

**Menslike Nedersettings, Beplanning en Ontwikkeling
Human Settlements, Planning and Development**

Collaborator No.: 3090772
Reference / Verwysing: Erf 9377, George
Date / Datum: 05 July 2024
Enquiries / Navrae: Primrose Nako

Email: planning@delplan.co.za

DELPLAN CONSULTING
P O Box 9956
GEORGE
6530

APPLICATION FOR PERMANENT DEPARTURE: ERF 9377, GEORGE

Your application in the above regard refers.

The Senior Manager: Town/ Spatial Planning (Authorised Official) has, under delegated authority, 4.17.1.24 of 30 June 2022 decided that the application for Departure in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 the relaxation of the southern street boundary building line from 5m to 1.35m to accommodate the existing carport on Erf 9377, George;

BE APPROVED in terms of Section 60 of said Bylaw for the following reasons:

REASONS:

- A. The proposed departures will not have an adverse impact on the surrounding residential character or the streetscape.
- B. There will be no negative impacts on surrounding neighbours' rights or amenity in terms of views, privacy or overshadowing.
- C. The proposed additions form part of a residential development and can be accommodated within the property.

Subject to the following conditions imposed in terms of Sections 66 of the said By-law, namely:

CONDITIONS:

1. That in terms of Section 18(2) of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of two (2) years from the date it comes into operation.
2. This approval shall be taken to cover only the Departure as applied for and as indicated on the site layout plan, Plan no. BA23-025 2-01 MS drawn by Blue Architects dated January 2024 attached as "Annexure A" which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.
3. A contravention levy of R5 062.05 (VAT Included) is payable on the submission of building plans for the unauthorized structure erected over the building line.

4. The above approval will be considered as implemented on the issuing of the occupation certificate in accordance with the approved building plans.

Note:

- A building plan be submitted for approval in accordance with the National Building Regulations (NBR).
- Stormwater must be dispersed responsibly, and the stormwater management, retention and erosion measures must be addressed on the building plans.
- The applicant is to comply with the National Forestry Act, Act No 84 of 1998, should it be required.
- The contravention Levy was calculated as follows:
 - Encroachment= 21.8m²
 - Property value: $\frac{R2950000.00}{1461sqm} = R2\ 019.17/m^2$
 - Contravention = 10% x R2019.17/m² x 21.9m² = R4 401.78
 - VAT @ 15% = R660.27
 - Total: **R5 062.05**

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Human Settlements, Planning and Development, P O Box 19, George, 6530 or Directorate: Human Settlements, Planning and Development, 5th floor, Civic Centre, York Street, George **on or before 26 JULY 2024** and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully

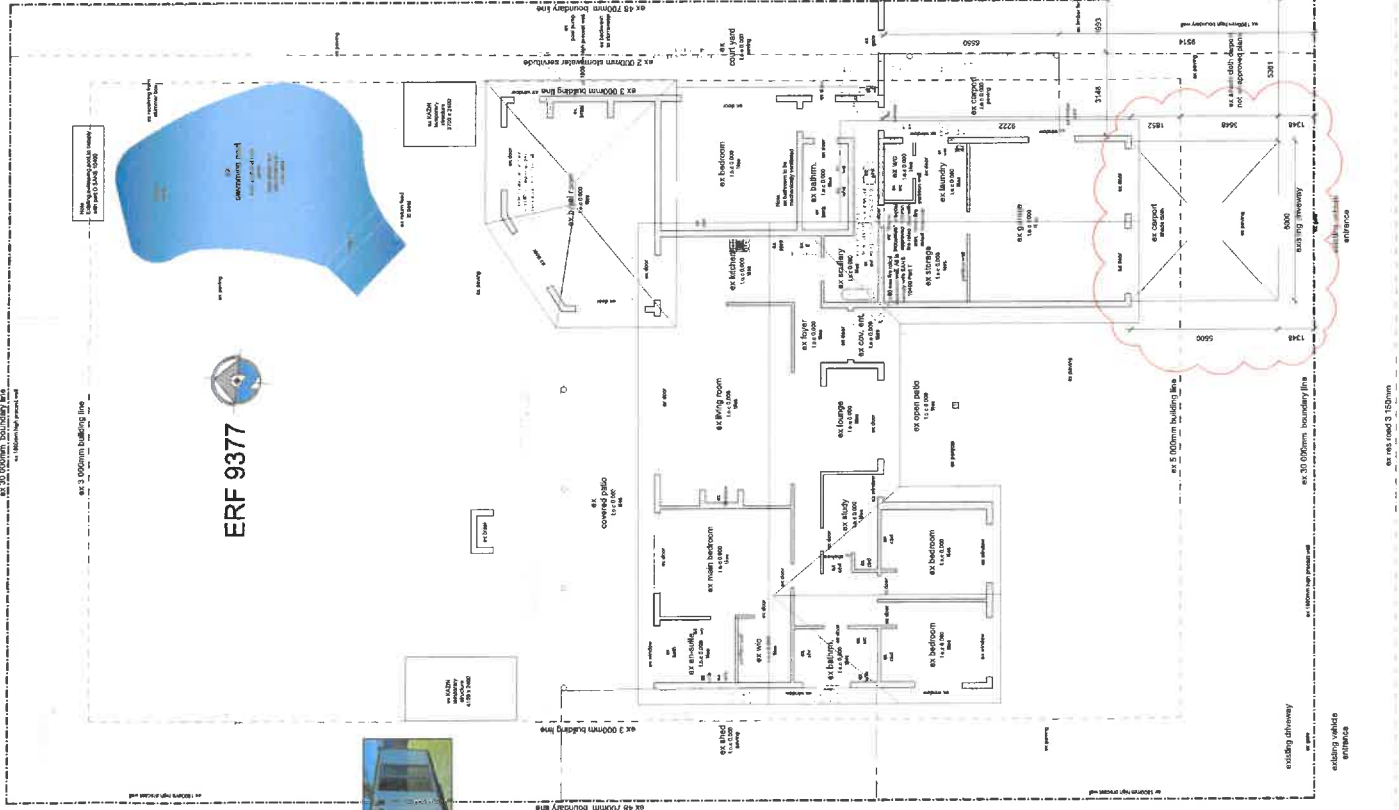

I. HUYSER
ACTING SENIOR MANAGER: TOWN PLANNING

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LEVELS AND DIMENSIONS.
 THE CONTRACTOR, THE CONTRACTOR AND APPROVER MUST VERIFY ALL DIMENSIONS AND LEVELS ON THE SITE PRIOR TO COMMENCING ANY WORK. DIMENSIONS AND LEVELS MUST BE TAKEN IN PREFERENCE TO SCALED DRAWINGS AND LARGER SCALE DETAILS SUPERSEDE SMALL SCALE DETAILS.

MUNISIPALITEIT GEORGE MUNICIPALITY
 Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

05/07/2024
 DATE
 SENIOR MANAGER: TOWN PLANNING
 SENIOR BESOURDER: STATISBEPLANNING
 DATUM



EAST ELEVATION - scale 1 : 100

SOUTH ELEVATION - scale 1 : 100

No.	Date / Ir. Datum	Description / Bestyrying	By / De

Revisions



Mr. & Mrs. Dresselhaus

As built plans for existing residence on Erf 9377
 Heather Park
 George

Project Number: 8423-025 2-01 MS
 Drawing Number: 02-Storey Plan & Elevations
 Scale: AS SHOWN
 Date: JAN 2024
 Drawn By: RIMANLE ROUX
 Checked By: RIMANLE ROUX
 Approved By: [Signature]

MEENT STREET
 GROUND STOREY PLAN - scale 1 : 100