

**Menslike Nedersettings, Beplanning en Ontwikkeling
Human Settlements, Planning and Development**

Collaborator No.: 2919155
Reference / Verwysing: Erf 543, Blanco
Date / Datum: 05 July 2024
Enquiries / Navrae: Primrose Nako

Email: roxywanadoo@yahoo.co.uk

MARINA FUCHS
VOORTREKKER STREET 45
BLANCO
6530

APPLICATION FOR DEPARTURE (BUILDING LINE RELAXATION): ERF 543, BLANCO

Your application in the above regard refers.

The Senior Manager: Town / Spatial Planning (Authorised Official) has, under delegated authority, 4.17.1.24 of 30 June 2022 decided that the application for Departure in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for the relaxation of the street boundary building line from 4m to 2m on Erf 543, Blanco for a carport;

BE APPROVED in terms of Section 60 of said Bylaw for the following reasons:

REASONS:

- a. The proposed departures will not have an adverse impact on the surrounding residential character or the streetscape.
- b. There will be no negative impacts on surrounding neighbours' rights or amenity in terms of views, privacy or overshadowing.
- c. The proposed additions form part of a residential development and can be accommodated within the property.
- d. No negative comments or objections were received.

Subject to the following conditions imposed in terms of Sections 66 of the said By-law, namely:

CONDITIONS:

1. That in terms of Section 18(2) of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of two (2) years from the date it comes into operation.
2. This approval shall be taken to cover only the Departure as applied for and as indicated on the site layout plan, Plan no. 2023/543, drawn by Wanadoo Consulting Architectural and Landscape Design dated 13/06/2023 (2x plans) attached as "Annexure A" which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.

3. The above approval will be considered as implemented on the issuing of the occupation certificate in accordance with the approved building plans.

Note:

- A building plan be submitted for approval in accordance with the National Building Regulations (NBR).
- Stormwater must be dispersed responsibly, and the stormwater management, retention and erosion measures must be addressed on the building plans.
- The applicant is to comply with the National Forestry Act, Act No 84 of 1998, should it be required.

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Human Settlements, Planning and Development, P O Box 19, George, 6530 or Directorate: Human Settlements, Planning and Development, 5th floor, Civic Centre, York Street, George **on or before 26 JULY 2024** and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

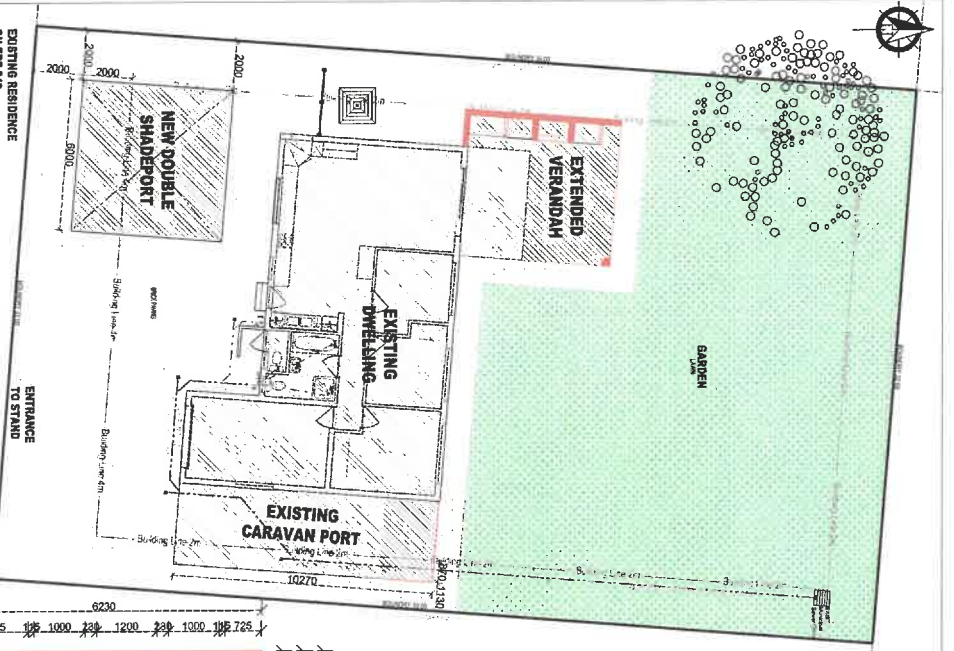
Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully


I. HUYSEN
ACTING SENIOR MANAGER: TOWN PLANNING

C:\scan\Erf 543 Blanco (Depature Approval) JM Fuchs.docx



SITE PLAN
SCALE 1:150

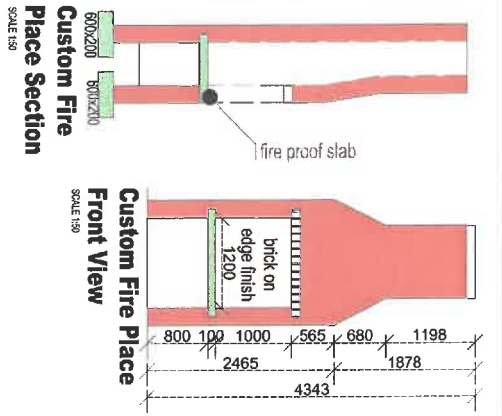
EXISTING RESIDENCE
ON ERF 543
NR 48 VOORTREKKE STR.
SCALE 1:150

ABBREVIATIONS:

- wh - wash hand basin
- wc - water closet
- ur - urinal
- sh - shower
- bat - bath
- pr - sink
- pl - platform
- dw - dish washer
- wm - washing machine
- g - gully
- ve - veranda
- re - reading eye
- co - cleaning eye
- ssw - stock stock vent valve
- vp - 110mm dia ventilation pipe

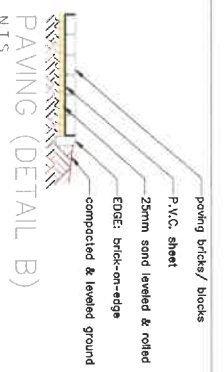
GENERAL DRAINAGE NOTES

1. The drainage is a one pipe system.
2. All drains to be carried up to 100mm above and opening within 6m: thereof.
4. All soil and waste fittings to be accessible and their entire length.
5. All drains to have min 1:80 fall.
7. Soil drain to be min. 300mm below ground level or 100mm covered by a concrete slab.
8. All soil drains under the building to be in straight concrete with 150mm dia. 300mm for all other.
9. Fets to be provided at all bends and junctions.
10. Rodding eyes, inspection chambers or manholes to be provided at the following:
 - a) At highest point.
 - b) At internal ascending 25m.
 - c) Within 1.5m of sewer connection.
 - d) At highest point.
 - e) At change of direction exceeding 45 deg.
 - f) At internal ascending 25m.
 - g) At 150mm dia sewer pipes to be laid with minimum 1:40 falls.
 - h) At 50mm dia sewer pipes to be laid with minimum 1:40 falls.



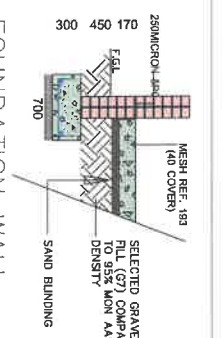
Custom Fire Place Section
SCALE 1:50

Custom Fire Place Front View
SCALE 1:50



PAVING (DETAIL B)
SCALE 1:50

- NOTES:**
- An approved weed killer applied on the level ground is recommended.
 - Total design flexibility with earthy colours blend into the environment.
 - A dry mix of sand & cement (1:1.5) is swept into the joints and wetted.



FOUNDATION WALL (DETAIL A)
SCALE 1:50

LIGHTING

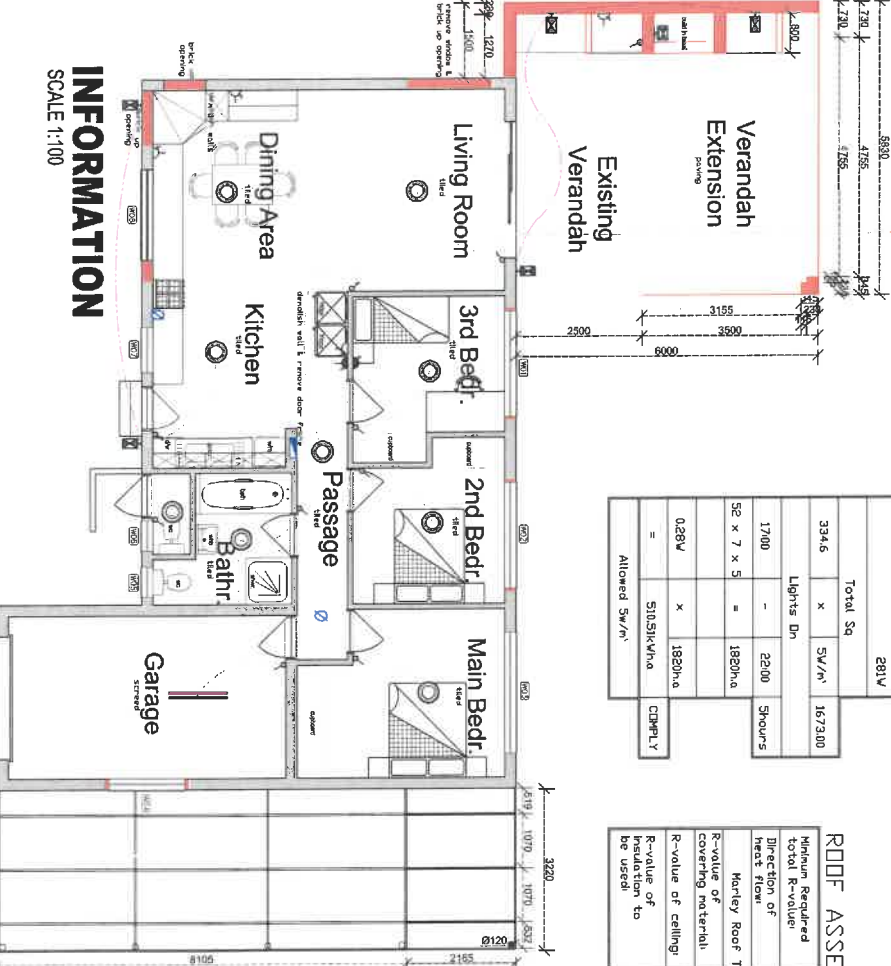
Watt lights	QTY	Total
2.5V	0	0V
3V	0	0V
4.5V	25	113V
12V	14	168V
30V	0	0V
35V	0	0V
Total Sq		281V
334.6	x	5V/m ²
Lights Dn		167300
17000	-	18200.a
Showers		18200.a
0.28V	x	18200.a
Allowed Sw/m ²		CDPFLY

NATURAL ENVIRONMENTAL CONTROL

STAND	GLAZING ELEMENTS	TOTALS
154	4	
CONDUCTANCE (U-value)	1.40	153.83
SOLAR HEAT GAIN (SHG)	0.13	10.99
INTERIOR SQM BEDR	109.88	16.48
TOTAL SQM OF WINDOWS	5.28	16.80
TOTAL SQM OF DOORS	11.52	

ROOF ASSEMBLY

Minimum Required total R-value of heat flow	Direction of heat flow	R-value of covering material	R-value of ceiling	R-value of insulation to be used
3.17	Up	Korley Roof Tiles		



INFORMATION
SCALE 1:100

MUNISIPALITEIT GEORGE MUNICIPALITY
Approved in terms of Section 60 of the George Municipality; Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

05/07/2024
DATE
SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPLANNING

TOWNADDOO CONSULTING
Architectural & Landscape Design

STAND 543 ADDITION
MARINA FLUCHS

CLIENT: MARINA FLUCHS

DATE: 2023/03/13
PROJECT NO.: 2023/03/13
SCALE: 1:100
TITLE: Site plan and drawings

REVISION NO.: 1 of 2

This drawing and design is copyright and the intellectual property of Townaddoo Consulting. It is to be used only for the project and site for which it was prepared. Contractors must verify all dimensions on site before commencing work or preparing shop drawings.

GENERAL NOTES

All construction to be done in accordance with SOUTH AFRICAN NATIONAL STANDARD-10400. Local Authority by laws & estate rules if applicable.

Quality of all materials and workmanship to comply with relevant SABS standards

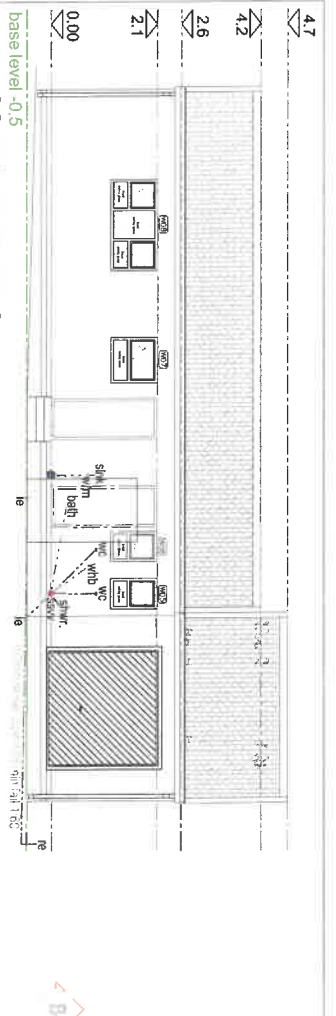
Contractor to verify all levels, heights & dimensions on site and to check the same against the pdf before putting any work in hand

Contractor is responsible for the correct setting out & positioning of buildings

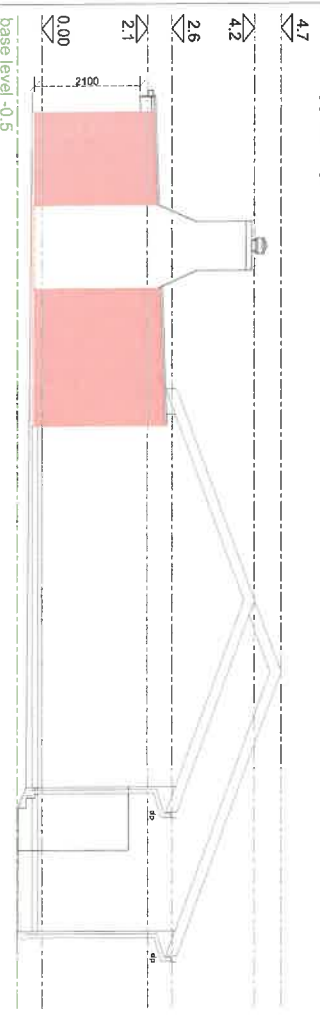
Drawings are not to be scaled. Only figured dimensions are to be used.

AREAS

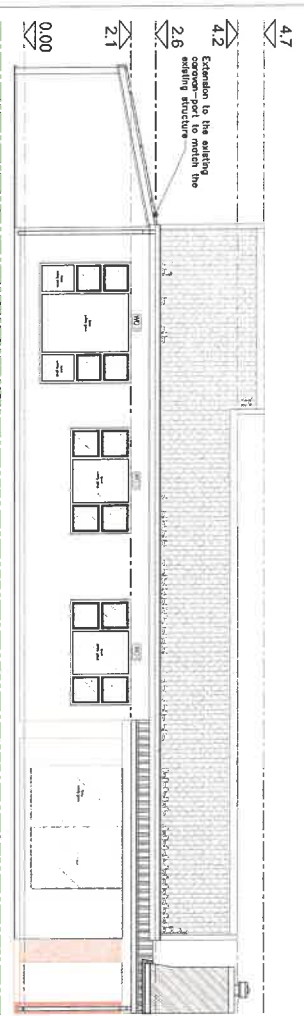
Site	770m ²
Existing Dwelling	93.29
Existing Garage	21.86
Existing Verandaam	10.83
Existing Single Caravanport	26.10
Extension to Verandaam	24.50
New Double Shadeport	36.00
Extension of Caravanport	6.90
TOTAL	219.48
Total Far	2.85
Total Coverage	28.5%



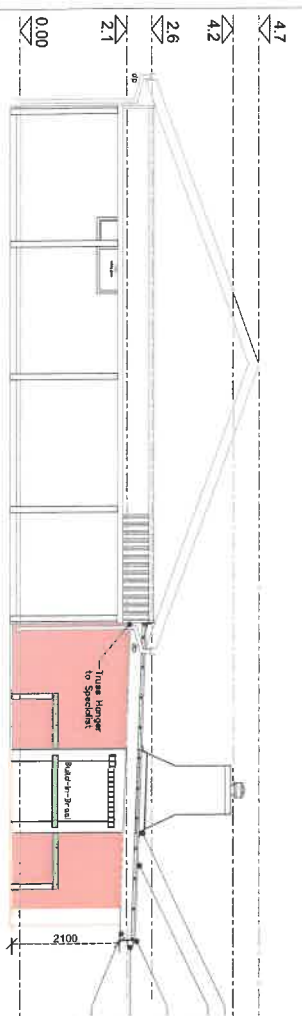
SOUTH ELEVATION
SCALE 1:75



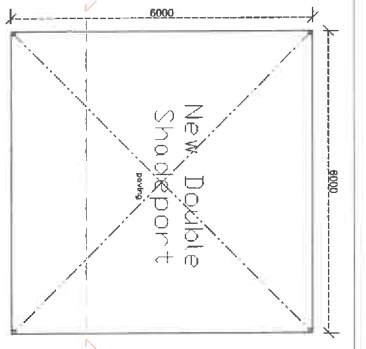
WEST ELEVATION
SCALE 1:75



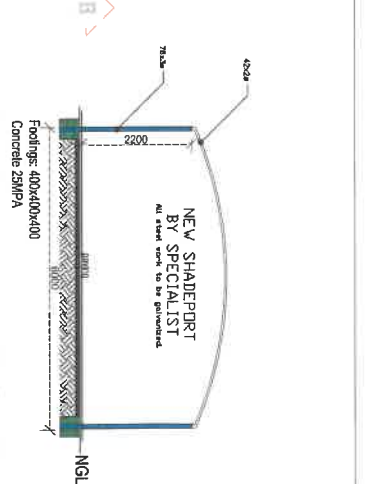
NORTH ELEVATION
SCALE 1:75



SECTION A / EAST ELEVATION
SCALE 1:75



CARPORT INFORMATION
SCALE 1:75



SECTION B-B / SIDE ELEVATION
SCALE 1:75

OWNER & BUILDING CONTRACTORS AND SUB-CONTRACTORS TO COMPLY WITH THE FOLLOWING REQUIREMENTS OF SANS 10400 / SANS 204 / SANS XA:

- A. Foundations: The foundations to the extension / addition to an existing building are the same as the existing foundations, which have performed satisfactorily. Should any soil improvements be required - a competent person (civil engineering / geotechnical) are to be appointed.
- B. Structural: The structural system of the building: Part H + Part J + Part K + Part L + Part M + Part N - see well as a competent person (structures) to design and inspect the structures.
- C. Public Safety: A change in level, the construction of ramps and driveways; or access to swimming pools is in accordance with the detailed requirements of SANS 10400-D.
- D. Site Operations: The provision of sanitary facilities is in accordance with the detailed requirements of SANS 10400-E.
- E. Excavations: The excavations must be less than 3 meters deep and is in accordance with the detailed requirements of SANS 10400-G.
- F. Foundations: New structures will necessitate geotechnical investigations with the applicable rules. The foundations for the building are in accordance with SANS 10400-B and detailed requirements of SANS 10400-H.
- G. Foundations: The foundations to the extension / addition to an existing building are the same as the existing foundations, which have performed satisfactorily. Should any soil improvements be required - a competent person (civil engineering / geotechnical) are to be appointed.
- H. Floors: Floors in any Laundry, kitchen, shower room, bathroom or room containing a toilet pan or urinal are in accordance with the detailed requirements of SANS 10400-J (waterproofing or applicable areas). Suspended floors are in accordance with the detailed requirements of SANS 10400-B and SANS 10400-T and requirements of SANS 10082 and or requirements of SANS 10400-L. Slabs supported on the ground are in accordance with the detailed requirements of SANS 10400-B and or SANS 10400-H and or SANS 10400-J.
- K. Walls: The structural strength and stability of a wall is in accordance with the detailed requirements of SANS 10400-B and SANS 10400-T and or detailed requirements of SANS 10400-K. The roof fixing to the wall is in accordance with the detailed requirements of SANS 10400-B and or detailed requirements of SANS 10400-K.
- L. Roofs: Roof coverings and waterproofing systems are in accordance with the detailed requirements of SANS 10400-L. Flat roofs or related gutters are in accordance with the detailed requirements of SANS 10400-L and or subject of a rational design or rational assessment. The roof assembly and any ceiling assembly - in addition to complying with the requirements of SANS 10400-C are in accordance with the detailed requirements of SANS 10400-L and the roof assembly is supported on walls that comply with the requirements of SANS 10400-K and or in accordance with SANS 10400-B and SANS 10400-L. Gutters and downpipes are sized in accordance with the requirements of SANS 10400-R. The resistance and consistency of the roof assembly or ceiling are in accordance with the detailed requirements of SANS 10400-L and or SANS 10400-M. Shearwalls: Shearwalls are in accordance with SANS 10400-B and SANS 10400-L and or the detailed requirements of SANS 10400-N. Walls, screens, rainings or umbrellas to such stairway are in accordance with the requirements of SANS 10400-S and SANS 10400-T and or SANS 10400-V.
- N. Stairing: The type of fixing or glazing is in accordance with SANS 10400-B / the detailed requirements of SANS 10400-L.
- O. Lighting and Ventilation: The lighting and ventilation in a habitable room, bathroom, shower room and room including a toilet pan complies with the requirements of SANS 10400-T and the detailed requirements of SANS 10400-C.
- P. Sewer Drainage: The construction of the drainage system is in accordance with the detailed requirements of SANS 10400-P.
- Q. Non-water borne means of sanitary disposal: The means of sewerage disposal where water-borne sewerage disposal is not available is in accordance with the detailed requirements of SANS 10400-C.
- R. Storm water disposal: The means for the control and disposal of storm water is in accordance with the detailed requirements of SANS 10400-R.
- S. Persons with Disabilities: The means of providing facilities for persons with disabilities is in accordance with the detailed requirements of SANS 10400-S.
- T. Fire protection: The fire protection measures provided are in accordance with the detailed requirements of SANS 10400-T.
- V. Space heating: The provision for space heating is in accordance with the detailed requirements of SANS 10400-V.
- W. Fire Installation: The fire installations and supply of water comply with the detailed requirements of SANS 10400-W.

Contractor to take responsibility that all details and reports of SANS 10400-XA & SANS 204 and it will be adhered to.

Main Contractor to comply with above requirements of SANS 10400 / SANS 204 / SANS 10400-XA (See attached report of SANS 10400-XA and SANS 204)

OWNER SIGNATURE: _____ DATE: _____

GENERAL NOTES

All construction to be done in accordance with SOUTH AFRICAN NATIONAL STANDARD-10400, Local Authority by laws & estate rules if applicable. Quality of all materials and workmanship to comply with relevant SABS standards

Contractor to verify all levels, heights & dimensions on site and to check the same against the pdf before putting any work in hand

Contractor is responsible for the correct setting out & positioning of buildings

Drawings are not to be scaled. Only figured dimensions are to be used.

MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

05/07/2024

DATE: _____ SENIOR MANAGER: TOWN PLANNING
DATUM: _____ SENIOR BEPLANNING

WANADOO CONSULTING
Architectural & Landscape Design

PROJECT: STAND 543 ADDITION

CLIENT: MARINA FUCHS

DATE: 2023/07/03 SCALE: see drawing
PROJECT NO. 2023/543 TITLE: see drawing
SHEET NO. 2 of 2 REVISION NO. 03

This drawing and design is copyright and must not be reproduced in any way without prior written consent of the Architect. Contractors must verify all dimensions on site before commencing work or preparing shop drawings.

**Menslike Nedersettings, Beplanning en Ontwikkeling
Human Settlements, Planning and Development**

Collaborator No.: 2919155
Reference / Verwysing: Erf 543, Blanco
Date / Datum: 05 July 2024
Enquiries / Navrae: Primrose Nako

Email: roxywanadoo@yahoo.co.uk

MARINA FUCHS
VOORTREKKER STREET 45
BLANCO
6530

APPLICATION FOR DEPARTURE (BUILDING LINE RELAXATION): ERF 543, BLANCO

Your application in the above regard refers.

The Senior Manager: Town / Spatial Planning (Authorised Official) has, under delegated authority, 4.17.1.24 of 30 June 2022 decided that the application for Departure in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for the relaxation of the street boundary building line from 4m to 2m on Erf 543, Blanco for a carport;

BE APPROVED in terms of Section 60 of said Bylaw for the following reasons:

REASONS:

- a. The proposed departures will not have an adverse impact on the surrounding residential character or the streetscape.
- b. There will be no negative impacts on surrounding neighbours' rights or amenity in terms of views, privacy or overshadowing.
- c. The proposed additions form part of a residential development and can be accommodated within the property.
- d. No negative comments or objections were received.

Subject to the following conditions imposed in terms of Sections 66 of the said By-law, namely:

CONDITIONS:

1. That in terms of Section 18(2) of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of two (2) years from the date it comes into operation.
2. This approval shall be taken to cover only the Departure as applied for and as indicated on the site layout plan, Plan no. 2023/543, drawn by Wanadoo Consulting Architectural and Landscape Design dated 13/06/2023 (2x plans) attached as "Annexure A" which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provision.

3. The above approval will be considered as implemented on the issuing of the occupation certificate in accordance with the approved building plans.

Note:

- *A building plan be submitted for approval in accordance with the National Building Regulations (NBR).*
- *Stormwater must be dispersed responsibly, and the stormwater management, retention and erosion measures must be addressed on the building plans.*
- *The applicant is to comply with the National Forestry Act, Act No 84 of 1998, should it be required.*

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Human Settlements, Planning and Development, P O Box 19, George, 6530 or Directorate: Human Settlements, Planning and Development, 5th floor, Civic Centre, York Street, George **on or before 26 JULY 2024** and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

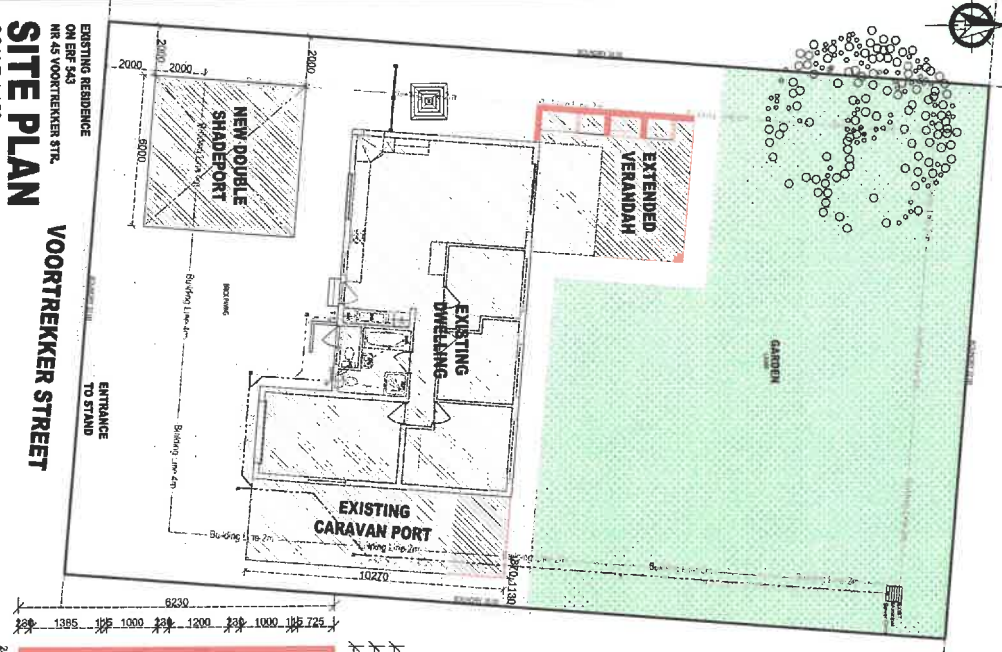
Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully


I. HUYSER
ACTING SENIOR MANAGER: TOWN PLANNING

C:\stan\Erf 543 Blanco (Depature Approval)JM Fuchs.docx

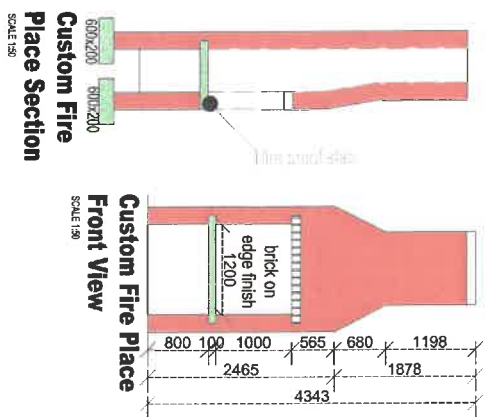


EXISTING RESIDENCE
ON ERF 543
NR 45 VOORTREKERS STR.
SITE PLAN
SCALE 1:150

VOORTREKKER STREET
ENTRANCE TO STAND

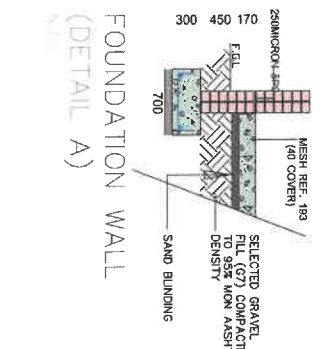
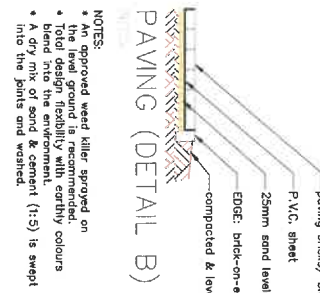
ABBREVIATIONS:
 vb - wash hand basin
 wc - water closet
 ur - urinal
 sh - shower
 bath - bath
 pn - preparation bowl
 dw - dish washer
 wm - washing machine
 g - gully
 ic - inspection valve
 cl - cleaning eye
 ssv - stub stack vent valve
 vp - 110mm dia ventilation pipe
 The following pipes supplied with appliances:
 vb - 50mm dia upvc waste pipe
 wc - 110mm dia upvc sewer pipe
 ur - 50mm dia upvc waste pipe
 sh - 50mm dia upvc waste pipe
 bath - 50mm dia upvc waste pipe
 pn - 50mm dia upvc waste pipe
 dw - 50mm dia upvc waste pipe
 wm - 50mm dia upvc waste pipe
 110mm dia upvc sewer pipes to be laid with minimum 1:40 fall.

GENERAL DRAINAGE NOTES
 1. The drainage is a one pipe system.
 2. All pipes to be carried up to 180mm above and opening within 6m thereof.
 3. All soil and waste fittings to be accessible and arranged in the same manner.
 4. All soil and waste fittings to be accessible and arranged in the same manner.
 5. All soil and waste fittings to be accessible and arranged in the same manner.
 6. All soil and waste fittings to be accessible and arranged in the same manner.
 7. Soil drain to be min. 300mm below ground level.
 8. All soil drains under the building to be in straight concrete with 150mm dia fittings.
 9. E/s to be provided at all bends and junctions.
 10. Roofing eyes, inspection chambers or Manholes to be provided at the following:
 a) At intervals exceeding 25m.
 b) At intervals exceeding 25m.
 c) Within 1,5m of sewer connection.
 d) At highest point.
 e) At change of direction exceeding 45 deg.
 f) At intervals exceeding 25m.
 11. 50mm dia upvc waste pipes to be laid with minimum 1:40 fall.
 110mm dia upvc sewer pipes to be laid with minimum 1:40 fall.



Custom Fire Place Section
 SCALE 1:50

Custom Fire Place Front View
 SCALE 1:50



NOTES:
 * An approved weed killer sprayed on the level ground is recommended.
 * Total design flexibility with earthy colours blend into the environment.
 * 0,7 mm fine sand & cement (1:5) is swept into the joints and wetted.

PAVING (DETAIL B)
 paving bricks/blocks
 P.V.C. sheet
 25mm sand leveled & rolled
 EDGE: brick-on-edge
 compacted & leveled ground

FOUNDATION WALL (DETAIL A)
 25MM SAND-BED
 40 COVER
 SELECTED GRAVEL FILLED TO 95% MAX AASHITO DENSITY
 SAND BLINDING

LIGHTING

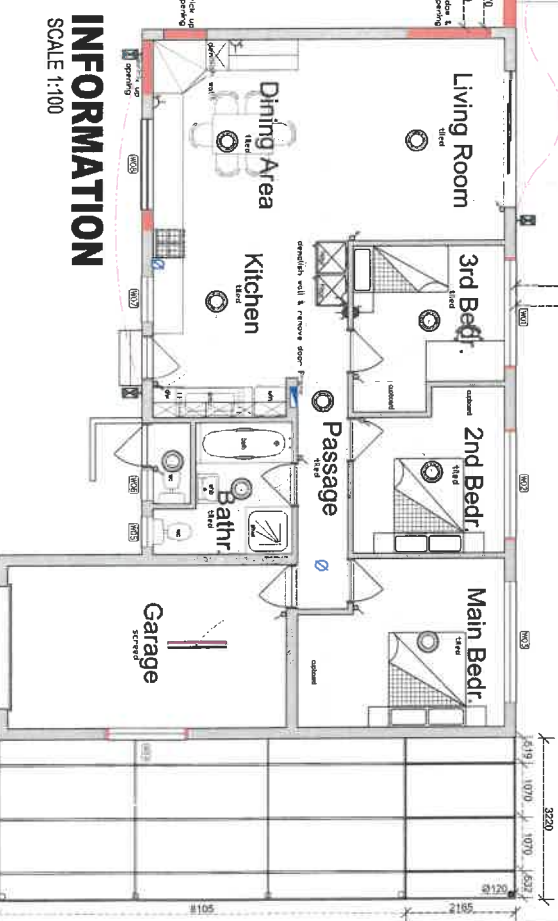
Watts	Qty	Total
25W	0	0W
3W	0	0W
4.5W	25	113W
12W	14	168W
30W	0	0W
36W	0	0W
Total Sq		289W
334,6	x	5W/m ²
Lights Dn		1673200
17,00	-	1820W
52 x 7 x 5	=	1820W
0,28W	x	1820W
=		510,51kWh/a
Allowed SW/m ²		COMPPLY

NATURAL ENVIRONMENTAL CONTROL

STAND	GLAZING ELEMENTS	TOTAL \$
ZONE	4	
CONDUCTANCE (U-value)	1,40	153,83
SOLAR HEAT GAIN (SHG)	0,13	10,99
INTERIOR SHG BEDR	109,88	16,48
TOTAL SHG OF WINDOWS	5,28	16,80
TOTAL SHG OF DOORS	11,52	

ROOF ASSEMBLY

Minimum Required total R-value	Direction of heat flow	Value
0,70	UP	3,7
Harley Roof Tiles		
R-value of covering material		
R-value of ceiling		
R-value of insulation to be used		



INFORMATION
 SCALE 1:100

MUNICIPALITEIT GEORGE MUNICIPALITY
 Approved in terms of Section 60 of the George Municipality; Land Use Planning By-law (2023) subject to the conditions contained in the covering letter.

DATE: 05/07/2024
 SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURDER: STATSBEPANNING

CLIENT: MARINA FLUHS

PROJECT: STAND 543 ADDITION

DATE: 2023/06/13

PROJECT NO.: 2023/043

SHEET NO.: 1 of 2

SCALE: as shown

TITLE: Architectural & Landscape Design

REVISION NO.: 03



AREAS

Existing Dwelling	93,29
Existing Garage	21,86
Existing Verandah	10,83
Existing Single Caravanport	26,10
Extension to Verandah	24,50
New Double Shadeport	36,00
Extension of Caravanport	6,90
TOTAL	219,48
Total Far	2,85
Total Coverage	28,5%

GENERAL NOTES
 All construction to be done in accordance with SOUTH AFRICAN NATIONAL STANDARD-10400. Local Authority by laws & estate rules if applicable.
 Quality of all materials and workmanship to comply with relevant SABS standards
 Contractor to verify all levels, heights & dimensions on site and to check the same against the pdf before putting any work in hand
 Contractor is responsible for the correct setting out & positioning of buildings
 Drawings are not to be scaled. Only figured dimensions are to be used.

