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PROPOSED PERMANENT DEPARTURES FOR WERTH PRIVATE EQUITY HOLDINGS PTY LTD

**ERF 1599, C/O BEN LAMPRECHT LANE & BEN BEN STREET
(7 UITSPANNING STREET), HEROLDS BAY
GEORGE MUNICIPALITY & DIVISION**



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Authors of this report:

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Aerial images:

<https://gis.elsenburg.com/apps/cfm/#>

<https://gis.george.gov.za/portal/apps/webappviewer/index.html?id=0283eccf869641e0a4362cb099290fca>

<https://www.google.com/earth/>

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**PROPOSED PERMANENT DEPARTURES:
ERF 1559, C/O BEN LAMPRECHT LANE & BEN BEN STREET, (7 UITSPANNING STREET),
HEROLDS BAY, GEORGE MUNICIPALITY & DIVISION**

1. BACKGROUND INFORMATION

Erf 1559 Herolds Bay is a developed residential property located Herolds Bay, a coastal suburb abutting the Indian Ocean. The property is developed with a dwelling house, used for the property owner's family's holiday accommodation. It is proposed to add 2 bedrooms, a staff room (butler's room), a covered braai area, and an entertainment room to accommodate the extended family and enhance the overall living space.

Although access to the property is from a Public Open Space known as Uitspanning Street, the property does not have a street building line to the south-west. The property does however have street building lines on the northeastern and southern boundaries that the owner and architect were unaware of when the plans for approval were drawn up. The abutting lane and passage is public streets as shown in the Surveyor General's records and zoned accordingly. As the property is small, the two street building lines, which does not seem to be street boundaries, limit the developable space on the property and the intended layout of the additions and alterations for the house.

In 2017, a portion of Erf 114 Herolds Bay (the abutting public open space) was consolidated with Erf 7 Herolds Bay to form Erf 1559 Herolds Bay. This followed the necessary closure procedures.

Marlize de Bruyn Planning was appointed to address the land use requirements so that the submitted building plans can be approved for the additions and alterations to the house on the property. The power of attorney attached as **Annexure 1** to this report.

2. PROPERTY DETAILS

The table below includes relevant information regarding Erf 1559 Herolds Bay.

Property Description:	Erf 1559, C/o Ben Lamprecht Lane (passage) & Ben-Ben Steps (lane), Herolds Bay
Physical Address:	7 Uitspanning Street, Herolds Bay
Owner:	<i>Werth Private Equity Holdings Pty Ltd</i>
Title Deed No:	T3361/2023 (Annexure 2)
Bondholders	None
Size of the property:	472m ²
SG & General Plan	1071/2017 & 6005/1927 (Annexure 3)
Zoning	Single Residential Zone I

The attached conveyancer's certificate (**Annexure 4**) confirms that the title deed does not include any restrictive conditions that could affect this land use application. The title deed restricts the property to residential use only and limits it to one dwelling house on the property. There is no intention to deviate from the title deed conditions.

3. APPLICATION

This land use application in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2015) for Erf 1559 Herolds Bay entails the following:

- **Permanent departures** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2015) for the relaxation of:

North-eastern street building line (Ben Lambrecht Lane)

- From 3.0m to 1.5m for additions at the closest point and 0.655m for open stairs.

Eastern street building line (c/o Ben Lambrecht Lane & Ben-Ben Street)

- From 3.0m to 1.998m for additions and 0.606m for open stairs.

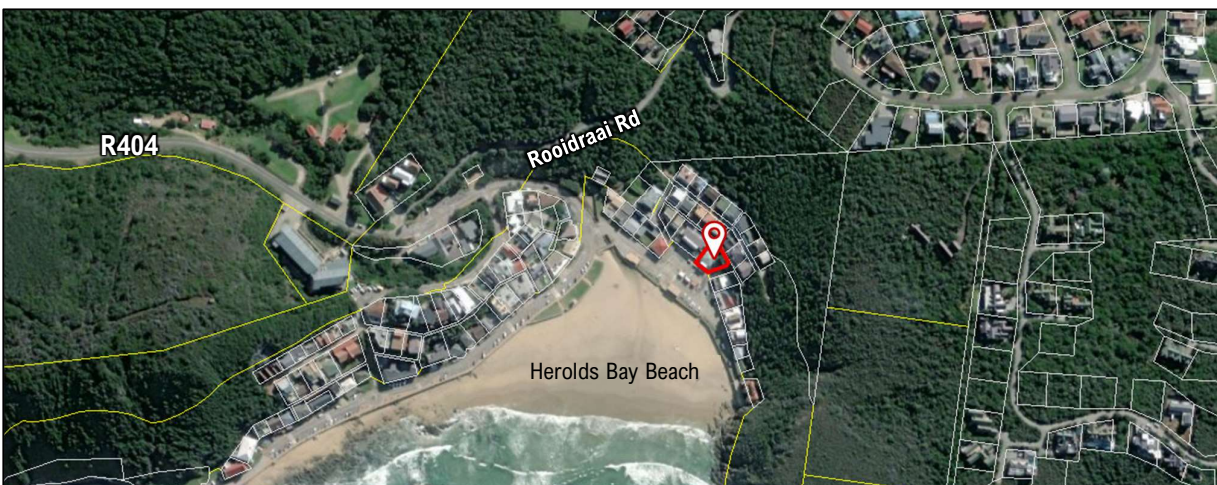
South eastern street building line (Ben-Ben Street)

- from 3.0m to 2.338m for additions and 1.394m for open stairs.

- **Permanent departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2015) for an increase in the allowable coverage from 65% to 68.52%.

4. LOCALITY & CHARACTER OF THE AREA

Erf 1559 Herolds Bay is a 472m² residential property located in the suburb, Herolds Bay. The beach front property is 35m from the beach and has an unobstructed view over the bay to the south-west. A locality map is attached hereto as **Annexure 5**.



Erf 1559 Herolds Bay is zoned Single Residential Zone I (dwelling house) and developed accordingly. The western abutting property is General Residential Zone IV (flats). The property further abuts two passages zoned TZII (Ben Lambrecht Lane & Ben-Ben Street) to the northeast and southeast, and a public open space to the southwest. Although zoned Open Space Zone I, the public open space to the southwest is used for public parking and provides access to the abutting residential properties, including Erf 1559 Herolds Bay. The zoning of the property will not change following this land use application, only certain parameters are proposed to be departed to accommodate the proposed additions for the property.

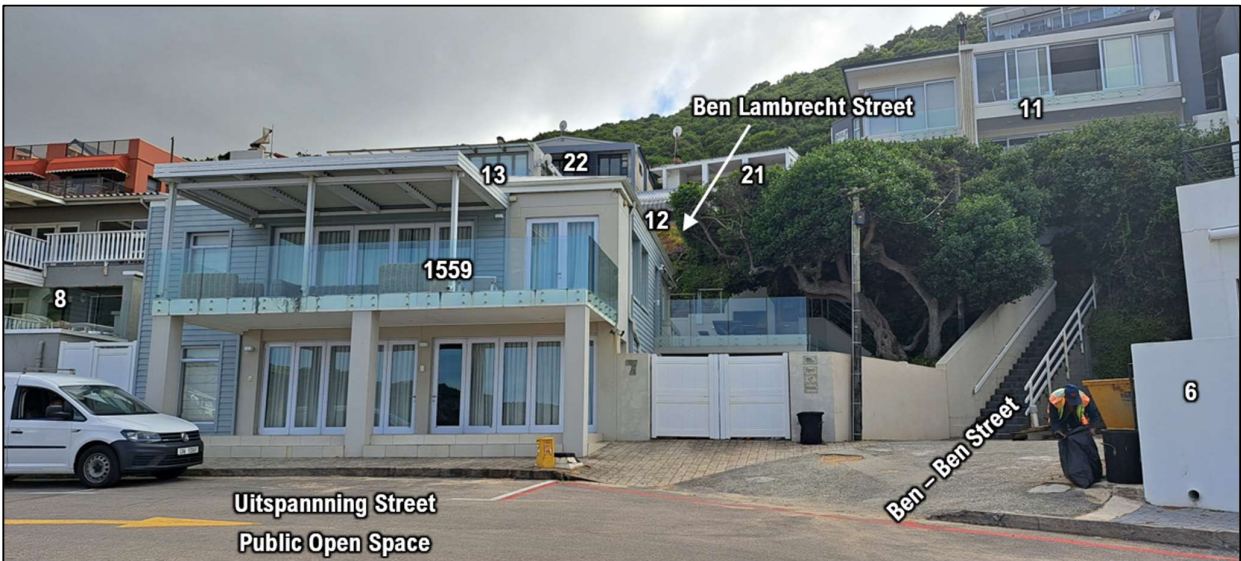


The property currently has a double-storey, 5-bedroom dwelling house thereon. The property has a relatively steep slope from northeast to southwest. The existing double storey dwelling house is lower than the highest point of the property. The existing house has a coverage/footprint of about 215m². The property has 3m street building lines on its northeastern and southeastern boundaries, a 1.5m side building line on its southwestern boundary, and a 0m side building line on its northwestern boundary. The northeastern passage (Ben Lamprecht Street) has a 1.8m reserve and connects with other passages to the north and provides pedestrian access to the north lying properties that are inaccessible by vehicle from Ben-Ben Street and are only accessible from Lorraine Street to the west.

Two milkwood trees are found on the property. The required process will be followed by an environmental assessment practitioner to obtain a permit from the Department of Forestry, Fisheries & Environment (DFFE) (Forestry: Knysna) for the removal of these trees.



Below is a photo towards Erf 1559 Herolds Bay taken from the south with the existing house and milkwood trees visible.



The following photo was taken from the southwest also towards Erf 1559 Herolds Bay.



5. DEVELOPMENT PROPOSAL

Erf 1559 Herolds Bay is a developed beachfront residential property located in Herolds Bay, a coastal suburb on the southern edge of the George municipal area. The area is characterised by very compact residential development and guest accommodation. The area is characterised by narrow vehicle alleys and pedestrian passages that provide access to the houses along the crags. The area has a very challenging topography, and Erf 1559 Herolds Bay has a 9m drop over a distance of only 23m.

The double storey house on Erf 1559 Herolds Bay currently has 5 bedrooms. The owner wishes to do additions to the house to add 2 more bedrooms, a butler's room, a covered braai area linking with the existing stoep on the southeastern side of the dwelling house, and an entertainment room. The additions are all proposed on the northeastern side of the property. The butler's room (staff room) is proposed in the eastern corner of the property on the lower ground level. The new braai area will be atop the new staff room on the ground floor. The 2 new bedrooms and the entertainment room is proposed to be on the first floor, northeast of the existing house. Due to the topography, the new additions will not encroach on the 6.5m wall plate or the 8.5m roof ridge parameters as the additions are designed to step with the existing topography of the property.

All proposed additions are interleading with the existing dwelling house except for the butler's accommodation.

Permanent departures – Building lines

The proposed additions and alterations encroach on the northeastern, eastern, and southeastern street building lines. The additions are proposed on the lower ground, ground, and first floors. A 3.0m building line is applicable to the street boundaries. The most significant encroachment on the street building line is the entertainment room, planned on the first floor in the northern corner of the property, situated 1.5m from the boundary.

Where Ben Lambrecht Lane & Ben-Ben Street meet, the additions (butler's room, covered braai area & new bedroom above) are proposed to be 1.998m from the street boundary and open stairs 0.606m away. Along the southeastern boundary with Ben-Ben Street the additions (butler's room, covered braai area & new bedroom above) is 2.338m from the boundary and the open stairs 1.394m.

The additions are on one level except for the most eastern section which is over 3 levels. On the northeastern side only about 2.0m of the addition will protrude above the highest section of the property. From the southeastern side the addition is behind the existing dwelling house and in keeping with what abuts to the west.

The shape of the property, its topography and the position of the existing structure informed the position and extent of the additions. The additions are not in a straight line along the boundaries affected by the requested relaxation. Considering the general size of erven in Herolds Bay and the steep topography compliance with building lines is not a general occurrence. Therefore, this proposal for Erf 1559 Herolds Bay is not unique.

Permanent departure - Coverage

The properties in Herolds Bay are small and have steep slopes. Erf 1559 Herolds Bay is subject to a coverage restriction of 65% (306.8m² of 472m²). Currently, the house has a coverage of ±45%. With the proposed additions, the coverage will increase to 68.52% (323.23m²). This is a negligible increase of 16.43m² (a space of just more than 4.0m x 4.0m – less than 50% of the area of the butler's accommodation). A permanent departure is required for this increase in coverage which represents 3.48% of the property's area.

The increase in coverage will integrate with the already compact character of Herolds Bay and will fulfil the need of the property owner to provide enough accommodation for their extended family.

The minor 3.48% increase in coverage is considered inconsequential and will not compromise the area's character in any manner. Even higher coverage percentages are found in Herolds Bay. The planned additions are proposed in the northeastern section of the property, and the increased coverage will not be perceivable.

Height

It might at first seem that the proposed additions exceed the height parameters as contained in the zoning by-law. Due to the topography of the property and the NGL (natural ground level), the wall plate and ridge height is complied with. The elevations and sections included in the building plans attached.

The site plan, floor plans, elevations & sections are attached hereto as **Annexure 6**.



6. NATURAL ENVIRONMENT

Erf 1559 Herolds Bay is one of only 3 or 4 developed properties in the eastern Herolds Bay with trees. The built up area of Herolds Bay is however surrounded by indigenous coastal forests (except for the ocean boundary of Herolds Bay). Two milkwood trees are located in the area where the additions are proposed. An environmental assessment practitioner will follow the required process to obtain the required permit from Forestry: Knysna. As needed new trees will be planted elsewhere. There are no other environmental features (watercourses, wetlands, etc.) on the property.

Erf 1559 Herolds Bay is also not directly impacted on by the coastal erosion risk line. See the extract from the Public GIS (George Municipality) below.



7. MUNICIPAL ENGINEERING SERVICES, ACCESS, TRAFFIC & PEDESTRIAN MOVEMENT

The municipal engineering services provided to this property will continue to be used as at present. The vehicular access from Uitspanning Street will be retained and a carport with tandem parking bay will be provided on the eastern section of the property. The property accommodates the required 2 parking bays on the property is in line with the requirements of the zoning scheme.

8. IMPACT ON NEIGHBOURING PROPERTIES

Surrounding properties should not be affected by the permanent departures as maximum height of a structure is adhered to. The encroachments of building lines and the minor increase in coverage, are not in conflict with what is generally found in Herolds Bay.

9. NEED & DESIRABILITY

Need and desirability is the balancing of various factors.

Need depends on the nature of a development proposal and is based on the principle of sustainability. This report has shown that the proposed permanent departures on Erf 1559 Herolds Bay responds to the character of the property and area with no negative impact on surrounding properties, visual impacts, or the environment. Most importantly it fulfils the need of the property owner to have building plans submitted to extend a home for their family.

Desirability, from a planning perspective, is defined as the degree of acceptability of a proposed development on a property. The relevant factors include the physical characteristics of the property, existing planning in the area, character of the area, the locality and accessibility of the property as well as the provision of services.

Physical characteristics of the properties

No physical characteristics of the property will be changed or affected by the proposed permanent departures. No cutting is proposed for the additions. The necessary permit to remove the milkwood tree on the property will be requested.

Existing planning in the area

As indicated later in this report, this land use application is not in conflict with the George Municipal Spatial Development Framework (GMSDF).

Character of the area

As discussed, and shown earlier in this report, the proposed development will not have a negative impact on the character of the area. On the contrary, the proposed additions will be in line with the compact character of Herolds Bay.

Provision of services

Municipal engineering services are already available on the property and will be used accordingly.

Economic impact

The proposed permanent departures do not affect the residential character of the area and will have no negative economic impact.

Direct impact on surrounding properties

As a beachfront property, no neighbour will be overlooked or overshadowed. The proposed additions will comply with the relevant height parameter, which is acceptable and reasonable considering the topography and slope.

It is our view that the need and desirability of the proposed permanent departures for Erf 1559 Herolds Bay, showed no negative impacts.

10. LEGISLATION & POLICIES

The criteria for the consideration of land use applications as per the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SLPUMA), the Western Cape Land Use Planning Act, (Act 3 of 2014) (LUPA) and the George Municipality: By-law on Municipal Land Use Planning (2015 & 2023) builds on each other. SLPUMA introduced legislative and procedural changes to the management of land use planning in South Africa. The Western Cape Province followed with LUPA and thereafter George Municipality with the Municipal Land Use Planning By-law (2015). What is relevant to this land use application is discussed in the paragraphs to follow.

10.1 SPATIAL PLANNING & LAND USE MANAGEMENT ACT, 2013 (SPLUMA)

Section 7 of this Act sets out the five development principles that are applicable to spatial planning, land development and land use management and section 42 of SPLUMA then refers to the factors that must be considered by a municipal tribunal when considering a land use planning application, which include but are not limited to:

- Five SPLUMA development principles;
- Public interest;
- Constitutional transformation;
- Respective rights and obligations of all those affected;
- State and impact of engineering services, social infrastructure and open space requirements;
- Compliance with environmental legislation.

Relevant aspects not addressed in the earlier paragraphs of this report, are addressed below:

10.1.1. Five development principles

The five development principles of SPLUMA, namely spatial justice, spatial sustainability, efficiency, spatial resilience, and good administration are not all directly relevant to this land use application.

Spatial justice as described in Section 7(a) of SPLUMA is not relevant to this land use application.

Spatial sustainability as described in Section 7(b) of SPLUMA is relevant for permanent departures on a developed property as follows:

- The necessary permit to remove the milkwood trees on the property will be obtained by the property owner.
- The effective and equitable functioning of land markets is not negatively affected by this land use application. It is stated that all current and future costs to all parties for the provision of infrastructure and social services in land developments must be considered. This is not relevant with this land use application.
- No negative impacts are expected on surrounding properties.

Efficiency as described in Section 7(c) of SPLUMA is supported as this application to utilise the property efficiently within the owner's primary land use right and in line with the relevant planning legislation.

Spatial resilience as described in Section 7(d) of SPLUMA is not fully relevant to this land use application.

Good Administration as described in Section 7(e) of SPLUMA indicates the responsibilities of all involved in any land use matter.

The paragraphs above show that the land use application for Erf 1559 Herolds Bay supports the relevant development principles of SPLUMA.

10.2 WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)

LUPA requires that local municipalities consider the following when deciding on land use applications:

- Applicable spatial development frameworks;
- Applicable structure plans;
- Land use planning principles referred to in Chapter VI (Section 59) which is an expansion of the five development principles of SPLUMA;
- Desirability of the proposed land use; and
- Guidelines that may be issued by the Provincial Minister regarding the desirability of proposed land use.

The land use planning principles expands on the five development principles of SPLUMA and desirability which is discussed in foregoing paragraphs. Section 19(1) and (2) of LUPA refers to **consistency** and **compliance** of a land use proposal regarding spatial development frameworks or structure plans. Considering the aim of this land use application for Erf 1559 Herolds Bay, no conflict was found with the George Municipal Spatial Development Framework (GMSDF).

10.3 GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2015

The general criteria for the consideration of applications in terms of this By-law are included in Section 65 which, inter alia, includes:

- Desirability of the proposed utilisation of land;
- Impact of the proposed development on municipal engineering services;
- Integrated development plan, including the municipal spatial development framework, the applicable local spatial development framework and/or local structure plans;
- Relevant municipal policies;
- Western Cape Provincial Spatial Development Framework;
- Section 42 of SPLUMA (public interest, constitutionality);
- Land use planning principles transposed from LUPA; and
- Provisions of the applicable zoning scheme.

The above is addressed elsewhere in this report as relevant.

10.4 GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS)

Erf 1559 Herolds Bay is zoned Single Residential Zone I (Dwelling house) in terms of the George Integrated Zoning Scheme By-law (GIZS) (2023). The zoning of the property will not change following the approval of this land use application for permanent departures of building lines, coverage, and height.

No section of the house will impede on the overall maximum height of a dwelling house (8.5m). The following parameters are applied for in terms of building lines, coverage, and height for the additions to the house.

The detail regarding the permanent departures required, are shown in paragraph 3 and discussed throughout this report, especially paragraph 5.

10.5 GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2019)

Erf 1559 Herolds Bay is not addressed specifically in the GMSDF. It is located within the urban edge and in a demarcated residential zone. the property is situated in Herolds Bay lower. The GMSDF states that the Municipality will maintain the present environmental, rural and settlement character of the area. To this end it will:

- Permit very limited additional development in Harold's Bay Lower, save for redevelopment and alterations sensitive to the "village-style" of the area, the amenity of adjoining properties and view-sheds. **The proposed additions and alterations will contribute to the "village style" character of the area and will not impede on any view-sheds. The architectural style is fragmented with pitched roofs to complement the existing dwelling house.**
- Support compact development in areas approved for further residential development. **The proposed additions directly contribute to compact development in a residential area and also ensures the most efficient use of a residential property.**
- Support the development of a neighbourhood commercial centre. **Not relevant.**
- Resist any form of expansion, densification, or development of the buffer zones of residential, eco and golf estates. **Not relevant.**
- No further high-density developments (Flats etc.). **The proposed development is not regarded a high-density development as the property retains its current zoning with a single dwelling house thereon.**

This land use application and the nature thereof is found to be consistent with the GMSDF as required in terms of Section 19 of the Land Use Planning Act, 2014 (LUPA). The Herolds Bay Local Spatial Development Framework is discussed in the following paragraph.

10.5.1. Local Spatial Development Framework for Herolds Bay (2015)

The HBLSDF lays down guidelines for the future spatial development of Herolds Bay to which it relates in such a way as will most effectively promote the order of the area as well as general welfare of the community concerned. The primary aim of the HBLSDF is to provide focused input in relation to planning-related matters and making specific recommendations concerning Herolds Bay and its environs in the form of planning principles and guidelines pertaining to future development of the area. Erf 1559 Herolds Bay falls within the Herolds Bay lower area that is located down at the beach.

7.4.2 Herold's Bay Lower

This portion of the study area still retains somewhat of a village character, notwithstanding a number of higher density residential buildings that have been developed or are presently being developed along the beachfront. Properties are mostly very limited in size and not developable within the restrictions of the applicable Zoning Scheme Regulations.

The HBLSDF identifies the following key issues for Herolds Bay (lower):

- New development along the beachfront may not erode the unique sense of place. **The proposed development will positively affect the sense of place by contributing to the village character of Herolds Bay (lower).**
- Unattractive constructions along steep and visually prominent slopes should not be allowed. **The proposed house will not be unattractive.**
- Residential density should be restricted. **Not relevant.**
- The "Bay view shed" should be preserved. **The property is already developed, and the proposed additions will not have any unusual visual impact.**
- Building parameters (building lines, coverage) in current Zoning Scheme Regulations are too restrictive. **Noted.**
- Basements in some instances used for habitable purposes, thereby effectively allowing for three storey buildings along the beachfront. **Not relevant.**

The HBLSDF also provide development guidelines for Herolds Bay lower that are applicable to Erf 1559 Herolds Bay. A relevant guideline from the HBLSDF is that no single residential building higher than 2 storeys or 8,5 metres for a pitched roof or 6 metres for a flat roof. **With the proposed additions, the highest point of the building will be within this parameter.**

It is our opinion that the proposed permanent departures are reasonable and common for Herolds Bay (lower). The proposed additions are in line with the objectives of the HBLSDF.

11. CONCLUDING

The owner of Erf 1559 Herolds Bay wishes to do additions and alterations (bedrooms, staff room, braai area, entertainment room, etc.) to the home to accommodate the extended family and enhance the overall living space. The property has a challenging topography and unusual street situation around it. The proposed departures are in response to the topography, limited size of the property, and passageways north of the property that has street status. The permanent departures will not allow any unusual or out of character development on the property and the proposed additions will be directly in line with the existing height, building line, and coverage character or erven in Herolds Bay.

From this report, it is our opinion that the proposed departures on Erf 1559 Herolds Bay is consistent with all the relevant considerations as prescribed by the planning legislation and it supports the overall spatial objectives for the area.


MARLIZE DE BRUYN Pr. Pln

February 2024

Resolution & Power of Attorney

Werth Private Equity Holdings Pty Ltd (2015/036096/07), the registered owner of *Erf 1559 Herolds Bay, George Municipality & Division* hereby resolves to authorise *Marlize de Bruyn* and *Denise Janse van Rensburg* from *Marlize de Bruyn Planning* to submit the required land use application for the property in terms of Section 15(2) of the George Municipality: Land Use Planning By-law (2023) for the property.

Signed at Pretoria on the 30 October 2023.



Marius Bernard Werth



Witness

Certificate issued by the Commissioner of Companies & Intellectual
Property Commission on Monday, April 25, 2022 at 8:24



Companies and Intellectual
Property Commission
a member of the dti group

Disclosure Certificate: Companies and Close Corporations

Registration Number: 2015 / 036096 / 07
Enterprise Name: WERTH PRIVATE EQUITY HOLDINGS

ENTERPRISE INFORMATION

Registration Number: 2015 / 036096 / 07
Enterprise Name: WERTH PRIVATE EQUITY HOLDINGS (PTY) LTD
Registration Date: 13/02/2015
Business Start Date: 13/02/2015
Enterprise Type: Private Company
Enterprise Status: In Business
Compliance Notice Status: NONE
Financial Year End: February
TAX Number: 9951742155

Addresses: POSTAL ADDRESS ADDRESS OF REGISTERED OFFICE
199 MARKET STREET
FAIRLANDS
FAIRLANDS
GAUTENG
2170
199 MARKET STREET
FAIRLANDS
FAIRLANDS
GAUTENG
2170

ACTIVE MEMBERS / DIRECTORS

Surname and First Names	Type	ID Number / Date of Birth	Contrib. (R)	Interest (%)	Appoint. Date	Address
WERTH, MARIUS BERNARD	Director	8104225020082	0.00	0.00	11/04/2022	Postal: 10 MOUNT LITUYA AVE, MIDSTREAM, JOHANNESBURG, GAUTENG, 1692 Residential: 10 MOUNT LITUYA AVE, MIDSTREAM, JOHANNESBURG, GAUTENG,

AUDITOR DETAILS

Auditor Name	Type	Status	Appointment Date	Resignation Date	Email Address
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Profession Number:

CHANGE SUMMARY

18/02/2016 SMS Notification that Annual Return is due was sent on 18/02/2016.
E-Mail send to JOHAN ROBERT WERTH for 2016
04/05/2016 Annual Return completed on 04/05/2016.
Company / Close Corporation AR Filing - Web Services : Ref No. : 534352476
04/01/2017 Name Change on 04/01/2017.
ZAMPAY



Certificate issued by the Commissioner of Companies & Intellectual Property Commission on Monday, April 25, 2022 at 8:24



Companies and Intellectual
Property Commission

a member of the dti group

Registration Number: **2015 / 036096 / 07**
Enterprise Name: **WERTH PRIVATE EQUITY HOLDINGS**

10/02/2017 Email Notification that Annual Return is due was sent on 10/02/2017.
E-Mail sent to FRANCOIS JOHANNES NEL LIEBENBERG for 2017

21/02/2019 Email Notification that Annual Return is due was sent on 21/02/2019.
E-Mail sent to JOHAN ROBERT WERTH for 2019

05/09/2019 Status changed to Annual Return In De-registration on 05/09/2019.
Annual Return Non Compliance - In Process of Deregistration Last Payment for AR Year/Month is 2017/2.

23/12/2021 Registered Address Change on 23/12/2021.
199 MARKET STREET FAIRLANDS FAIRLANDS GAUTENG2170

25/04/2022 Member Change on 25/04/2022.
Director MARIUS BERNARD WERTH was added

04/02/2016 Name Change on 26/01/2016.
OBJECTIVE CONSULTING AND ADVISORY

18/02/2016 SMS Notification that Annual Return is due was sent on 18/02/2016.
E-Mail sent to FRANCOIS JOHANNES NEL LIEBENBERG for 2016

22/06/2017 Member Change on 22/06/2017.
Director JOHAN ROBERT WERTH details was Changed

26/11/2021 Status changed to Cancellation of Annual Return De-registration Process on 26/11/2021.
Company / Close Corporation AR Filing - Web Services : Ref No. : 5356835209

04/02/2022 Email Notification that Annual Return is due was sent on 04/02/2022.
E-Mail sent to JOHAN ROBERT WERTH for 2022

25/04/2022 Member Change on 25/04/2022.
Director JOHAN ROBERT WERTH - Change was made.
- Director / member status changed from Active to Resigned.

13/02/2015 Registration of CC/CO on 13/02/2015.
New Company Registration - Web Services : 9999 : Ref No. : 924124442

10/02/2017 Email Notification that Annual Return is due was sent on 10/02/2017.
E-Mail sent to JOHAN ROBERT WERTH for 2017

06/06/2017 Annual Return completed on 06/06/2017.
Company / Close Corporation AR Filing - Web Services : Ref No. : 573742621

22/06/2017 Member Change on 22/06/2017.
Director FRANCOIS JOHANNES NEL LIEBENBERG details was Changed

07/02/2018 Email Notification that Annual Return is due was sent on 07/02/2018.
E-Mail sent to JOHAN ROBERT WERTH for 2018

04/02/2020 Email Notification that Annual Return is due was sent on 04/02/2020.
E-Mail sent to JOHAN ROBERT WERTH for 2020

12/02/2021 Email Notification that Annual Return is due was sent on 12/02/2021.
E-Mail sent to JOHAN ROBERT WERTH for 2021

26/11/2021 Name Change on 26/11/2021.
OBJECTIVE CONSULTING AND ADVISORY

Physical Address

the dti Campus - Block F
77 Meintjies Street
Sunnyside 0001

Postal Address: Companies

P O Box 429
Pretoria
0001

Docex: 256

Web: www.cipc.co.za

Contact Centre: 086 100 2472 (CIPC)

Contact Centre (International): +27 12 394 9573



Stadler & Swart Incorporated
1 Doneraile Street
GEORGE
6529

Prepared by me

CONVEYANCER
THERESA CAMPHER-WALDER (91272)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 14 500 000	R. 3879,00
Reason for exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....

DATA / VERIFY
07-02-2023
FATGEYAH LARNEY

T 003361/23

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

MOEGSIENA ISMAIL

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

DEACON INVESTMENTS CC
Registration Number 2007/152411/23

DATA / CAPTURE
07-02-2023
YOLANDI OLIVIER

which said Power of Attorney was signed at GEORGE on 26 October 2022

And the appearer declared that his/her said principal had, on 20 September 2022, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

WERTH PRIVATE EQUITY HOLDINGS (PTY) LTD
Registration Number 2015/036096/07

or its Successors in Title or assigns, in full and free property

ERF 1559 HEROLDS BAY
IN THE MUNICIPALITY AND DIVISION GEORGE
WESTERN CAPE PROVINCE

IN EXTENT 472 (FOUR HUNDRED AND SEVENTY TWO) Square metres

FIRST registered and still held by Certificate of Consolidated Title Number T95/2018 with Diagram SG No. 1071/2017 annexed thereto

Subject to the following conditions :-

(i) **REGARDING** the figure A B C D E j h on annexed Diagram S.G. No 1071/2017

:

A. SUBJECT to the following conditions contained in Deed of Grant dated 24 November 1927, in terms of Act No 15 of 1887 (George Quitrents Volume 15 No 18) namely :

1.

2. "That any existing rights of the public over the land hereby granted shall not be interfered with."

B. SUBJECT FURTHER to the following conditions contained in said Deed of Transfer No T12589/1929, imposed by the Administrator of the Cape Province, in terms of the Townships Ordinance No 13 of 1927, namely :-

(1) "That the lot be used for residential purposes only.

(2) That not more than one dwelling be erected on any one lot.

(ii) **REGARDING** the figure h j F G on annexed Diagram SG No 1071/2017

SUBJECT to the following conditions contained in Deed of Grant dated 24 November 1927, (George Quitrents Volume 15 No 18) namely:

(2) "That all existing rights of the public over the land hereby granted shall not be interfered with."

WHEREFORE the said Appearer, renouncing all rights and title which the said

DEACON INVESTMENTS CC
Registration Number 2007/152411/23

heretofore had to the premises, did in consequence also acknowledge it to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

WERTH PRIVATE EQUITY HOLDINGS (PTY) LTD
Registration Number 2015/036096/07

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R14 500 000,00 (FOURTEEN MILLION FIVE HUNDRED THOUSAND RAND) .

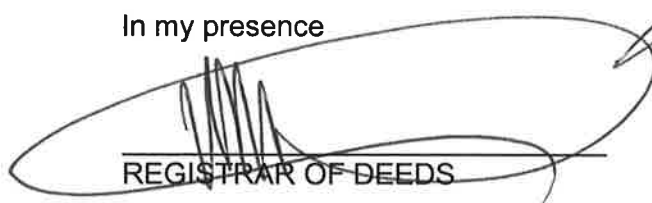
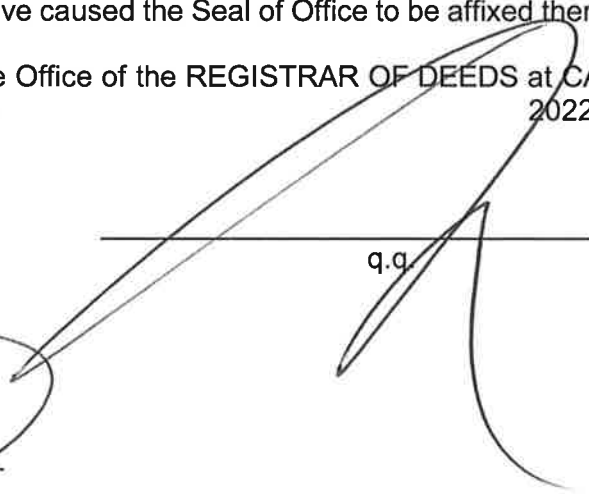
IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

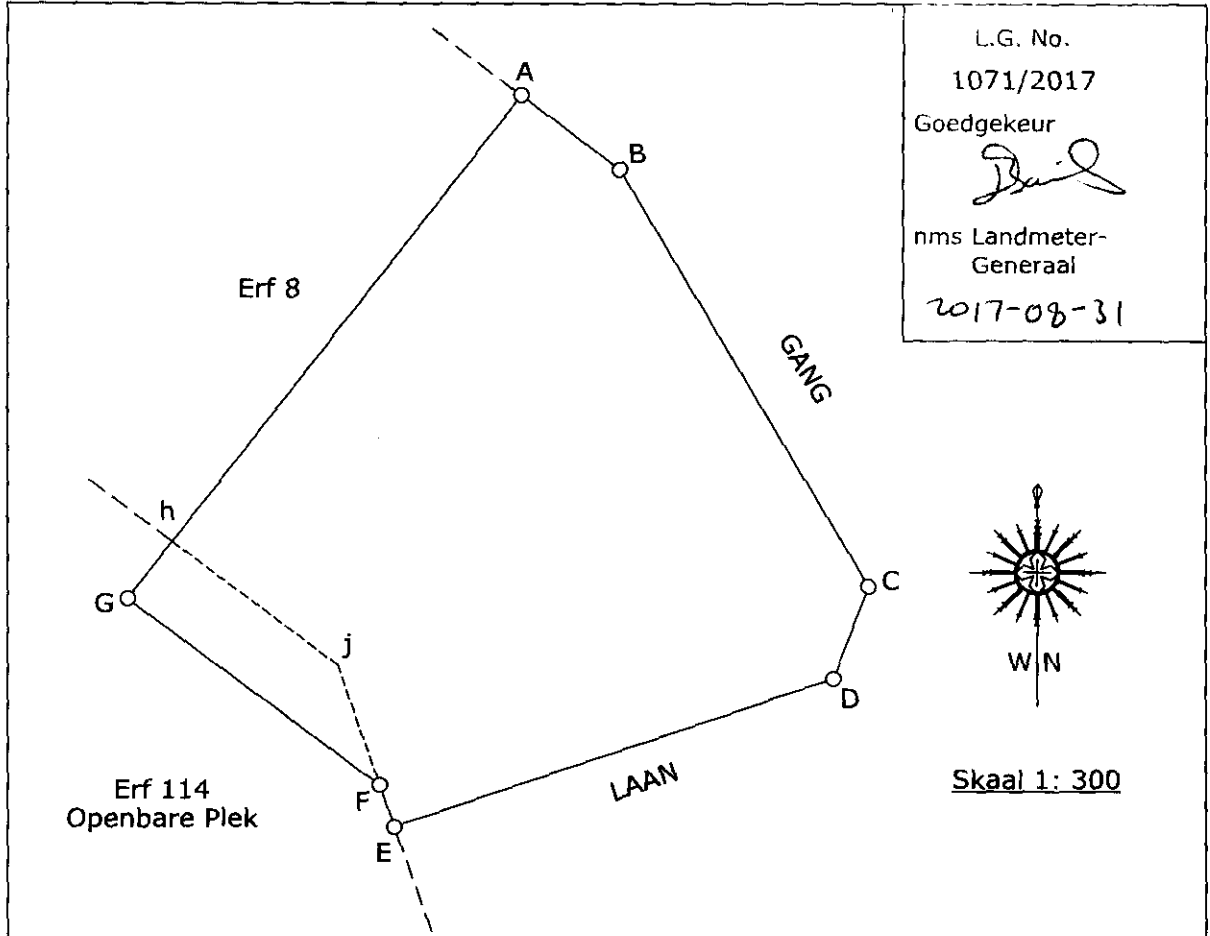
THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 03 FEBRUARY 2022

In my presence

REGISTRAR OF DEEDS

q.q.





L.G. No.
1071/2017
Goedgekeur
[Signature]
nms Landmeter-
Generaal
2017-08-31



Skaal 1: 300

Komponente:

- 1) Die figuur A B C D E j h stel voor Erf 7 HEROLDSBAAI, vide L.G. Kaart No. 3116/1929 geheg aan T/A 1929 . . 12589.
- 2) Die figuur h j F G stel voor Erf 1558 HEROLDSBAAI, vide L.G. Kaart No. 1070/2017 geheg aan

Die figuur A B C D E F G stel voor 472 vierkante meter grond, synde

Erf 1559 HEROLDSBAAI bevattende 1) en 2) hierbo

Geleë in die dorp Heroldsbaai in die Munisipaliteit en Administratiewe Distrik van George, Provinsie Wes-Kaap. Saamgestel in Julie 2014 deur my



H.W. le Roux PLS 1055-D
Professionele Landmeter

Approved i.t.o Section 60 of Municipal Bylaw of Act 3/2014 Ref: 696/7 Date 3 April 2017

Hierdie kaart is geheg aan No. <u>20195/2018</u> gedateer t.g.v. Registrateur van Aktes	Die oorspronklike kaarte is soos hierbo aangedui.	Lêer No. S/6018/1 V.3 Saamgestel Komp. AL-1BB/Z12 (650) Alg. Plan No. TP 1R (4178) LPI. C0270004
--	---	---

THIS PLAN COMPRISES 2 SHEETS

C.D.R. Main File 36018/1

In terms of Sect. 30(a) of Act 9 of 1927 this plan has been amended by the addition of Erf No. 92. Vide Dgm. 5517/1939 File S. 6018/1.

GENERAL PLAN T.P. 1^R

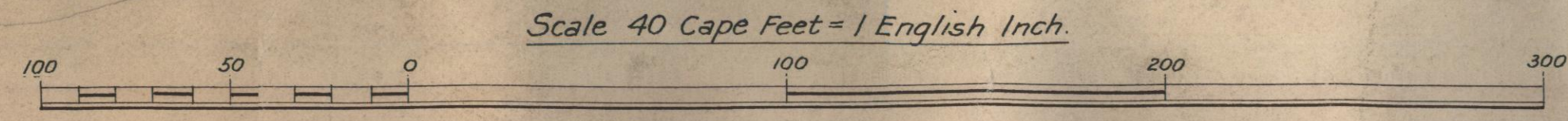
TOWNSHIP OF THE VILLAGE of HEROLD'S BAY

IN THE DIVISION OF GEORGE.

and comprising Figure B.C. curved line Z.B., being the place called UITVALGROND granted to C. F. M. Gericke on the 18th Novbr 1927. (No outline filed)

Figure f curved line C.D.E'. High Water Mark J, being part of the place called BRAKFORTEIN COAST No 1 granted to C.F.M. Gericke on the 24th Novbr 1927. (George. S. III. 292)

Figure L.M.A.B.Z curved line L'.L. being part of the farm BRAKFORTEIN granted to Messrs. Lamprecht, Gericke & McIntyre on the 5th July 1904 (George. L. III. 241)



Reference to original diagrams to be furnished on diagrams of Lots

Table with 3 columns: CO-ORDINATES, SIDES, ANGLES. Rows A through M.

Table with 4 columns: CO-ORDINATES, SIDES, ANGLES, and a fourth column with values like a, b, c, etc.

Transfer Deed Table with columns: Transfer Deed, Erf No., Diagram No., Diagram No., Transfer Deed.

In terms of Section 15 of Ord No 13 of 1927 the Administrator has granted the application to establish this Township. See Prov. Sec's Min: L³/c/56 dated 24th April 1928.

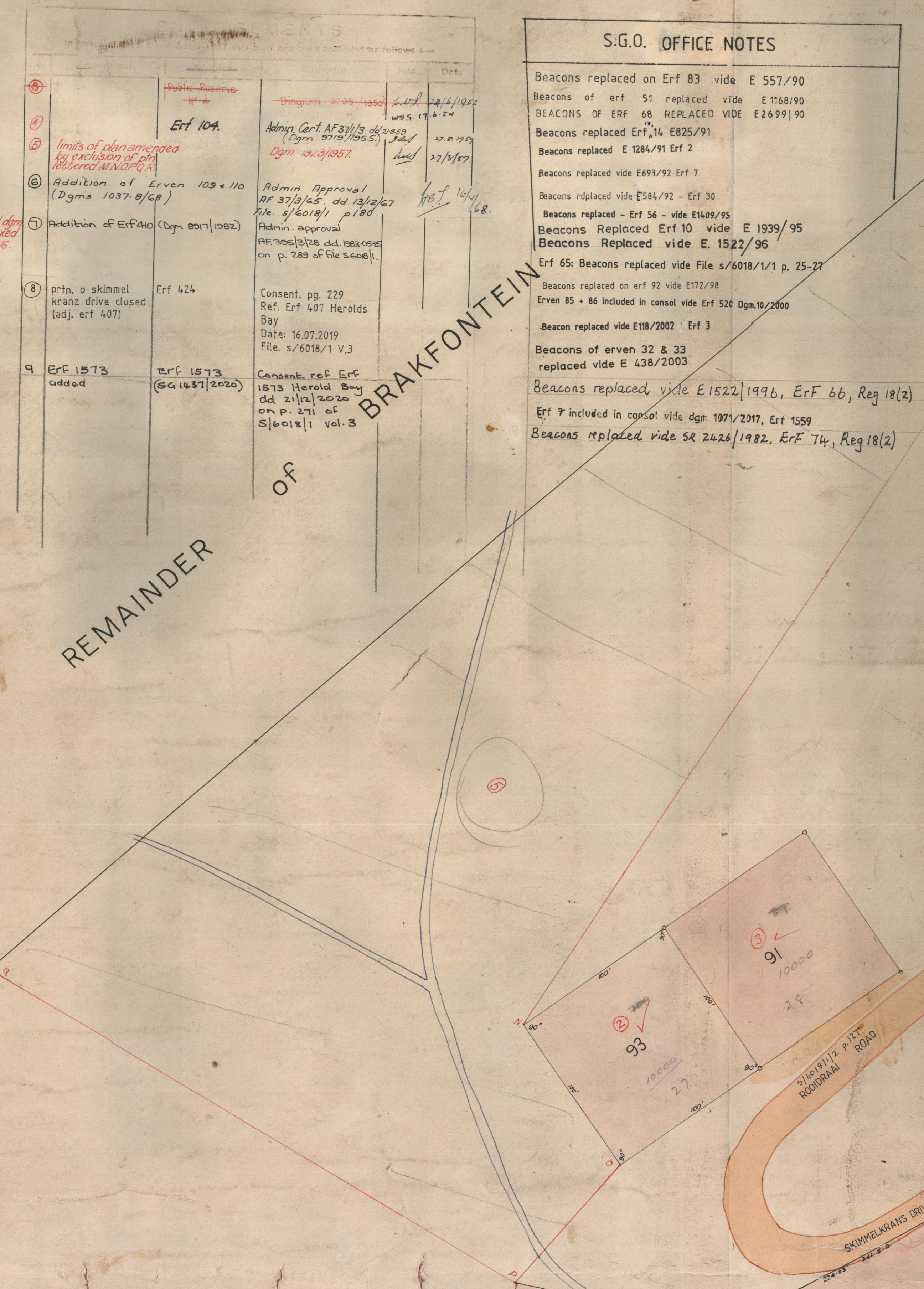
VIDE FILES TP. 28 and 6018/1

Approved under the provisions of Ordinance No 13 of 1927.

For Surveyor General. 29. 8. 1928.

For list of deductions vide Portfolio "Herold's Bay"

Noting Plan 639-so AL-1BB/Z12 (650)



SECTIONAL TITLES table with columns: ERF No., SR No., SGD No., SS No.

S.G.O. OFFICE NOTES

Beacons replaced on Erf 83 vide E 557/90
Beacons of erf 51 replaced vide E 1168/90
BEACONS OF ERF 68 REPLACED vide E 2699/90
Beacons replaced Erf 14 E 825/91
Beacons replaced E 1284/91 Erf 2
Beacons replaced vide E 693/92-Erf 7
Beacons replaced vide E 584/92 - Erf 30
Beacons replaced - Erf 56 - vide E 1409/95
Beacons Replaced Erf 10 vide E 1939/95
Beacons Replaced vide E. 1522/96
Erf 65: Beacons replaced vide File s/6018/1 p. 25-27
Beacons replaced on erf 92 vide E 172/98
Erven 85 + 86 included in consol vide Erf 520 Dgm.10/2000
Beacon replaced vide E 118/2002 Erf 3
Beacons of erven 32 & 33 replaced vide E 438/2003
Beacons replaced vide E 1522/1996, Erf 66, Reg 18(2)
Erf 7 included in consol vide dgm 1971/2017, Erf 1559
Beacons replaced vide SA 2426/1982, Erf 74, Reg 18(2)

SHEET 2 JOINS HERE

40 C.F.T. : 1 ENG. INCH

C.D.R.

4178 SHT. 2

LOT C OF NEW BUFFELSFONTEIN

LOT C OF NEW BUFFELSFONTEIN

SCHOOL SITE 16



Area	Area	Area	Area
1	16	17	18
19	20	21	22
23	24	25	26
27	28	29	30
31	32	33	34
35	36	37	38
39	40	41	42
43	44	45	46
47	48	49	50
51	52	53	54
55	56	57	58
59	60		
Total Area: 426.5 sq. m.			

S

B

115
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CONVEYANCER CERTIFICATE

I, the undersigned

MADELEINE GOLDIE

Conveyancer of Millers Incorporated, Beacon House, 123 Meade Street, George hereby certify as follows:

1. That I have perused Deed of Transfer No T3361/2023 in respect of Erf 1559 HEROLDS BAY in the George Municipality and Division of George, Western Cape Province IN EXTENT 472 square metres registered in the name of

WERTH PRIVATE EQUITY HOLDINGS PTY LTD

Registration Number 2015/036096/07

2. No bond is registered on the property.
3. To the best of my knowledge there are no restrictive conditions of title in the said Deed of Transfer which prohibit:

- **Permanent departures** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2015) for the relaxation of:

North-eastern street building line (Ben Lambrecht Lane)

- From 3.0m to 1.5m for the additions at the closest point and 0.655m for open stairs.

Eastern street building line (c/o Ben Lambrecht Lane & Ben-Ben Street)

- From 3.0m to 1.998m for the additions and 0.606m for open stairs

South eastern street building line (Ben-Ben Street)

- From 3.0m to 2.338m for additions and 1.394m for open stairs

- **Permanent departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2015) for an increase in the allowable coverage from 65% to 68.52%

Signed at GEORGE on this 15th day of February 2024

M Goldie

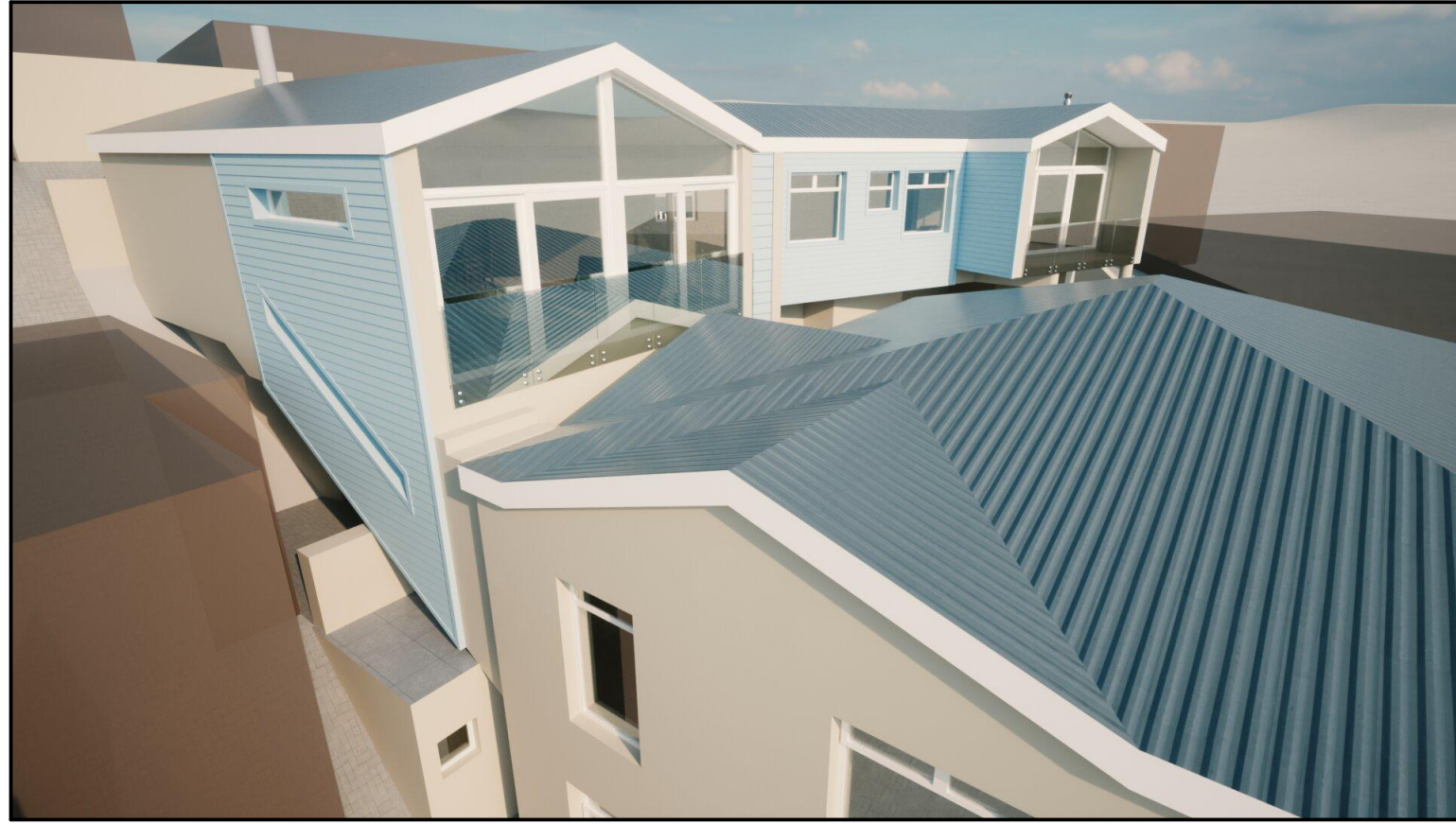
MADELEINE GOLDIE



Copyright ©

**PROPOSED LAND USE APPLICATION
ERF 1559, C/O BEN LAMPRECHT LANE & BEN BEN STREET
(7 UITSPANNING STREET), HEROLDS BAY
GEORGE MUNICIPALITY & DIVISION**

For scale refer to figured dimensions. Measurements always to be checked by Professional Land Surveyor.



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SOUTH AFRICAN COUNCIL FOR THE ARCHITECTURAL PROFESSION
MARIUS SMITH Pr.Snr.Arch.T - ST0609

ALL STAIRS ACCORDING TO SANS 10400 - M:
RISERS MAX 200mm
TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

all floors. IN ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-J

roof, fixings, TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

gpc, required, underneath, all, windows



SCAN TO SEE VIDEO
OR CLICK HERE

Carport / Open Patio (if any) to remain open as per building plan.

Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.2.1).

Drainage installation to comply with SANS 10400 Part P.

Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4).

Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2).

NOTES:
ALL MATERIALS USED MUST COMPLY TO SABS SPECIFICATIONS.
ALL BUILDING WORK, SEWERAGE & ELECTRICAL WORK MUST COMPLY TO SABS BUILDING REGULATIONS.

AT NO TIME MUST BE SCALED FROM ANY DRAWINGS. USE ONLY DIMENSIONS GIVEN. CONTRACTOR MUST BRING ALL DISCREPANCIES UNDER THE ATTENTION OF M SMITH ARCHITECTURAL GROUP.

NO CHANGES MAY BE MADE TO THE BUILDING (ADDING ON OR LEAVING OUT) WITHOUT THE WRITTEN APPROVAL OF M SMITH ARCHITECTURAL GROUP.

REVISIONS

No.	Date	Name	Description

SACAP REG. NO.: ST0609

MSMITH
ARCHITECTURAL GROUP

PASSION TO CREATE

UNIT 2 FAIRVIEW OFFICE PARK
1st STREET EASTERN EXT.
GEORGE GARDEN ROUTE

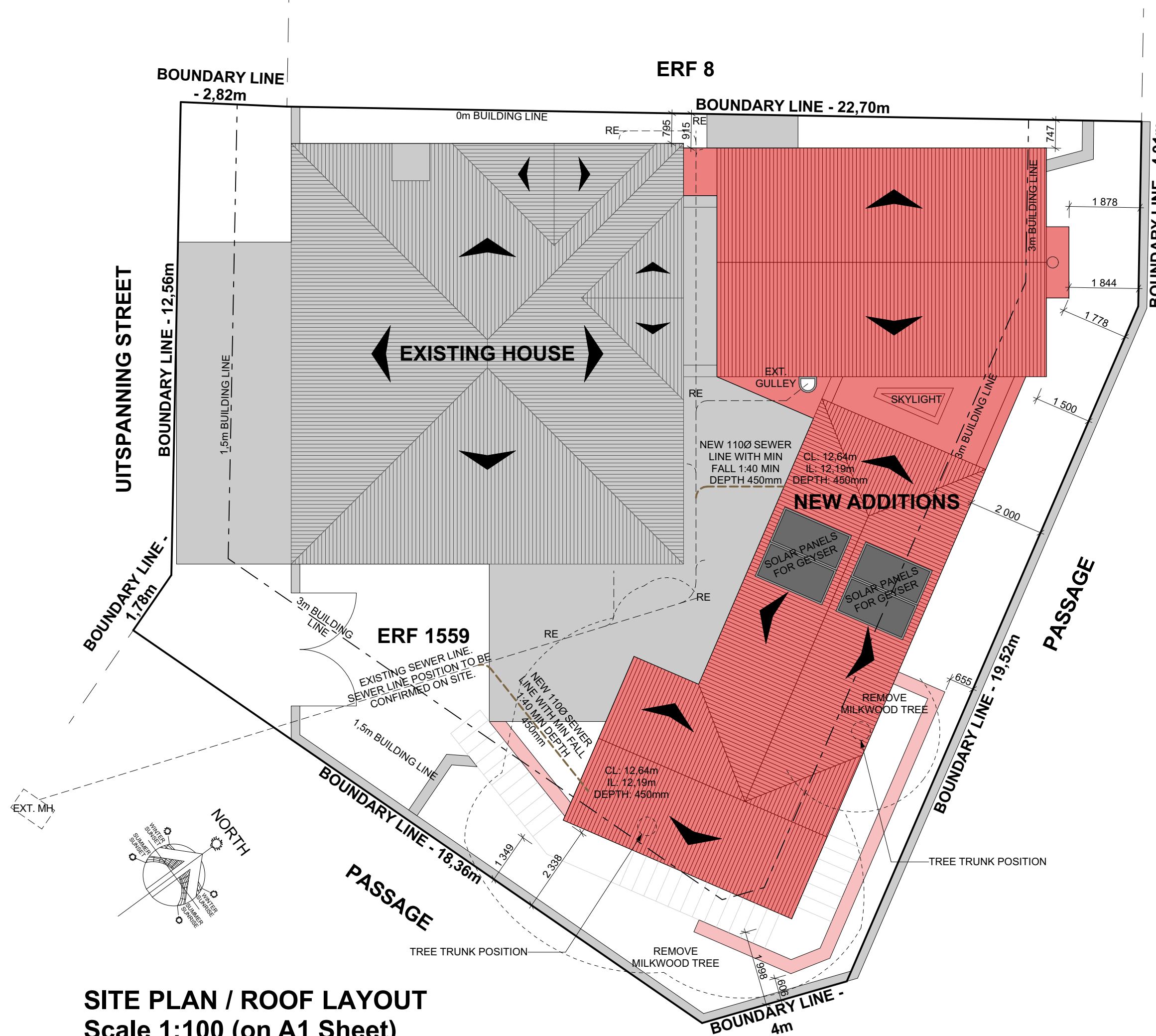
Cell: 082 640 2544
info@msmith.co.za
www.msmith.co.za

PROJECT
ALTERATIONS & ADDITIONS FOR WERTH PRIVATE EQUITY HOLDINGS ON ERF 1559 HEROLDS BAY GEORGE

SITE PLAN

SCALE	PROJECT NUMBER	
1:100	23.04-01	
DRAWING NUMBER	REVISION	
M001	B	
DATE PRINTED/ISSUED:	DRAWN	CHECKED
2024/01/24	H DU PREEZ	MS

APPROVED BY CLIENT
SIGNATURE:



SITE PLAN / ROOF LAYOUT
Scale 1:100 (on A1 Sheet)

AREA SCHEDULE:

213,65m² - EXT. LOWER GROUND FLOOR
147,22m² - EXT. GROUND FLOOR
360,87m² - TOTAL EXISTING

25,68m²- NEW LOWER GROUND FLOOR
36,51m²- NEW GROUND FLOOR
132,63m² - NEW FIRST FLOOR
194,82m² - TOTAL NEW

555,69m² - TOTAL AREA

471,76m² - SITE AREA

68,52% COVERAGE (323,23m²)

OWNER + BUILDING CONTRACTORS AND SUB-CONTRACTORS TO COMPLY WITH THE FOLLOWING REQUIREMENTS OF SANS 10400 / SANS 204 / SANS XA:

- B. Structural: The structural system of the building: Part H + Part J + Part K + Part L + Part M + Part N - as well as a competent person (structures) to design and inspect the structures.
- D. Public Safety: A change in level, the construction of ramps and driveways; or access to swimming pools is in accordance with the detailed requirements of SANS 10400-D
- F. Site Operations: The provision of sanitary facilities is in accordance with the detailed requirements of SANS 10400-F
- G. Excavations: The excavations must be less than 3 meters deep and is in accordance with the detailed requirements of SANS 10400-G
- H. Foundations: New structures will necessitate geotechnical investigations with the applicable rules. The foundations for the building are in accordance with SANS 10400-B and detailed requirements of SANS 10400-H.
- The foundations to the extension / addition to an existing building are the same as the existing foundations, which have performed satisfactory. Should any soil improvements be required - a competent person (civil engineering / geotechnical) are to be appointed.
- J. Floors: Floors in any Laundry, kitchen, shower room, bathroom or room containing a toilet pan or urinal are in accordance with the detailed requirements of SANS 10400-J (waterproofing or applicable areas). Suspended floors are in accordance with the detailed requirements of SANS 10400-B and SANS 10400-T and or requirements of SANS 10082 and or requirements of SANS 10400-J. Slabs supported on the ground are in accordance with the detailed requirements of SANS 10400-B and or SANS 10400-H and or SANS 10400-J
- K. Walls: The structural strength and stability of a wall is in accordance with the detailed requirements of SANS 10400-B and SANS 10400-T and or detailed requirements of SANS 10400-K. The roof fixing to the wall is in accordance with the detailed requirements of SANS 10400-B and or detailed requirements of SANS 10400-K
- The water penetration through a wall is in accordance with the detailed requirements of SANS 10400-K.
- L. Roofs: Roof coverings and waterproofing systems are in accordance with the detailed requirements of SANS 10400-L. Flat roofs or related gutters are in accordance with the detailed requirements of SANS 10400-L and or subject of a rational design or rational assessment. The roof assembly and any ceiling assembly - in addition to complying with the requirements of SANS 10400-C are in accordance with the detailed requirements of SANS 10400-L and the roof assembly is supported on walls that comply with the requirements of SANS 10400-K and or in accordance with SANS 10400-B. Gutters and downpipes are sized in accordance with the requirements of SANS 10400-R. The fire resistance and combustibility of the roof assembly or ceiling are in accordance with the detailed requirements of SANS 10400-L and or SANS 10400-T
- M. Stairways: Stairways are in accordance with SANS 10400-B and SANS 10400-T and or: the detailed requirements of SANS 10400-M. Walls, screens, railings or balustrades to such stairway are accordance with requirements of SANS 10400-B and SANS 10400-T / SANS 10400-K and SANS 10400-T.
- N. Glazing: The type of fixing of glazing is in accordance with SANS 10400-B / the detailed requirements of SANS 10400-N
- O. Lighting and Ventilation: The lighting and ventilation in a habitable room, bathroom, shower room and room containing a toilet pan complies with the requirements of SANS 10400-T and the detailed requirements of SANS 10400-O
- P. Sewer Drainage: The construction of the drainage system is in accordance with the detailed requirements of SANS 10400-P
- Q. Non-water borne means of sanitary disposal: The means of sewerage disposal where water-borne sewerage disposal is not available is in accordance with the detailed requirements of SANS 10400-Q
- R. Storm water disposal: The means for the control and disposal of storm water is in accordance with the detailed requirements of SANS 10400-R
- S. Persons with Disabilities: The means of providing facilities for persons with disabilities is in accordance with the detailed requirements of SANS 10400-S
- T. Fire protection: The fire protection measures provided are in accordance with the detailed requirements of SANS 10400-T
- V. Space heating: The provision for space heating is in accordance with the detailed requirements of SANS 10400-V
- W. Fire installation: The fire installations and supply of water comply with the detailed requirements of SANS 10400-W

Contractor to take responsibility that all details and reports of SANS 10400-XA & SANS 204 and it will be adhered to.

Main Contractor to comply with above requirements of SANS 10400 / SANS 204 / SANS 10400-XA (See attached report of SANS 10400-XA and SANS 204)

OWNER SIGNATURE: _____ DATE: _____

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MARIUS SMITH Pr.Snr.Arch.T - ST0609

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RISERS MAX 200mm
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HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

all floors, IN ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-J

roof, fixings, TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

lpc, required, underneath, all, windows



SCAN TO SEE VIDEO
OR CLICK HERE

Carport / Open Patio (if any) to remain open as per building plan.

Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.2.1).

Drainage installation to comply with SANS 10400 Part P.

Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4).

Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2).

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REVISIONS

No.	Date	Name	Description
A2	2023/09/03	H DU PREEZ	SEWER INVERT LEVELS ADDED

SACAP REG. NO.: ST0609

MSMITH
ARCHITECTURAL GROUP
PASSION TO CREATE

UNIT 2 FAIRVIEW OFFICE PARK
1st STREET EASTERN EXT.
GEORGE GARDEN ROUTE

Cell: 082 640 2544
info@msmith.co.za
www.msmith.co.za

PROJECT
ALTERATIONS & ADDITIONS FOR WERTH PRIVATE EQUITY HOLDINGS ON ERF 1559 HEROLDS BAY GEORGE

LOWER GROUND FLOOR PLAN

SCALE 1:50	PROJECT NUMBER 23.04-01
DRAWING NUMBER M002	REVISION B
DATE PRINT ISSUED: 2024/01/24	DRAWN H DU PREEZ
	CHECKED MS

APPROVED BY CLIENT

SIGNATURE:



LOWER GROUND FLOOR PLAN
Scale 1:50 (on A1 Sheet)



GROUND FLOOR PLAN
Scale 1:50 (on A1 Sheet)

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MARIUS SMITH Pr.Snr.Arch.T - ST0609

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HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

all floors, IN ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-J

roof, fixings, TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

lpc, required, underneath, all, windows



Carport / Open Patio (if any) to remain open as per building plan.

Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.2.1).

Drainage installation to comply with SANS 10400 Part P.

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REVISIONS

No.	Date	Name	Description
A1	2023/09/03	H DU PREEZ	60mm FIRE RATING WINDOWS

SACAP REG. NO.: ST0609

MSMITH ARCHITECTURAL GROUP
PASSION TO CREATE

UNIT 2 FAIRVIEW OFFICE PARK
1st STREET EASTERN EXT.
GEORGE GARDEN ROUTE

Cell: 082 640 2544
info@msmith.co.za
www.msmith.co.za

PROJECT
ALTERATIONS & ADDITIONS FOR WERTH PRIVATE EQUITY HOLDINGS ON ERF 1559 HEROLDS BAY GEORGE

GROUND FLOOR PLAN

SCALE	PROJECT NUMBER
1:50	23.04-01
DRAWING NUMBER	REVISION
M003	B
DATE PRINT ISSUED:	DRAWN CHECKED
2024/01/24	H DU PREEZ MS

APPROVED BY CLIENT

SIGNATURE:



FIRST FLOOR PLAN
Scale 1:50 (on A1 Sheet)

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MARIUS SMITH Pr.Snr.Arch.T - ST0609

ALL STAIRS ACCORDING TO SANS 10400 - M:
RISERS MAX 200mm
TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

all floors, IN ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-J

roof, fixings, TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

lpc, required, underneath, all, windows



SCAN TO SEE VIDEO
OR CLICK HERE

Carport / Open Patio (if any) to remain open as per building plan.

Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.2.1).

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REVISIONS

No.	Date	Name	Description
A1	2023/09/03	H DU PREEZ	60mm FIRE RATING WINDOWS

SACAP REG. NO.: ST0609

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UNIT 2 FAIRVIEW OFFICE PARK
1st STREET EASTERN EXT.
GEORGE
GARDEN ROUTE

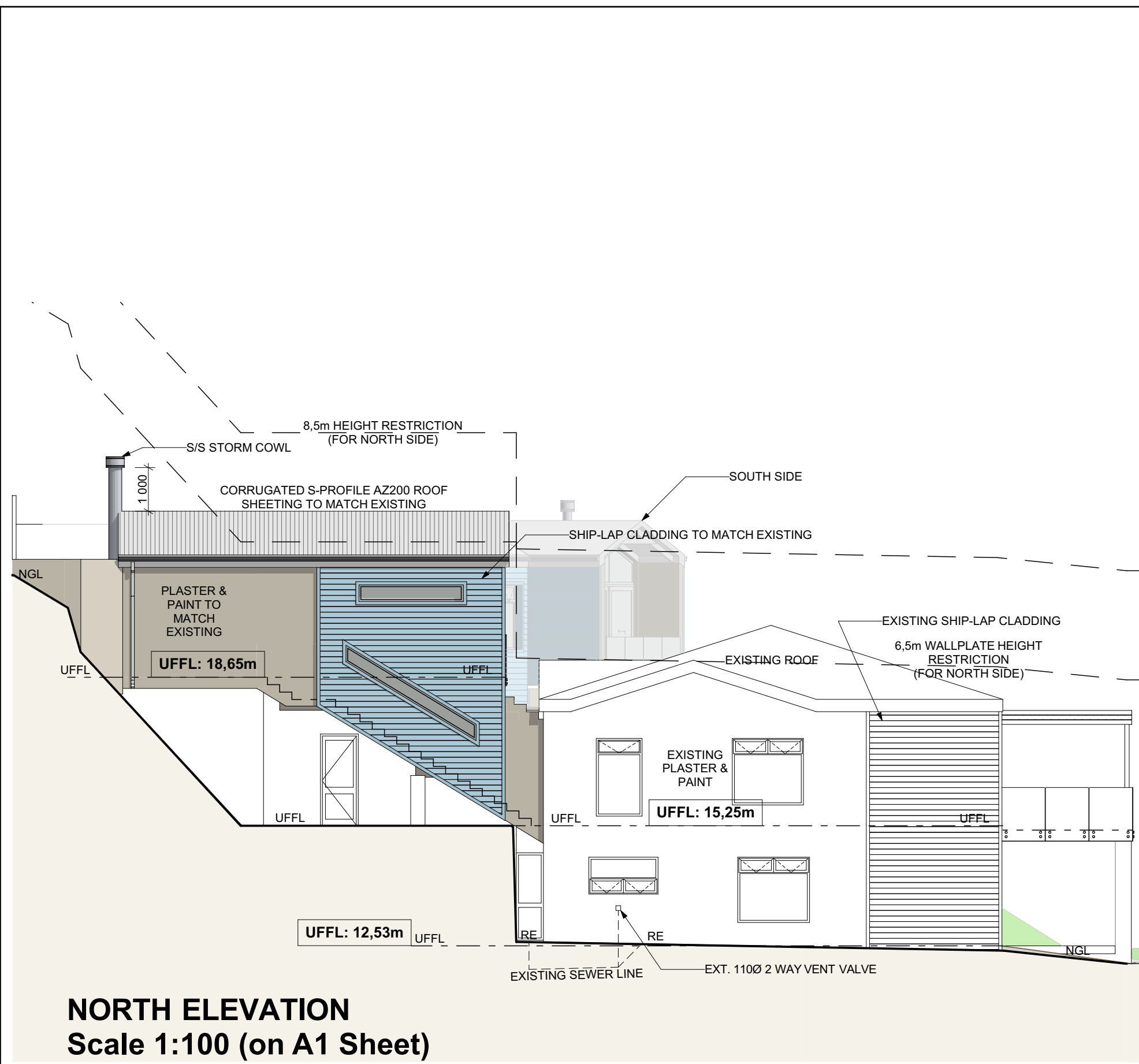
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PROJECT
ALTERATIONS & ADDITIONS FOR WERTH PRIVATE EQUITY HOLDINGS ON ERF 1559 HEROLDS BAY GEORGE

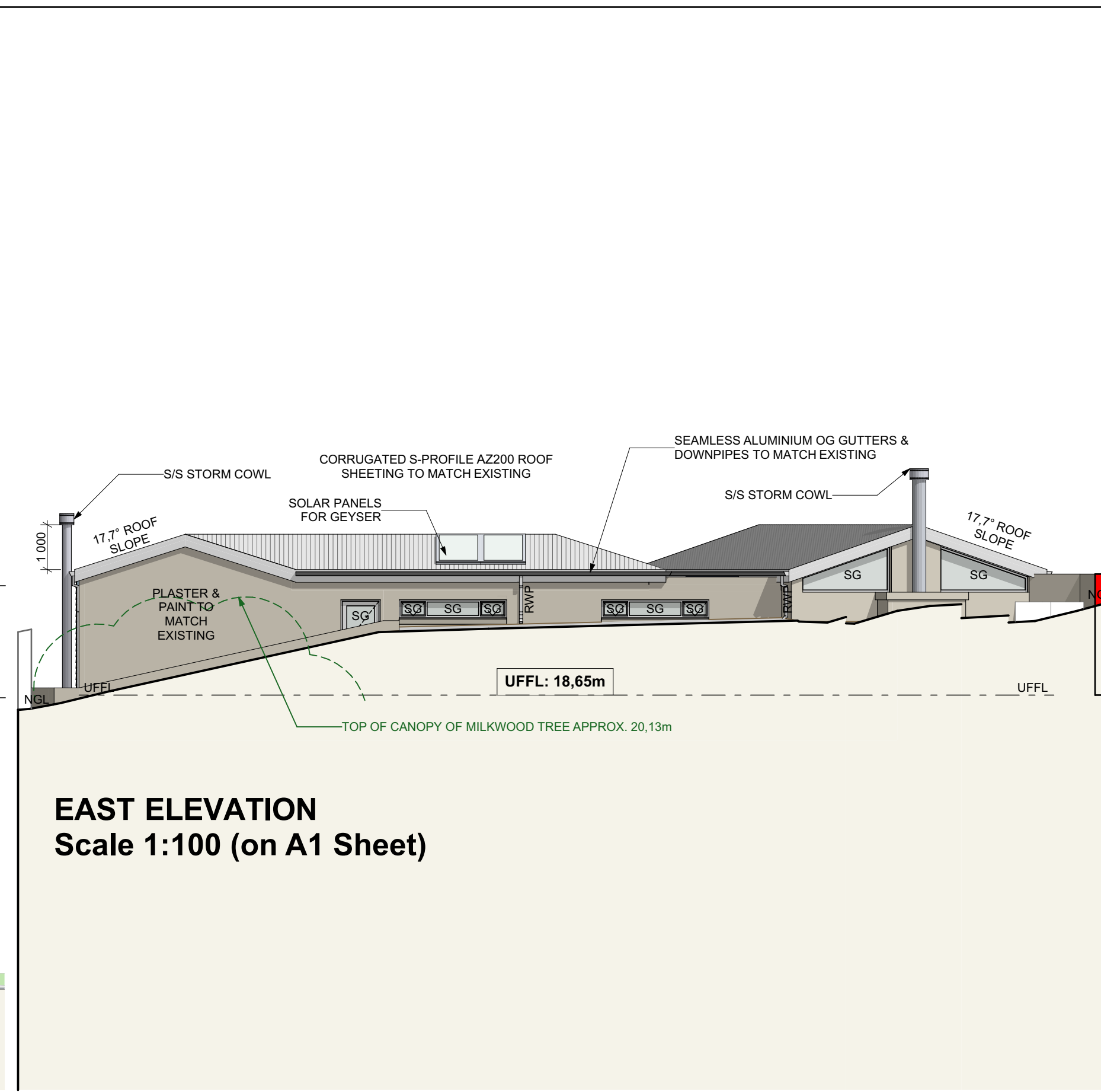
FIRST FLOOR PLAN

SCALE 1:50	PROJECT NUMBER 23.04-01
DRAWING NUMBER M004	REVISION B
DATE PRINT ISSUED: 2024/01/24	DRAWN H DU PREEZ
	CHECKED MS

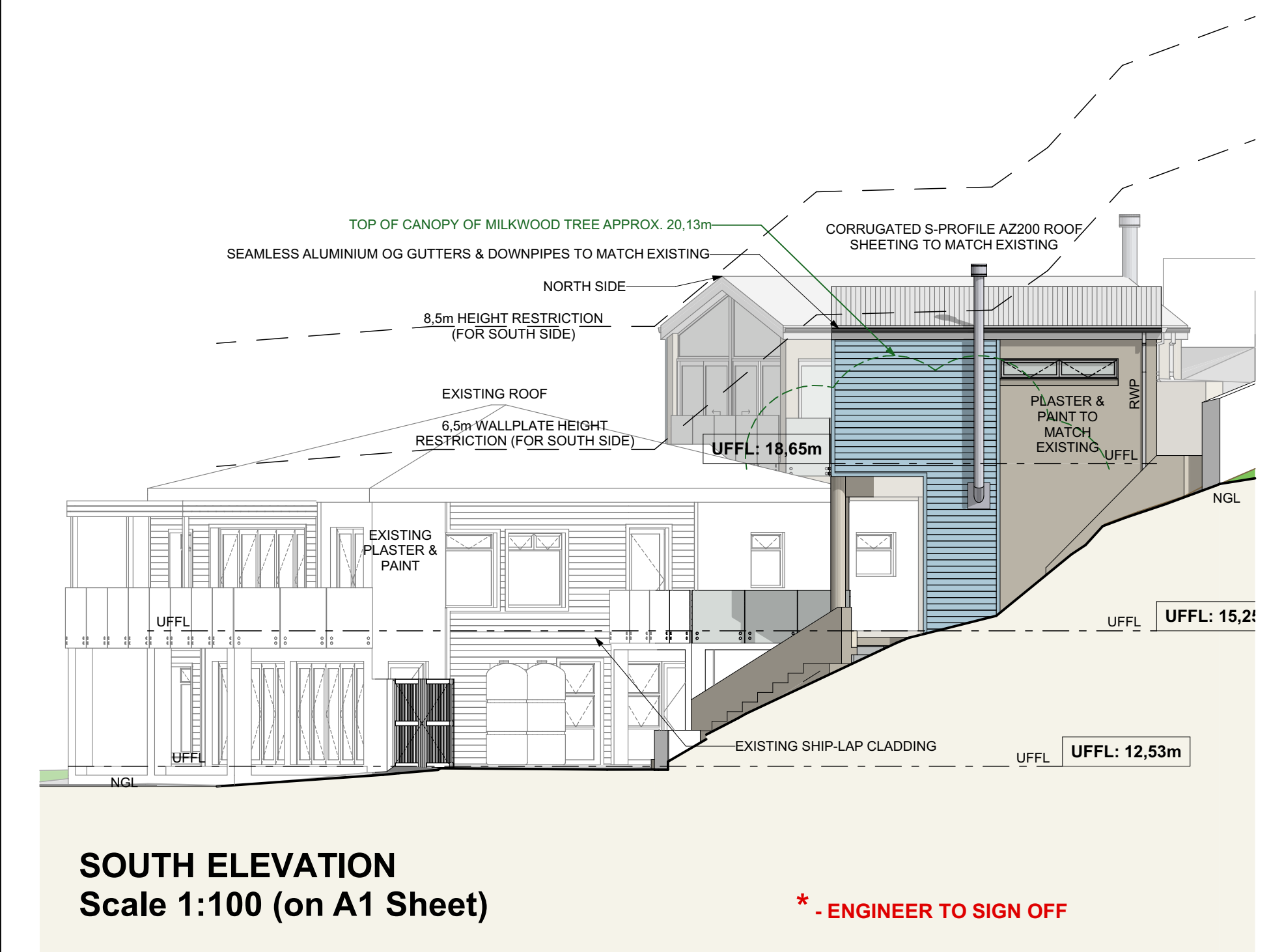
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NORTH ELEVATION
Scale 1:100 (on A1 Sheet)

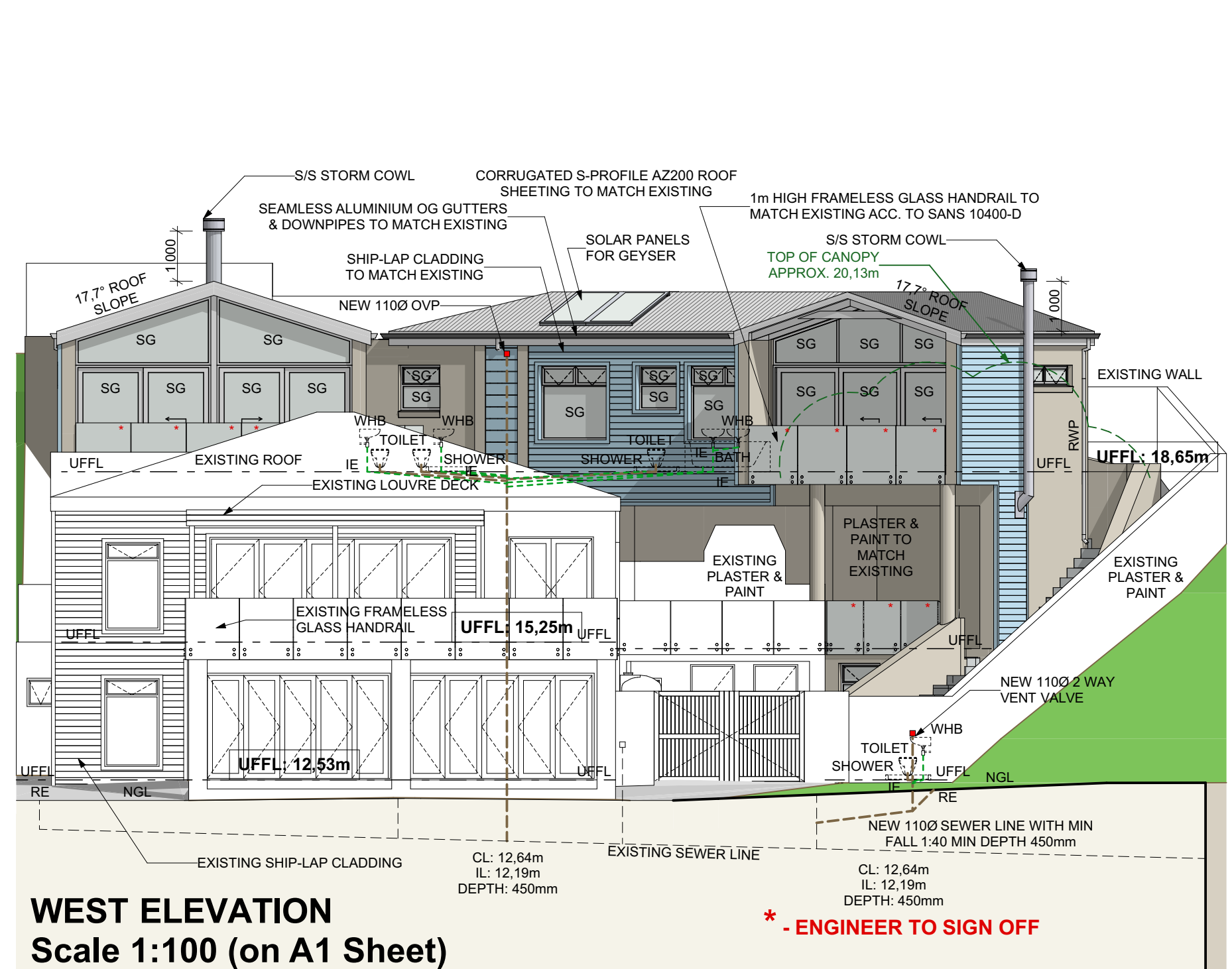


EAST ELEVATION
Scale 1:100 (on A1 Sheet)



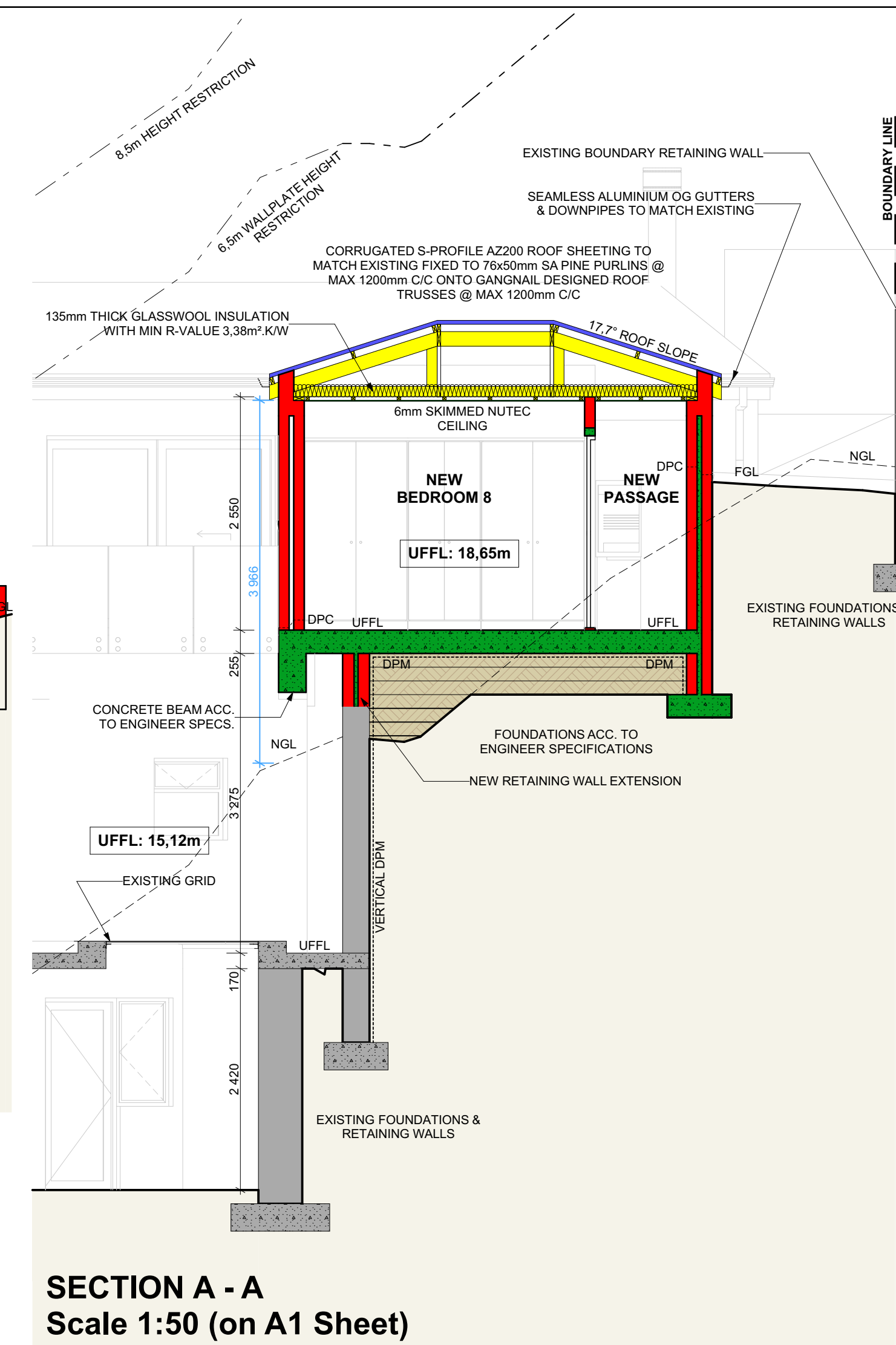
SOUTH ELEVATION
Scale 1:100 (on A1 Sheet)

* - ENGINEER TO SIGN OFF

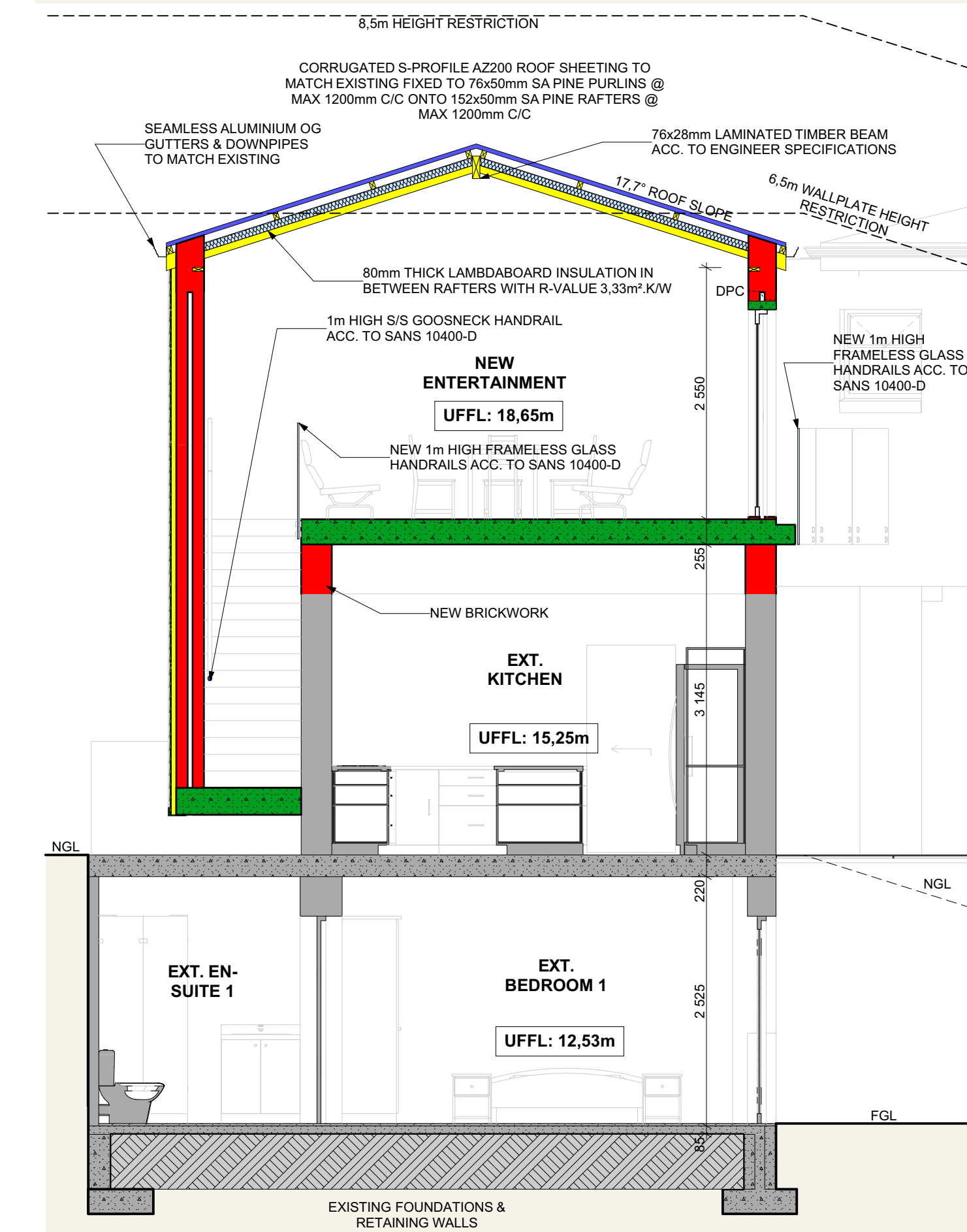


WEST ELEVATION
Scale 1:100 (on A1 Sheet)

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SECTION A - A
Scale 1:50 (on A1 Sheet)



SECTION E - E
Scale 1:50 (on A1 Sheet)

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MARIUS SMITH Pr.Snr.Arch.T - ST0609

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RISERS MAX 200mm
TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

all floors, IN ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-J

roof, fixings, TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

dpc, required, underneath, all, windows

SCAN TO SEE VIDEO OR CLICK HERE

Carport / Open Patio (if any) to remain open as per building plan.

Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).

Drainage installation to comply with SANS 10400 Part P.

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REVISIONS

No.	Date	Name	Description

SACAP REG. NO.: ST0609

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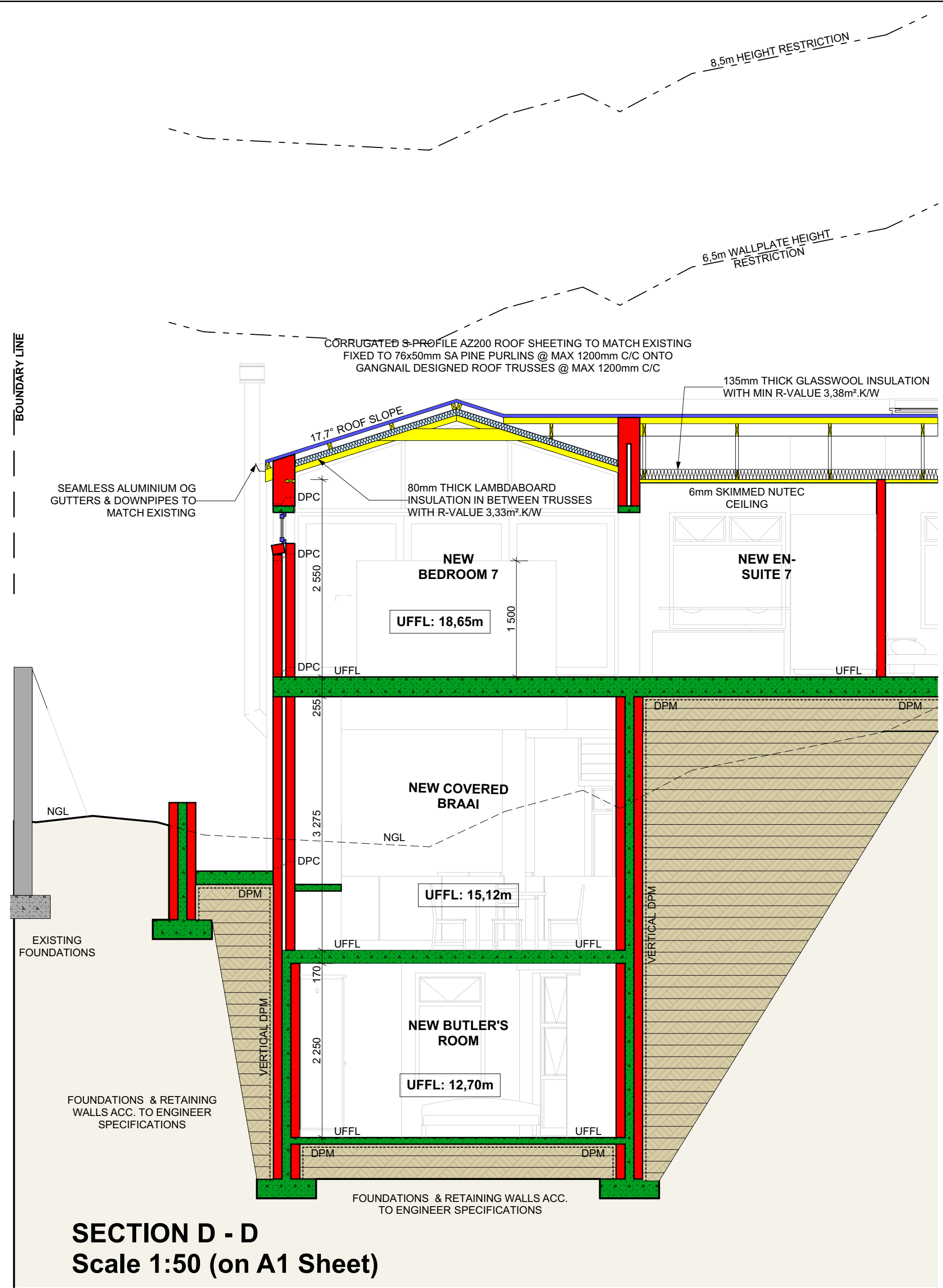
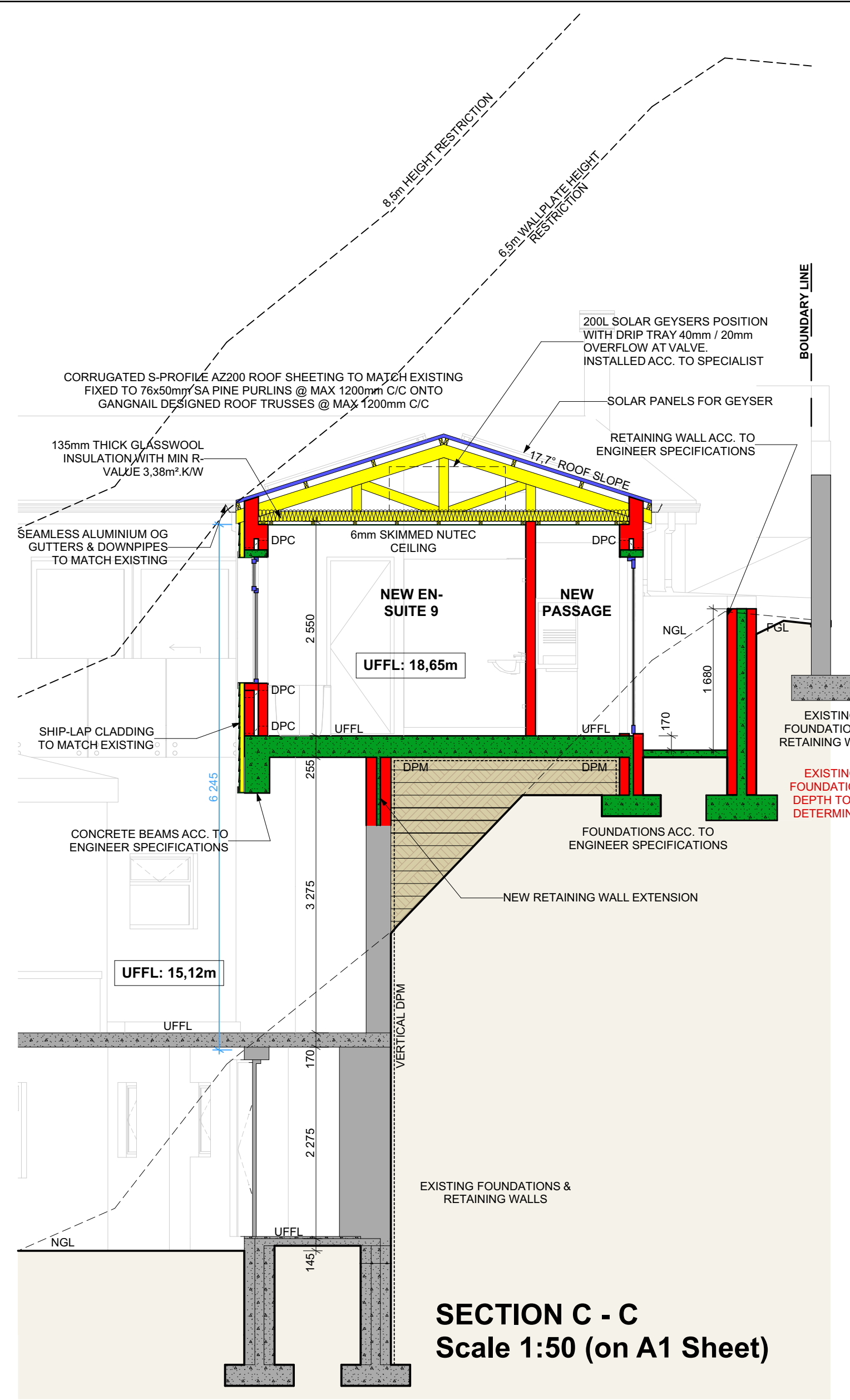
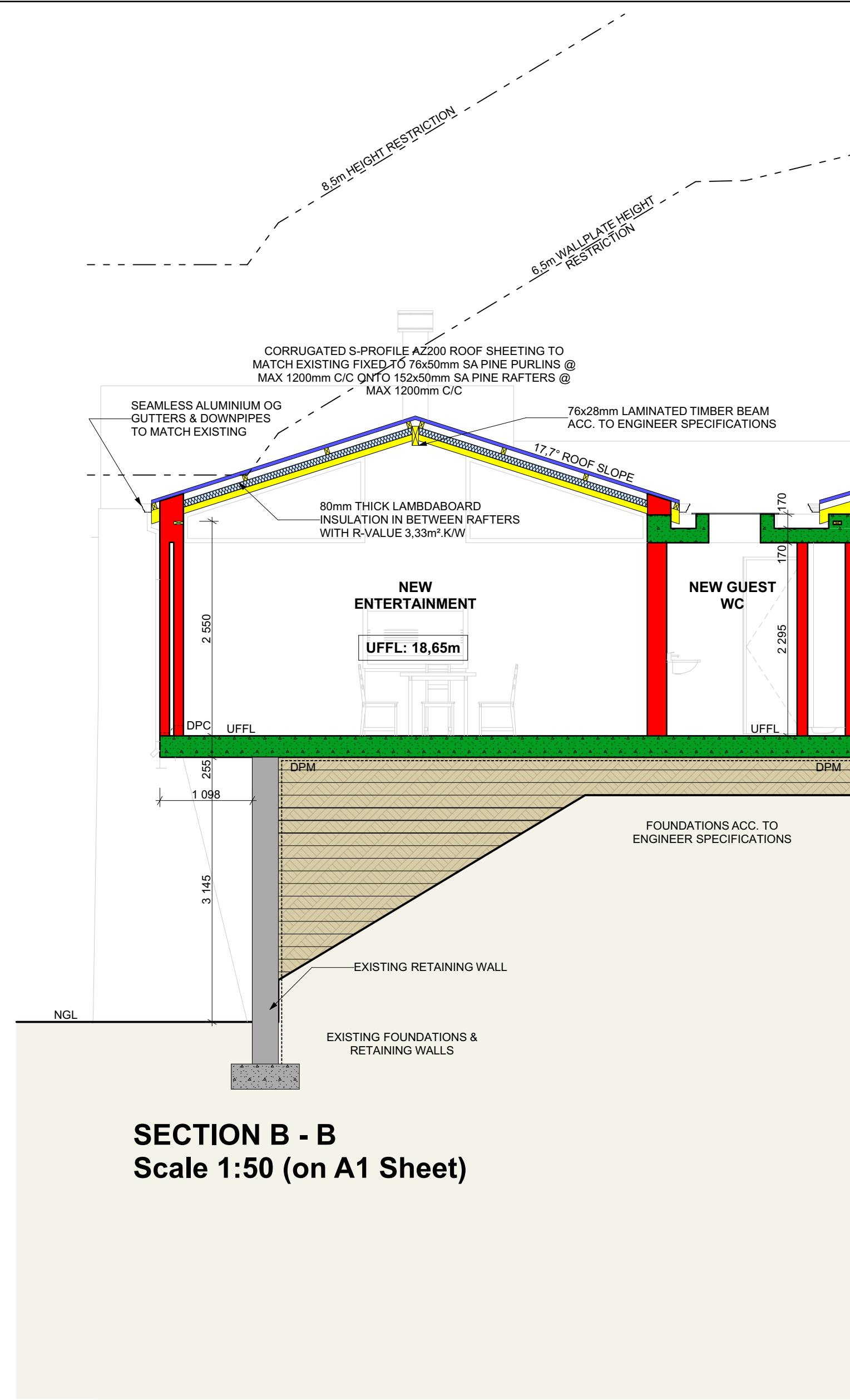
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PROJECT
ALTERATIONS & ADDITIONS FOR WERTH PRIVATE EQUITY HOLDINGS ON ERF 1559 HEROLDS BAY GEORGE

SECTIONS, ELEVATIONS

SCALE	PROJECT NUMBER	
1:50, 1:100	23.04-01	
DRAWING NUMBER	REVISION	
M005	B	
DATE PRINT ISSUED:	DRAWN	CHECKED
2024/01/24	H DU PREEZ	MS

APPROVED BY CLIENT
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No.	Date	Name	Description
A1	2023/09/03	H DU PREEZ	60mm FIRE RATING WINDOWS

No.	Description
D1 1	EXISTING DOOR
D2 1	EXISTING DOOR
D3 1	EXISTING DOOR
D4 3	EXISTING DOOR
D5 1	EXISTING DOOR
D6 3	EXISTING DOOR
D7 1	EXISTING DOOR
D8 2	EXISTING DOOR
D9 1	EXISTING DOOR
D10 1	EXISTING DOOR
D11 1	EXISTING DOOR
D12 1	EXISTING DOOR
D13 2	EXISTING DOOR
D14 2	EXISTING DOOR
ESD821 1	EXISTING DOOR
ESD921 1	EXISTING DOOR
FSD3721 1	EXISTING DOOR
FSD3821 1	EXISTING DOOR
FSD4821 1	EXISTING DOOR
SD2721 2	EXISTING DOOR
SD2821 1	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH SAFETY GLASS WHERE INDICATED
SD4221 1	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH SAFETY GLASS WHERE INDICATED
W1 1	EXISTING WINDOW
W2 1	EXISTING WINDOW
W3 1	EXISTING WINDOW
W4 1	EXISTING WINDOW
W5 1	EXISTING WINDOW
W6 1	EXISTING WINDOW
W7 1	EXISTING WINDOW
W8 1	EXISTING WINDOW
W9 1	EXISTING WINDOW
W10 1	EXISTING WINDOW
W11 1	EXISTING WINDOW
W12 1	EXISTING WINDOW
W13 1	EXISTING WINDOW
W14 1	EXISTING WINDOW
W15 1	EXISTING WINDOW
W16 1	EXISTING WINDOW
W17 1	EXISTING WINDOW
W18 1	EXISTING WINDOW
W19 1	EXISTING WINDOW
W20 1	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH SAFETY GLASS WHERE INDICATED
W21 1	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH SAFETY GLASS WHERE INDICATED
W22 1	EXISTING WINDOW
W23 1	EXISTING WINDOW
W24 1	EXISTING WINDOW
W25 1	EXISTING WINDOW
W26 1	EXISTING WINDOW
W27 1	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH 60min FIRE RATING
W28 1	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH SAFETY GLASS WHERE INDICATED
W29 1	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH SAFETY GLASS WHERE INDICATED
W30 1	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH SAFETY GLASS WHERE INDICATED
W31 1	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH SAFETY GLASS WHERE INDICATED
W32 2	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH SAFETY GLASS WHERE INDICATED
W33 1	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH SAFETY GLASS WHERE INDICATED
W34 1	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH SAFETY GLASS WHERE INDICATED
W35 2	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH SAFETY GLASS WHERE INDICATED
W36 2	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH SAFETY GLASS WHERE INDICATED
W37 1	NEW WHITE POWDER COATED ALUMINIUM FRAMES, TO MATCH EXISTING, WITH 60min FIRE RATING

WINDOW & DOOR SCHEDULE
Scale 1:100 (on A1 Sheet)

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roof, fixings, TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

dpc, required, underneath, all windows



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No.	Date	Name	Description
A1	2023/09/03	H DU PREEZ	60mm FIRE RATING WINDOWS

SACAP REG. NO.: ST0609

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PROJECT
ALTERATIONS & ADDITIONS FOR WERTH PRIVATE EQUITY HOLDINGS ON ERF 1559 HEROLDS BAY GEORGE

SECTIONS, WINDOW & DOOR SCHEDULE	
SCALE 1:50	PROJECT NUMBER 23.04-01
DRAWING NUMBER M006	REVISION B
DATE PRINT ISSUED: 2024/01/24	DRAWN H DU PREEZ
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