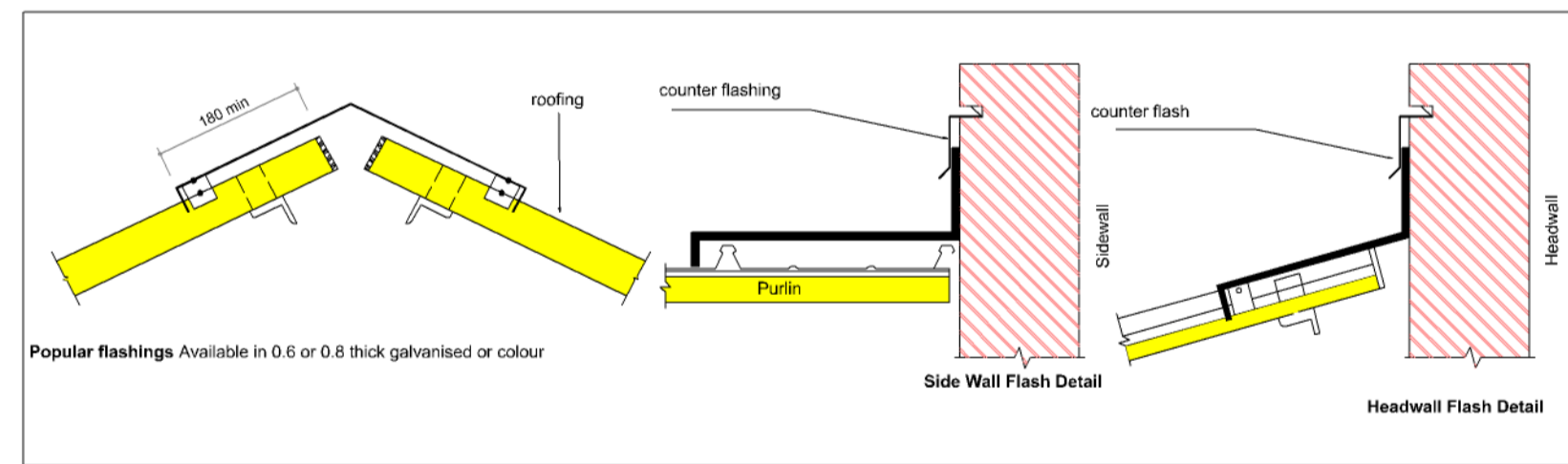
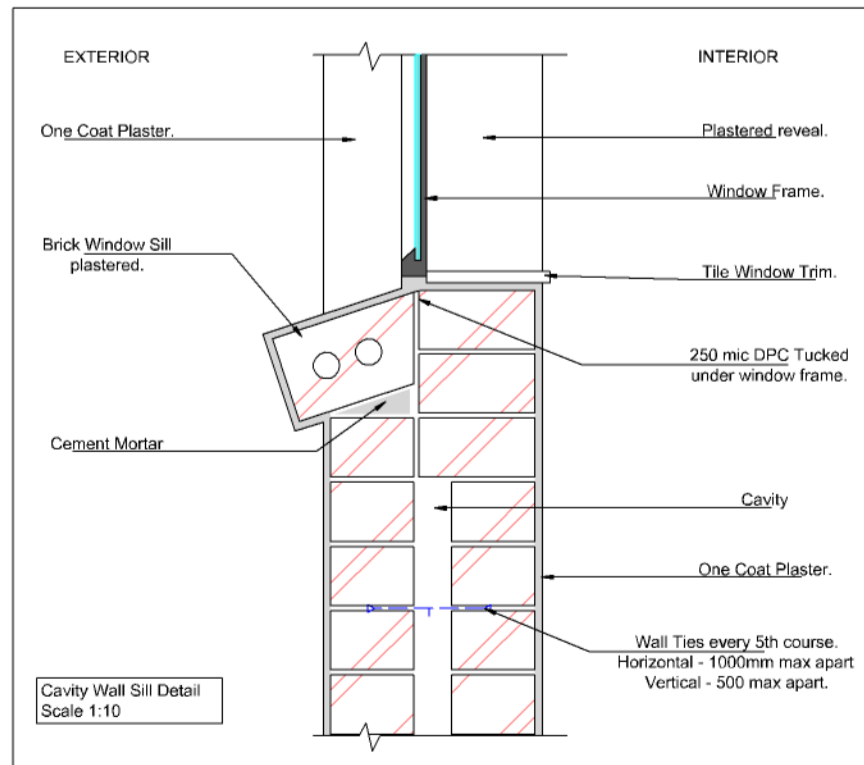
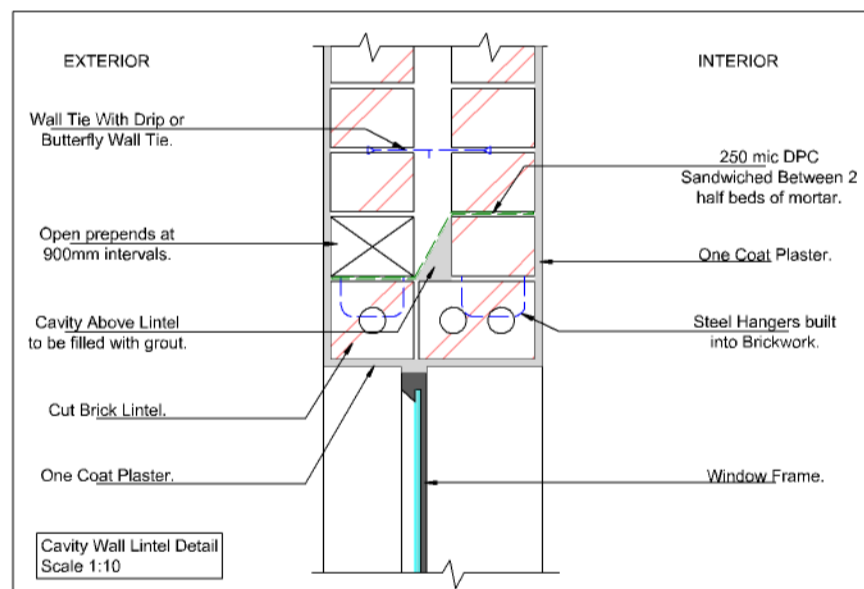
PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON
TIAN KONRAD SCHOON
10:29 AM (Africa/Johannesburg) on 30 Sep 2020

Member NR: 32414

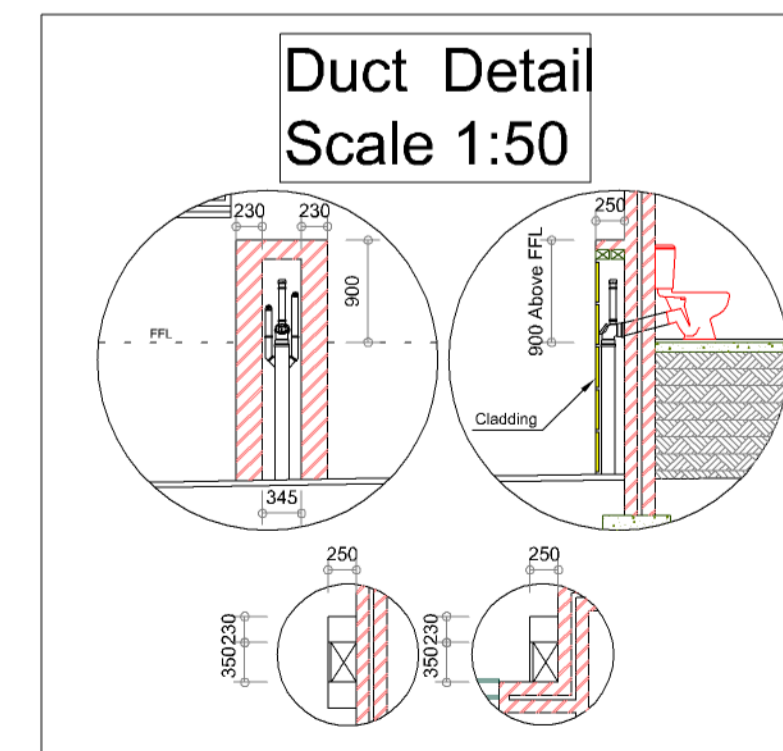
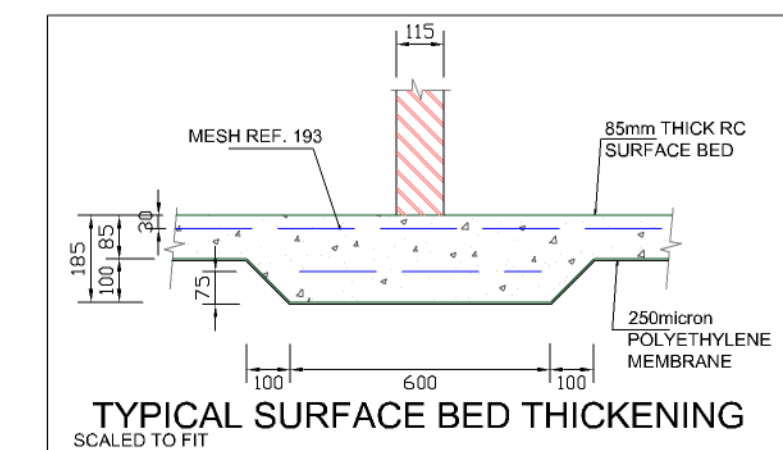
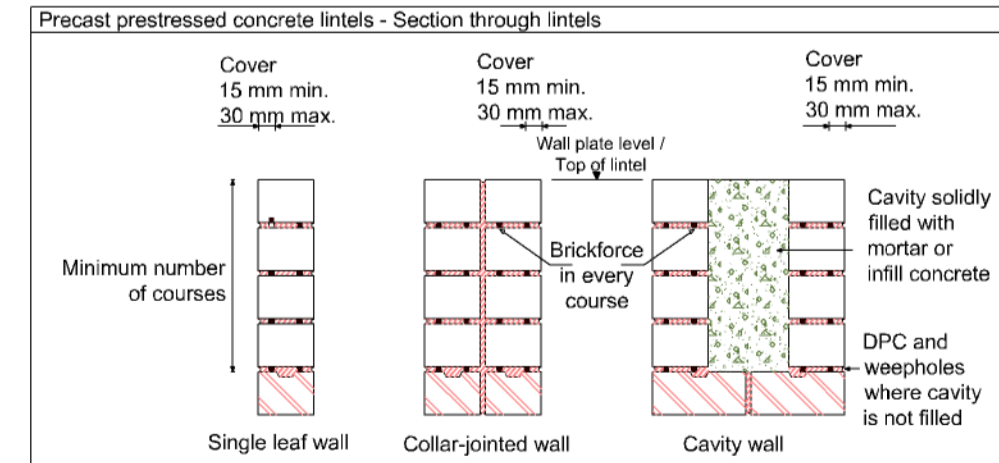
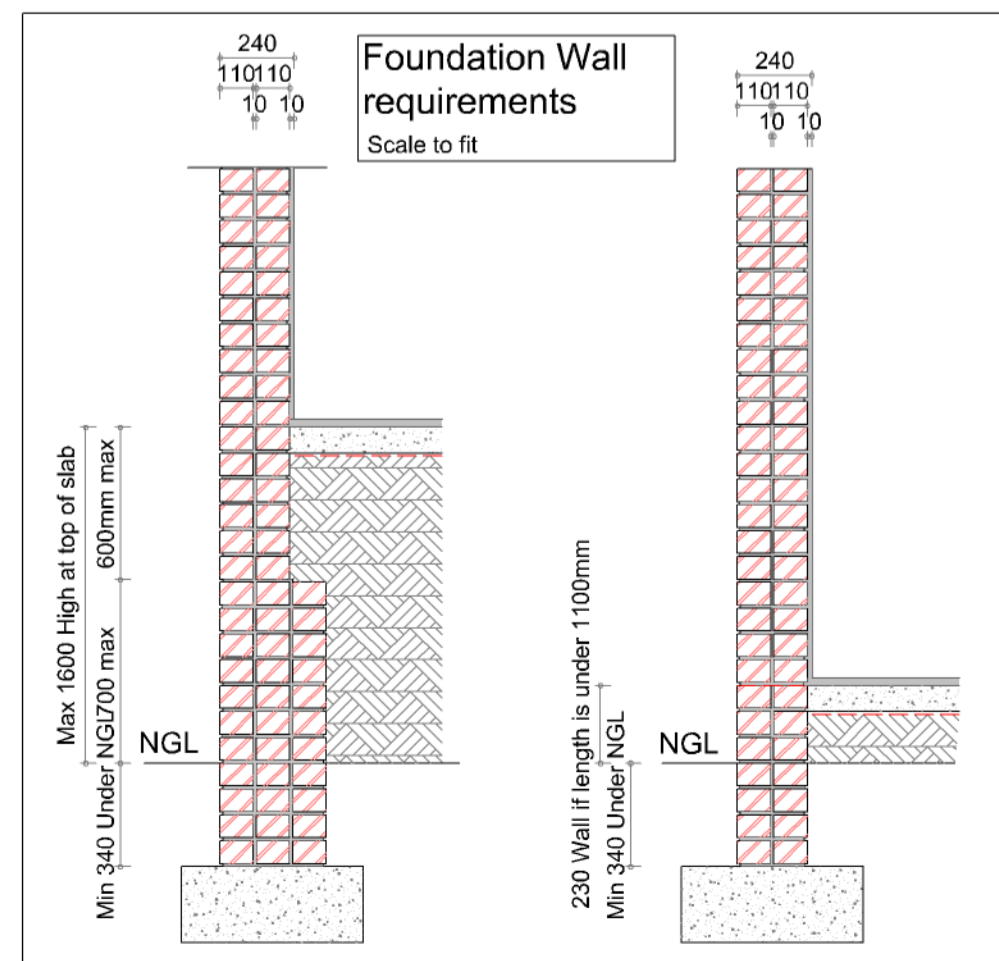
Project Description:
Additions & Alterations on Erf 5012
George - Campherdrift
for Mr Liebenberg & Mrs Van Zyl

Drawing Nr: H24 - 01
CNL - 06 - 06
23/04/2024
Drawing : Sections

- NOTES:**
1. All information on the plan must be checked and any discrepancies must be brought to the arch professional's attention, before any building work commences.
 2. All levels and dimensions must be checked on site.
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Area Covered:	
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Total Floor Area :	468.16 m²
Total Stand Area:	512.50 m ²
Site coverage percentage incl Pool 174.68 / 512.50 :	34.08 %
F.A.R. 220.88 / 512.50 : (Excl Garage, Balcony & Carport)	0.4309
Occupancy:	H4
Zoning:	Res 1



Applicable Party Approval:

Owner/authorized Signature: _____ Date: _____

T Schoon Signature: _____ Date: _____

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ACTS OF PARLIAMENT

All Contractors shall ensure that, before any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of South Africa.

ANNEXURE "B" - APPLICATION FORM



**PLANNING AND DEVELOPMENT
APPLICATION FORM FOR CONSENT USE FOR A SECOND
DWELLING/ADDITIONAL DWELLING AND/OR DEPARTURE**

(Please complete the form in full for consideration - tick appropriate boxes with X)

BUILDING LINE RELAXATION	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

SECOND DWELLING	<input type="checkbox"/>
-----------------	--------------------------

ADDITIONAL DWELLING	<input type="checkbox"/>
---------------------	--------------------------

PROPERTY DETAILS

ERF NUMBER	5012	EXTENSION/A REA	Glen Barrie
ZONING	Single Residential Zone I		
EXISTING LAND USE	Residential		

CORRESPONDENCE DETAILS

IS THE APPLICANT ALSO THE REGISTERED OWNER OF THE RELEVANT PROPERTY?					YES	NO	
ADDRESS CORRESPONDENCE TO			OWNER	APPLICANT	POST OR E- MAIL	POST	E-MAIL
COLLECT BY HAND	YES	<input checked="" type="checkbox"/>	TELEPHONE NO	082 464 7871			

OWNER DETAILS

OWNER NAME	Red Dot Catering (Pty) Ltd Registration number 2020/155029/07					
STREET NAME	Arbour Road	HOUSE NUMBER	29			
POSTAL ADDRESS	P O Box 1195 George	SAME AS POSTAL ADDRESS	YES	NO		
EXTENSION/AREA	George CBD	CODE	6530			
ID NUMBER	N/a	E-MAIL ADDRESS	chris@reddot-sa.co.za			
TELEPHONE NO	N/a	CELL NO	077 4882 3877			

APPLICANT DETAILS (strike through if registered owner is also the applicant)

NAME	Jan Vrolijk Town Planner / Stadsbeplanner					
STREET NAME	Victoria Street	HOUSE NUMBER	-			
POSTAL ADDRESS	P O Box 710	SAME AS POSTAL ADDRESS	YES	NO		
EXTENSION/AREA	George CBD	CODE	6530			
TEL / CELL NO	082 464 7871	E-MAIL ADDRESS	janvrolijk@jvtownplanner.co.za			
PROFESSIONAL CAPACITY	Town Planner	SACPLAN NO	A/1386/2010			

BOND HOLDERS DETAILS (Only applicable if property is encumbered by a bond)

IS THE PROPERTY ENCUMBERED BY A BOND?		YES	NO
NAME OF BOND HOLDER	N/a		

TITLE DEED DETAILS

TITLE DEED NO.	T34708/2024		
ARE THERE RESTRICTIONS IN THE TITLE DEED WHICH IMPACT THE APPLICATION? (If yes, describe restrictions below)		YES	NO
N/a			


APPLICATION DETAILS

DESCRIPTION OF BUILDING LINE RELAXATION (STREET / LATERAL / REAR BUILDING LINE)	FROM M	TO M	DETAILS
Street boundary building line	4.0m	2.310m and 2.565m	To accommodate improvements to the eastern façade of the dwelling and a new pergola.
	4.0m	0.710m	To accommodate the proposed balcony above the covered entrance.
Southern side boundary building line	2.0m	0.0m	To accommodate the proposed laundry & toilet.
Is an application for an increase in coverage being applied for? (Indicate increase under details)	YES	NO	
Is an application for a 2 nd dwelling /additional dwelling being applied for? (indicate size under details)	YES	NO	

HOA/ ADJACENT OWNERS DETAILS (Consent letters as well as site plans to be signed by adjacent owners)

ERF NO	ADDRESS	NAME	CONSENT LETTER ATTACHED
N/a	N/a	Na	YES /NO

I hereby acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

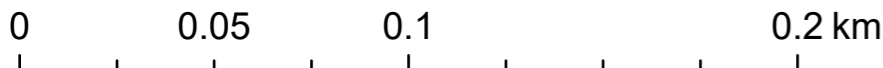
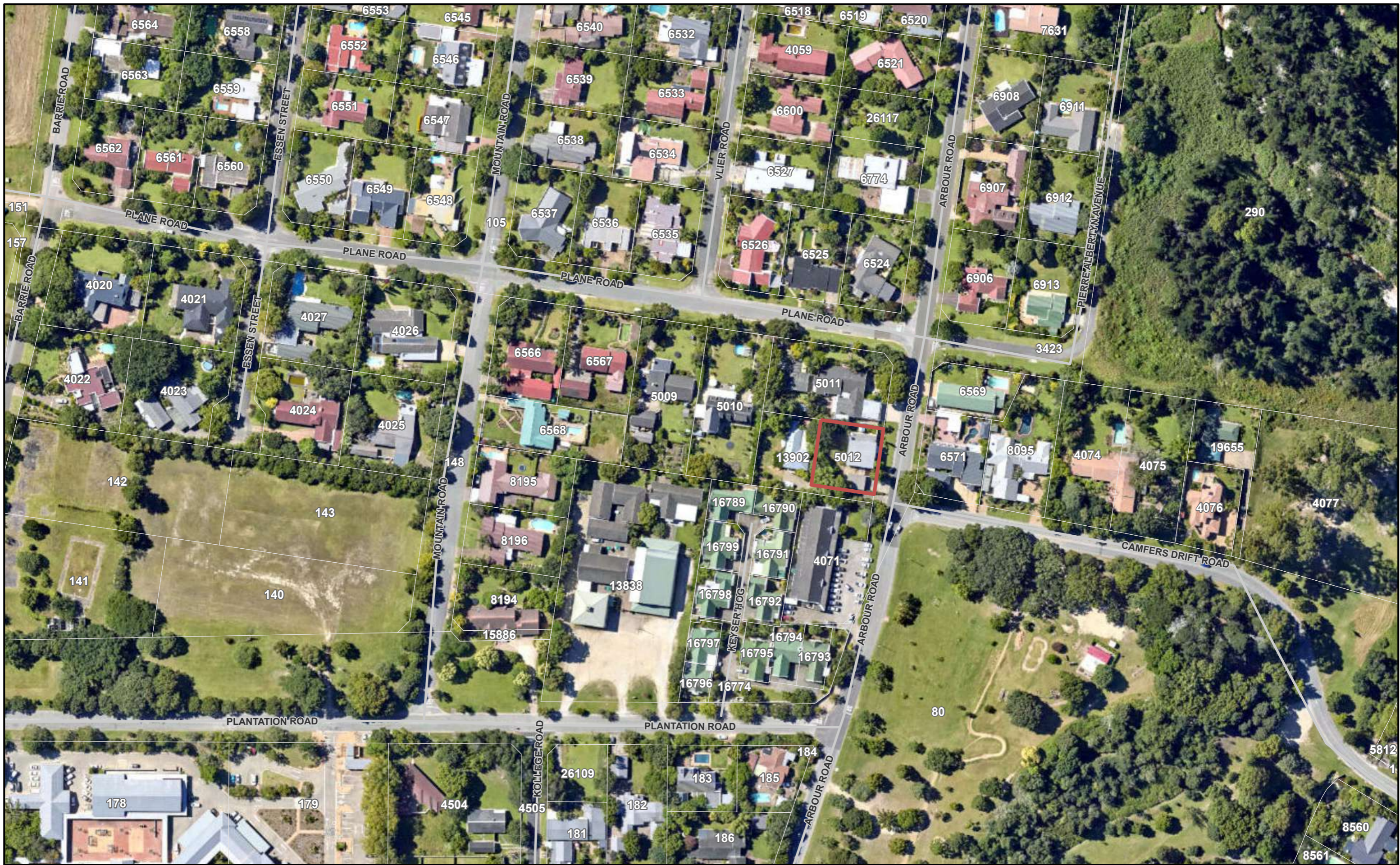
APPLICANT'S SIGNATURE		DATE	12 August 2024
-----------------------	---	------	----------------

FOR OFFICE USE: INFORMATION REQUIRED FOR SUBMISSION:

Locality Plan	Building Plan/ Site Plan on A3/ A4	SG Diagram/ General Plan	Title Deed
Power of Attorney	Motivation	Neighbours Consent / Comment	HOA Consent
Bond Holder Consent	Proof of Payment	Conveyance Certificate	Other (Specify)

ANNEXURE "C" - LOCALITY PLAN

Erf 5012 George - Locality plan



Date: 7/16/2024 5:20 AM

Scale: 1:1,945



Disclaimer
George Municipality makes no warranties as to the correctness of the information supplied. Persons relying on this information do so entirely at their own risk.

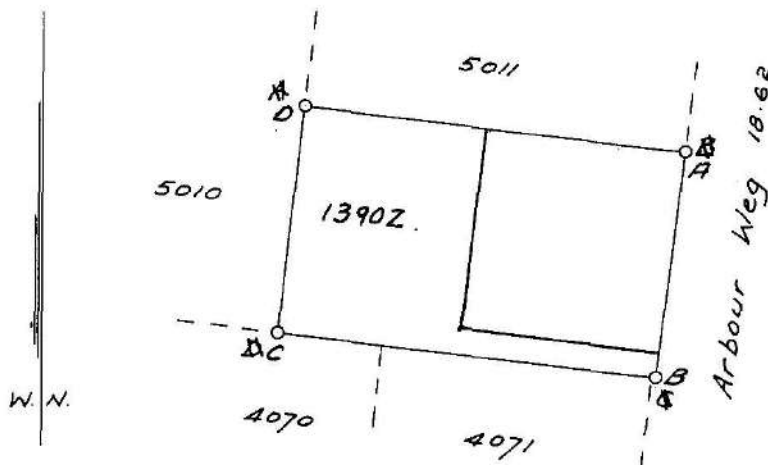
George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.

ANNEXURE "D" - SURVEYOR GENERAL DIAGRAM

KANTOOR AFSKRIF

SYE Keopse-Voet	Meters	RIGTINGS -HOEKE	KOÖRDINATE Stelsel		L.G. No. 10083/70
			Y	X	
AB	35.42	90.00.00	A		Goedgekeur <i>Oggkdy</i> Landmeter-generaal 1.3.71
BC	57.93	90.00.00	B		
CD	35.42	90.00.00	C		
DA	57.93	90.00.00	D		

Bakens
A.B.C.D. 12 mm. ysterpen



Skaal: 1 : 1000

Die figuur A. B. C. D.
2052
stel voor 2049 Vierkante Meter grond, synde
ERF 5012 ('n gedeelte van Erf 150) GEORGE
geleë in die Munisipaliteit en Administratiewe Distrik
George Provinsie Kaap die Goeie Hoop.
Opgemeet in November 1970.
deur my. *Oggkdy* Landmeter

Hierdie kaart is geheg aan No. 1 ZZ07/91. gedateer t.g.v.	Die oorspronklike kaart is. No. 498/1909 geheg aan Transport/Grondbrief No. 1909.41.2584	Lêer No. S/8775/65 M.S. No. E 2570/70 Komp. BL-7DD/V4
--	---	---

Registrateur van Aktes


VIR DIE OORSPRONKLIKE
KART (BY VERMOEDEN)

B S

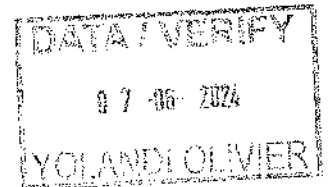
ANNEXURE "E" - TITLE DEED

Stadler & Swart Incorporated
1 Doneraile Street
GEORGE
6529

Prepared by me


CONVEYANCER
ZENARIAH POOLE (96698)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 3800 000.00	R. 2140.00
Reason for exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....



T 000034708 / 2024

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

SHAMEEMAH NAIDOO-BRENNER
(91986)

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

- CHRISTIAAN STEPHANUS LIEBENBERG**
Identity Number 780927 5228 08 5
Married out of community of property
- NATASHIA LIEBENBERG (PREVIOUSLY KNOWN AS VAN ZYL)**
Identity Number 800616 0041 08 2
Married out of community of property

B

which said Power of Attorney was signed at GEORGE on 02 April 2024

And the appearer declared that his/her said principal had, on 14 March 2024, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

RED DOT CATERING (PTY) LTD
Registration Number 2005/155029/07

or its Successors in Title or assigns, in full and free property

REMAINDER ERF 5012 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE

IN EXTENT 941 (NINE HUNDRED AND FORTY ONE) Square metres

FIRST REGISTERED by Certificate of Registered Title Number T2207/1991
with Plan Number 10083/70 relating thereto and held by Deed of Transfer
Number T32459/2011

- A. SUBJECT to such conditions referred to in Deed of Transfer No. T2584/1909.
- B. ENTITLED to the terms of the endorsement dated 16 January 1991 on Certificate of Registered Title No. 2207/1991, which endorsement reads as follows:

"Kragtens Sert. Van Geregistreeerde Title nr 2208/1991 is die binnegemelde eiendom geregtig op 'n riool serwituutgebied soos voorgestel deur die figuur DGHJ op Kaart 3840/89 geheg aan gesegde title Nr T2208/1991 oor die eiendom daardeur gehou, nl. Erf 13902 groot 1111 vk. m. soos meer volledig sal blyk uit gesegde Sert. Van Geregistreeerde Titel."



WHEREFORE the said Appearer, renouncing all rights and title which the said

1. **CHRISTIAAN STEPHANUS LIEBENBERG, Married as aforesaid**
2. **NATASHIA LIEBENBERG (PREVIOUSLY KNOWN AS VAN ZYL), Married as aforesaid**

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

RED DOT CATERING (PTY) LTD
Registration Number 2005/155029/07

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R3 800 000,00 (THREE MILLION EIGHT HUNDRED THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

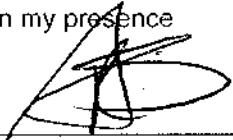
THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

05 JUN 2024



q.q.

In my presence



REGISTRAR OF DEEDS



ANNEXURE "F" - COMPANY REGISTRATION DOCUMENT

COMPANIES AND INTELLECTUAL PROPERTY COMMISSION REPUBLIC OF SOUTH AFRICA

CoR18.3 - Registration Certificate

Issue date: 13/03/2020
Print date: 13/03/2020
Customer code: PWC002
Tracking number: 111939600

Concerning:

**Conversion of 'RED DOT CATERING CC' 2005/026775/23 to
'RED DOT CATERING (PTY) LTD' 2020/155029/07.**

The above named Company has been converted from a Close Corporation in terms of Schedule 2 of the Companies Act, 2008, with effect from the date 13/03/2020 of this certificate.

The Company's name as shown above, has been altered by the Commission to comply with the requirements of Section 14 (3) of the Companies Act, 2008, and otherwise appears to be acceptable in terms of the Act.



Commissioner: CIPC

KMS

About this certificate

This Certificate is issued in terms of Schedule 2 of the Companies Act, 2008, and Regulation 18 of the Companies Regulations, 2011.

If the Commission has issued a Notice of a Potentially Contested Name in conjunction with the certificate, the company must serve that notice on each person identified in the Notice, and any such person has the right to challenge the use of the name, by the company.

The Companies and Intellectual Property Commission of South Africa
P.O. Box 429, Pretoria, 0001, Republic of South Africa
Docex 256, Pretoria
Contact centre 086 100 2472
www.cipc.co.za



**Certificate issued by the Companies and Intellectual Properties
Commission on Friday, March 13, 2020 09:18
Certificate of Registration**



Registration number	2020/155029/07
Converted from Close Corporation	2005/026775/23
Enterprise Name	RED DOT CATERING (PTY) LTD
Enterprise Shortened Name	None provided.
Enterprise Translated Name	None provided.
Registration Date	13/03/2020
Business Start Date	13/03/2020
Enterprise Type	Private Company
Enterprise Status	In Business
Financial year end	February
Main Business/Main Object	NO RESTRICTIONS ON BUSINESS ACTIVITIES
Postal address	P O BOX 1195 GEORGE 6530
Address of registered office	CHURCH CORNER 2ND FLOOR CNR COURTENAY & KERK STREETS GEORGE 6530

The Companies and Intellectual Property Commission of South Africa
P.O. Box 429, Pretoria, 0001, Republic of South Africa
Docex 256, Pretoria
Contact centre 086 100 2472
www.cipc.co.za



**Certificate issued by the Companies and Intellectual Properties
Commission on Friday, March 13, 2020 09:18
Certificate of Confirmation**



Companies and Intellectual
Property Commission
is an institution of the dti group

Registration number 2020/155029/07
Enterprise Name RED DOT CATERING (PTY) LTD

Active Directors / Officers

Surname and first names	Status	ID number or date of birth	Director type	Appoint-ment date	Addresses
LIEBENBERG, NATASHA	ACTIVE	8006160041082	Director	13/03/2020	Postal: P O BOX 5137, GEORGE, 6539 Residential: 31 ARBOUR ROAD, HEATHERLANDS, GEORGE, 6529
LIEBENBERG, CHRISTIAAN STEPHANUS	ACTIVE	7809275228085	Director	13/03/2020	Postal: P O BOX 5137, GEORGE, 6539 Residential: 31 ARBOUR ROAD, HEATHERLANDS, GEORGE, 6529

The Companies and Intellectual Property Commission of South Africa
P.O. Box 429, Pretoria, 0001, Republic of South Africa
Docex 256, Pretoria
Contact centre 086 100 2472
www.cipc.co.za



ANNEXURE "G" - POWER OF ATTORNEY

POWER OF ATTORNEY

We, the undersigned

Natasha Liebenberg and Christiaan Stephanus Liebenberg

in our capacity as the Directors of

Red Dot Catering (Pty) Ltd Registration number 2005/155029/07

the registered owner of

Erf 5012 George

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following application to the George Municipality:

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of following building lines on Erf 5012 George:


- *the street boundary building line from 4.0 metres to:
 - 2.310 metres and 2.565 metres to accommodate improvements to the eastern façade of the dwelling house and the proposed pergola on the south-eastern side of the dwelling house; and
 - 0.710 metres to accommodate the proposed balcony above the covered entrance.*
- *the southern side boundary building line from 2.0 metres to 0.0 metres to accommodate a new laundry and toilet.*

Signed at George on 12 August 2024

Natasha Liebenberg



Christiaan Stephanus Liebenberg



ANNEXURE "H" - CONVEYANCER CERTIFICATE

CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023

ERF 5012 GEORGE

APPLICATION DETAILS

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of following building lines on Erf 5012 George:

- the street boundary building line from 4.0 metres to:
 - 2.310 metres and 2.565 metres to accommodate improvements to the eastern façade of the dwelling house and the proposed pergola on the south-eastern side of the dwelling house; and
 - 0.710 metres to accommodate the proposed balcony above the covered entrance.
- the southern side boundary building line from 2.0 metres to 0.0 metres to accommodate a new laundry and toilet.

APPLICATION DATE

August 2024

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T34708/2024 (current Title Deed)

in respect of:

**ERF 5012 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT: 941 (NINE FOUR ONE) SQUARE METRE

HELD BY DEED OF TRANSFER NUMBER T34708/2024

REGISTERED in the name of

RED DOT CATERING (PTY) LTD REGISTRATION NUMBER 2020/155029/07

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.
4. There is no bond registered over the property.

SIGNED at GEORGE on 9 August 2024



CONVEYANCER