



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 15181 George

10 June 2024

Sir

APPLICATION FOR SUBDIVISION AND DEPARTURE (RELAXATION OF BUILDING LINE): ERF 15181 GEORGE

Attached hereto, please find an application in terms of

- Section 15(2)(d) of the Land Use Planning By-Law for the George Municipality, 2023 for the subdivision of Erf 15181 George into a Portion A ($\pm 368\text{m}^2$) and a Remainder ($\pm 500\text{m}^2$).
- Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for the relaxation of the western lateral building line on the Remainder from 1.5 metres to 1.10 metres to legalize the existing dwelling house.

Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR SUBDIVISION AND DEPARTURE (BUILDING LINE RELAXATION)
ERF 15181 GEORGE

10 June 2024



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MOTIVATION REPORT
APPLICATION FOR SUBDIVISION AND DEPARTIURE (RELAXATION OF BUILDING
LINE)
ERF 15181 GEORGE

1. APPLICATION

- Application is made in terms of Section 15(2)(d) of the Land Use Planning By-Law for the George Municipality, 2023 for the subdivision of Erf 15181 George into a Portion A ($\pm 368\text{m}^2$) and a Remainder ($\pm 500\text{m}^2$) as indicated on the subdivision plan attached hereto as **Annexure "A"**.
- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for the relaxation of the western lateral building line on the Remainder from 1.5 metres to 1.10 metres to legalize the existing dwelling house.

The completed application form for the subdivision departure application is attached hereto as **Annexure "B"**.

2. DEVELOPMENT PROPOSAL

The western portion of Erf 15181 George is developed with a dwelling house which has been in existence since at least 1991 when Erf 15181 George was created. The present owner purchased the erf in 2016 and has since developed a second dwelling on the vacant eastern portion of the erf. Copies of the building plans for the second dwelling which was approved 22 June 2021 under Plan No 537/2021 is attached hereto as **Annexure "C"**. The second dwelling unit has a size of approximately 106m^2 .

The following arial photo indicated the position of the existing dwelling house to the left and the second dwelling to the east. A wendy house with a floor area of approximately 6m^2 has since been erected adjacent to the second dwelling as is visible on the aerial photo below.



As is visible from the aerial photo the erf is located on the northwestern corner of the intersection of Tolbos Avenue and Kiaat Avenue. The existing dwelling house obtains access from Kiaat Avenue whilst the second dwelling obtains access from Tolbos Avenue. The two dwelling units operate at this stage as two separate dwellings with the owner residing in the dwelling house and the second dwelling unit being rented.

It is the owner's intention to subdivide the second dwelling unit from the erf and to alienate the portion on which the second dwelling is located (Portion A).

The following plan indicates the proposed subdivision, as well as the position of the existing dwelling house on the proposed Remainder and the second dwelling on Portion A.

As indicated on the subdivision plan and in point 1 of this motivation report the dwelling house on the Remainder encroaches into the 1.5 metre western lateral building line, hence the application for relaxation of this building line. The remainder of the dwelling house complies with the building lines applicable along the remaining boundaries of the proposed Remainder. The second dwelling on Portion A complies with all the building lines applicable to Portion A. The wendy house on Portion A does, however, encroach into the 3-metre street building line along the southeastern corner of Portion A. As ample space is available on Portion A, the wendy house will be moved to a position where it will comply with the 3-metre street building line.

The purpose of this application is to obtain approval for the proposed subdivision of the application erf and the relaxation of western lateral building line on the Remainder as indicated in point 1 of this motivation report.

3. PRE-APPLICATION CONSULTATION

The pre-application consultation discussion of the proposal by the relevant officials of George Municipality took place on 12 December 2024. The signed pre-application consultation form with the municipal comments on the proposal is attached hereto as **Annexure "D"**. The signed pre-application consultation application form contains the following comments that need to be addressed in the application:

Town Planning:

- *Applicant to ensure that development parameters are complied with such as building lines etc. Departures will be required where applicable.*
- *To provide parking and access as per the requirements set in Section 42 and 45 of the George Integrated Zoning Scheme. To indicate access widths, manoeuvrability and parking on the proposed subdivision plan.*
- *Applicant to motivate in terms of SPLUMA, MSDF 2023, LSDF's etc.*
- *To indicate the building lines applicable to the proposed subdivided erven and apply for building line relaxations were applicable.*
- *To indicate the location of the main Engineering services on site.*

- *To indicate all illegal structures/uses and size thereof on the plan. Contravention levies may be applicable. To indicate if any structures will be demolished?*
- *To motivate deviation if applicable from the min erf sizes in the area.*

CES:

- *Access: Must comply to the GIZS 2023.*
- *Water & Sewer: Available, subject to confirmation.*
- *Stormwater: Development to conform to the applicable Stormwater By-law.*
- *DC: Normal DC's in terms of the DC policy will apply on service, once their becomes available, if not yet paid on build plan.*

ETS:

No comments provided during the pre-application meeting, however it must be noted that normal DC's and conditions will apply

The issues raised above are addressed in various points throughout this motivation report.

4. GENERAL INFORMATION REGARDING ERF 15181 GEORGE

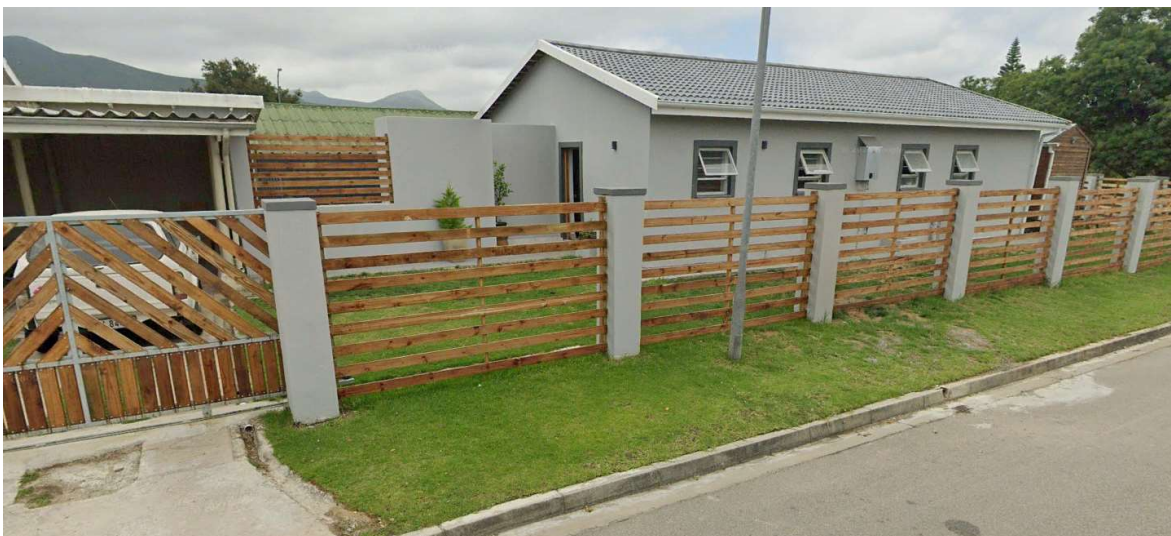
4.1 Locality

Erf 15181 George is situated at 1 Kiaat Avenue, on the northwestern corner of the intersection of Tolbos Avenue and Kiaat Avenue, Denneoord, George.

The locality of the erf is indicated on the locality plan which is attached hereto as **Annexure "E"**.

4.2 Existing land use

Erf 15181 George is currently used for residential purposes. A dwelling house and a second dwelling exist on the erf. The photos below indicate the existing dwelling house and the second dwelling.



4.3 Extent

Erf 15181 George has a size of 868m².

4.4 Present zoning

In terms of the George Integrated Zoning Scheme By-Law, 2023 the zoning of Erf 15181 George is Single Residential Zone I.

4.5 Land Surveyor General Diagram

The Surveyor General Diagram of Erf 15181 George is attached hereto as **Annexure “F”**.

4.6 Title Deed

Erf 15181 George is registered in the name of Friedel Louise Botha (ID number 6702270144087). A copy of the registered Title Deed is attached hereto as **Annexure “G”**.

4.7 Power of Attorney

A Power of Attorney whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Friedel Louise Botha the registered owner of Erf 15181 George, to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “H”**.

4.8 Bondholder’s Consent

Erf 15181 George is encumbered by a bond. A copy of the bondholders’ consent is attached hereto as **Annexure “I”**.

4.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 15181 George is attached hereto as **Annexure “J”**. The Conveyancer Certificate confirms that there are no conditions in the Title Deed of the erf which restrict the development of the erf as proposed in this application.

5. DESIRABILITY OF THE APPLICATION FOR THE SUBDIVISION OF ERF 15181 GEORGE

5.1 Introduction

The term "desirability" in the land use planning context, may be defined as the degree of acceptability of the land uses on the land unit concerned. The desirability of the intended subdivision shall be discussed with reference to the aspects listed below.

- Physical characteristics of the site.
- The proposed land uses.
- The compatibility of the proposal with existing planning documentation, spatial frameworks, legislation and policies.
- The compatibility of the proposal with the character of the surrounding area.
- Potential of the site.
- Accessibility of site.
- Availability of parking.
- Provision of services.

It will be indicated in the following paragraphs that the proposal can be regarded as being desirable as far as the mentioned aspects are concerned.

5.2 Physical characteristics of the property

5.2.1 Topography

The application erf has a negligible slight slope from the northwest to the southwest. This slope has been considered in the development of the two dwelling units. The topography is thus of such a nature that it will not have a negative impact on the proposed subdivision as applied for in this application.

5.2.2 Surface conditions

Little information concerning the soil conditions in the area is available. The soil condition of the application erf seems stable. The existing structures on the application erf and in the vicinity of the erf do not appear to have construction anomalies relating to unstable soil conditions. It can, therefore, be accepted that the soil condition is suitable to accommodate the proposal.

There is, as such, no reason why this application cannot be supported from this point of view.

5.2.3 Vegetation

The vegetation on the application erf consists of a neatly kept lawn, with a few shrubs. As the application erf has already been “divided” along the proposed subdivision boundary, no vegetation will have to be removed to accommodate the proposed subdivision.

Vegetation will therefore have no influence on the proposed development.

5.2.4 Other characteristics

The application erf is not affected by flood lines, fountains or other unique ecological habitats.

5.2.5 Conclusion

From the contents of the above-mentioned paragraphs, it is clear that there is no reason from a physical characteristics point of view why the application for subdivision cannot be supported.

5.3 Proposed land use

The application erf is currently developed with two dwelling units. The owner intends subdividing the application erf into 2 Single Residential Zone I erven. The proposed subdivision will not result in a change of land use, or a new building being erected. The two existing dwelling units will remain intact, with a dwelling unit situated on each of the 2 newly created erven. The only change will be in ownership, as the owner will be able to alienate each of the two erven separately by means of full title.

5.4 Density of the proposed development

It is proposed to subdivide the erf into 2 portions. Both the proposed erven will be smaller than 600m², which is the minimum erf size for Denneoord, as per the Council Policy regarding minimum erf sizes in George. In terms of this Policy an area of 600m² is mentioned as the

minimum erf size to accommodate a dwelling house and a second dwelling unit in various suburbs which are comparable with Denneoord. It seems, therefore, that the subdivision as proposed in this application could result in only 2 dwelling units being developed on the application erf, which is similar to the current number of dwelling units on the erf. This relates to a gross density of approximately 24 dwelling units per hectare, which is comparable with the norm of 25 dwelling units per hectare, aimed at by the Department of Environmental Affairs and Development Planning.

5.5 Compatibility of the development proposal with existing planning documentation and policies

5.5.1 Introduction

Different planning documents apply to the application and the desirability and compatibility of the application regarding each of these documents will subsequently be discussed.

5.5.2 "Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SPLUMA)"

Section 7 of the "Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)" lists 5 development principles which must be applied when any development application is to be evaluated. The principles referred to are as follows:

- "Spatial justice"
- "Spatial sustainability"
- "Spatial efficiency"
- "Spatial resilience"
- "Good administration"

Different development principles are identified under each of the 5 abovementioned principles which must be applied when a land use application is to be evaluated. The proposed application for subdivision will subsequently be evaluated on each of the principles.



Spatial justice		
Criteria	Compliance	Planning Implication
Past spatial and other development imbalances must be redressed through improved access to and use of land.	Complies with.	This application will result in a residential erf situated within the Urban Edge being developed to fuller potential. The proposed development targets the middle-income group and will result in affordable housing being made available. It will also lead to more efficient use of land.
Spatial development frameworks and policies at all spheres of government must address the inclusion of persons and areas that were previously excluded, with an emphasis on informal settlements, former homeland areas and areas characterised by widespread poverty and deprivation.	Complies with.	George Municipality approved a Spatial Development Framework for George, 2023. The Spatial Development Framework contain development proposals which are aimed at improving the quality of life of all the inhabitants of George, thus creating the opportunity for approval of this application which will result in affordable housing being made available.
Spatial planning mechanisms, including land use schemes, must incorporate provisions that enable redress in access to land by disadvantaged communities and persons.	Complies with.	George Municipality approved the George Integrated Zoning Scheme By-Law, 2023, which contains zoning- and development parameters which guide the development of all erven in respect of type of structure allowed, land uses and building lines. These parameters enable the development of smaller erven, as proposed in this application, aimed at the need for affordable dwelling units.
Land use management systems must include all areas of a municipality and especially include provisions that are flexible and appropriate for the management of disadvantaged areas, informal settlements and former homelands areas.	Complies with.	George Municipality approved the George Integrated Zoning Scheme By-Law, 2023, which contains zoning- and development parameters which guide the development of all erven in respect of type of structure allowed, land uses and building lines. These parameters enable the development of smaller erven, as proposed in this application,

		aimed at the need for affordable dwelling units.
Land development procedures must include provisions that accommodate access to secure tenure and incremental upgrading of informal areas.	Not applicable.	This provision does not apply to this application, as no informal residential development is involved.
A Municipal Planning Tribunal, considering an application before it, may not be impeded or restricted in the exercise of its discretion solely on the ground that the value of land or property is affected by the outcome of this application.	Not applicable.	As far as is known, the Eden Joint Planning Tribunal - George Municipality's discretion when considering applications is not affected by the value of land or property. Decision making is, as far as is known, based on the principles, as stated in Section 7 of the Spatial Planning and Land Use Act, 2013 (Act 16 of 2013).

Spatial sustainability

Criteria	Compliance	Planning Implication
Promote land development that is within the fiscal, institutional and administrative means of the Republic.	Complies with.	The application erf is situated within the Urban Edge of George and is indicated for residential development in the George Spatial Development Framework, 2023.
Ensure that special consideration is given to the protection of prime and unique agricultural land.	Not applicable.	Erf 15181 George is zoned as indicated in point 4.4 of this Motivation Report. The provisions of the Act on the Subdivision of Agricultural Land, 1970 (Act 70 of 1970) therefore do not apply to the application. The application erf is situated within the Urban Edge of George.
Uphold consistency of land use measures in accordance with environmental management instruments.	Not applicable.	The proposed development does not trigger any listed activities in terms of environmental legislation.
Promote and stimulate the effective and equitable functioning of land markets.	Complies with.	The application erf is situated in Denneoord, in an area currently characterized by Single Residential

		<p>development. In the George Spatial Development Framework, 2023, this area is indicated as an area where the single residential development should be retained. The land use proposed in this application is therefore in line with the development proposals in the relevant Spatial Development Framework. The proposed development will thus not have a negative impact on surrounding property values and will contribute to the upgrading of the area, which could result in increasing property values in the vicinity.</p>
<p>Consider all current and future costs to all parties for the provision of infrastructure and social services in land developments.</p>	<p>Complies with.</p>	<p>No infrastructure is required as far as the proposed subdivision is concerned as both the dwelling house and the second dwelling have already been connected to the external municipal services available in this area.</p>
<p>Promote land development in locations that are sustainable and limit urban sprawl.</p>	<p>Complies with.</p>	<p>The application erf is situated within the Urban Edge of George and in an existing residential area. The proposed development will, therefore, not result in urban sprawl.</p>
<p>Result in communities that are viable.</p>	<p>Complies with.</p>	<p>Due to the high maintenance cost (labour, water and plants), as well as security risk associated with large properties, the development of large residential erven is increasingly considered not viable. The development of smaller erven, as is proposed in this application, can result in a vibrant and viable neighbourhood, which will have a positive effect on property values and the economy of George. This will result in additional income for the Municipality, which could be used for the improvement of quality of services to all the citizens of George.</p>

Spatial efficiency

Criteria	Compliance	Planning Implication
Land development optimises the use of existing resources and infrastructure.	Complies with.	The application erf is situated within an existing serviced area. No infrastructure is required as far as the proposed subdivision is concerned as both the dwelling house and the second dwelling have already been connected to the external municipal services available in this area. The proposal will thus not result in infrastructure costs to any external parties. The proposal will thus not place any burden on municipal budget for the provision services infrastructure.
Decision-making procedures are designed to minimise negative financial, social, economic or environmental impacts.	Complies with.	In terms of the contents of this motivation report the proposed development will have no negative financial, social, economic or environmental impacts. The proposal will in fact have a positive effect on the upliftment of the area, as a portion of the application erf will be placed under separate ownership. It will thus be possible to comply with any procedures which the George Municipality has designed to minimise negative financial, social, economic or environmental impacts.
Development application procedures are efficient and streamlined and timeframes are adhered to by all parties.	Complies with.	George Municipality has adopted the George Municipality: Land Use Planning By-Law, 2023 which prescribes procedures and time frames developers must comply with when submitting land use applications, and which officials must consider when considering applications. This application has been prepared in accordance with the stipulations of the George Municipality: Land Use Planning By-law, 2023 and the application will therefore be managed

		and considered in accordance with the time frames as prescribed.
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Spatial resilience		
Criteria	Compliance	Planning Implication
Flexibility in spatial plans, policies and land use management systems are accommodated to ensure sustainable livelihoods in communities most likely to suffer the impacts of economic and environmental shocks.	Complies with.	The application erf is situated within the urban Edge of George, in an area indicated for residential development in the George Spatial Development Framework, 2023.

Good administration		
Criteria	Compliance	Planning Implication
All spheres of government ensure an integrated approach to land use and land development that is guided by the spatial planning and land use management systems as embodied in this Act.	This is general principle that municipalities need to comply with.	Input was received from all spheres of government when the George Spatial Development Framework, 2023 was drafted. An integrated approach, guided by the spatial planning and land use management systems as embodied in this Act, was thus followed in the preparation of the George Spatial Development Framework. As the development proposal can be deemed to comply with the contents of the George Spatial Development Framework, 2023, it can be stated that the proposal complies with this specific criterion.

<p>All government departments must provide their sector inputs and comply with any other prescribed requirements during the preparation or amendment of spatial development frameworks.</p>	<p>This is general principle that municipalities need to comply with.</p>	<p>Input was received from all government departments and sectors when the George Spatial Development Framework, 2023, was drafted. An integrated approach, guided by the spatial planning and land use management systems as embodied in this Act, was thus followed in the preparation of the George Spatial Development Framework. As it can be deemed that the development proposal complies with the contents of the George Spatial Development Framework, 2023 it can be stated that the proposal complies with this specific criterion.</p>
<p>The requirements of any law relating to land development and land use are met timeously.</p>	<p>This is general principle that municipalities need to comply with.</p>	<p>The George Municipality has adopted the George Municipality: By-law on Land Use Planning, 2023 which prescribes procedures and timeframes which developers must adhere to when submitting land use applications and which officials needs to take into consideration when considering applications. This application has been prepared in keeping with the requirements as per the George Municipality: By-law on Land Use Planning, 2023 and the application will from date of submission be dealt with and be considered within the timeframes prescribed in the by-law.</p>
<p>The preparation and amendment of spatial plans, policies, land use schemes as well as procedures for development applications, include transparent processes of public participation that afford all parties the opportunity to provide inputs on matters affecting them.</p>	<p>This is general principle that municipalities need to comply with.</p>	<p>This application will be advertised in accordance with the stipulations as contained in the George Municipality: By-law on Land Use Planning, 2023. All parties will be given the opportunity to participate in the public participation process and will be afforded the opportunity to provide input on the application.</p>
<p>Policies, legislation and procedures must be clearly set in order to inform and empower members of the public.</p>	<p>This is general principle that municipalities need to comply with.</p>	<p>The George Municipality: By-law on Land Use Planning, 2023 contains clear procedures set in order to inform and empower members of the public.</p>

		This application will be subjected to these procedures.
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As can be seen from the table above, it can be argued that the proposal can be regarded as being compatible with the 5 development principles of SPLUMA.

5.5.3 “Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)”

In terms of the above Act, it is expected of a municipality to consider the compatibility of any development proposal with existing provincial and municipal spatial development frameworks and as well as more detail local spatial frameworks.

Section 19(1) and 19(2) of the Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA) which is relevant to this application reads as follows:

- 19(1) If a spatial development framework or structure plan specifically provides for the utilization or development of land as proposed in a land use application or a land development application, the proposed utilization or development is regarded as **complying** with that spatial development framework or structure plan.*
- 19(2) If a spatial development framework or structure plan does not specifically provide for the utilization or development of land as proposed in a land use application or a land development application, but the proposed utilization does not conflict with the purpose of the relevant designation in the spatial development framework or structure plan, the utilization or development is regarded as being **consistent** with that spatial development framework or structure plan.”*

The compatibility of the development proposal with existing spatial development frameworks is addressed in points 5.5.4 and 5.5.6 of this report.

The development principles referred to in Section 59 of LUPA, which should also be considered when motivating an application, are directly in line with the principles of SPLUMA which have been discussed in detail in section 5.5.2 above. The comments in paragraph 5.5.2 are thus also relevant as far as Section 59 of LUPA is concerned.

5.5.4 Western Cape Provincial Spatial Development Framework (WC PSDF)

5.5.4.1 Introduction

The Western Cape Provincial Spatial Development Framework (WC PSDF) is one of the most important planning guidelines in the province. The framework not only provides for a new spatial development pattern for the province but also clearly indicates where development may take place and where it may not take place. The provisions of the development framework must therefore be considered with any development proposal.

In terms of the framework, a number of principles are mentioned, namely spatial justice, spatial sustainability, spatial resilience, spatial efficiency, accessibility and quality of life and good administration that spatial planning must comply with. The impact of the application on spatial justice, spatial sustainability, spatial resilience, spatial efficiency, has already been fully discussed in Section 5.5.2 above and it has been shown that the proposed development complies with the relevant mentioned principles.

Several policy statements are also highlighted in terms of the WC PSDF which must specifically correlate with the mentioned principles. Some of the policy statements that are relevant to this town planning application will be addressed in the following points.

5.5.4.2 Protection of agricultural land

In terms of the WC PSDF, it is indicated that agricultural land must be protected. Erf 15181 George is zoned Single Residential Zone I and is not used for agricultural purposes. This objective of the WC PSDF is therefore not relevant to this application.

5.5.4.3 Urban Edge

The WC PSDF provides for a guideline which determines that towns should identify an urban edge and that development should be limited to areas inside the urban edge. The George Municipality identified an urban edge, and the application erf falls within the identified urban edge.

As such, the proposed development will not result in "urban sprawl". The proposal therefore meets the requirement of this guideline set out in the WC PSDF.

5.5.4.4 Densification

According to the framework, it is recommended that towns should densify to an average density of 25 units per hectare with development densities of 3 to 6 units per hectare on the edge of a town and densities of between 40 to 60 units per hectare in the core of the urban area.

In the framework, it is highlighted that this density was decided upon as a result of studies which indicated that *"this is the minimum density at which urban settlements begin to significantly improve their urban performance"*.

It is indicated that the mentioned density has the following advantages:

- *The ability to walk to a number of different destinations on foot;*
- *Improve surveillance and security;*
- *Employment and retail opportunities within easy distance;*
- *Vibrant and active streetscape.*

In this regard it is also indicated that *"the figure of an average gross density of 25 du/ha should be seen as a hurdle below which urban settlements will not perform adequately, and above which a number of positive opportunities begin to be achievable."*

Various means to attain densification are mentioned, such as **subdivision**, additional dwelling units and sectional title developments, redeveloping properties, high density residential areas, blocks of flats and infill development in existing areas.

Subdivision of an existing Single Residential Zone I erf, is proposed in this application. The subdivision could result in a density of approximately 24 dwelling units per hectare being attained on the application erf, which is in line with the average density set in the Western Cape Provincial Spatial Development Framework. The proposal, therefore, meets the broader requirement for densification as set out in this guideline in the WC PSDF.

The framework does not go to the detail level of individual erven and therefore does not contain further information, other than the abovementioned compliance with the urban edge and densification, which could be used to determine whether this application falls within the stipulations of the framework.

5.5.4.5 Summary

From the content of point 5.5.4 it seems clear that the application can indeed be considered compatible with the WC PSDF.

5.5.5 George Spatial Development Framework, 2023 (GSDF)

Erf 15181 George is located within the study area of the George Spatial Development Framework, 2023 (GSDF) and the framework therefore applies to this application. Map 37: “*Composite Spatial Development Framework for the George City Area*” indicates that the area where the application erf is situated is located within the Urban Edge.

The George Spatial Development Framework, 2023 (GSDF) does not go to the detail level of individual erven. Except for the mentioned indication that the application erf falls within the Urban Edge of George and that urban sprawl must be contained (Policy C2.1 in the Growth Management table on page 121), the GSDF contains no specific future development proposals for this area which could be used to evaluate the compatibility of a land use application with the Spatial Development Framework.

The application erf is not situated within the area of a Local Spatial Development Framework.

5.5.6 George Integrated Zoning Scheme By-Law, 2023

Erf 15181 George is zoned Single Residential Zone I in terms of the George Integrated Zoning Scheme By-Law, 2023.

In terms of this zoning, the erf currently may be used for the purposes of one dwelling house and a second dwelling of not larger than 175m². A second dwelling unit of approximately 106m² has been developed on the erf. A wendy house with a floor area of approximately 12m² has been developed adjacent to the second dwelling. The owner intends subdividing the application erf into 2 Single Residential Zone I erven. The proposed subdivision will not result in a change of land use, or a new building being erected. The two existing dwelling units will remain intact, with a dwelling house situated on each of the 2 newly created erven. The only change will be in ownership, as the owner will be able to alienate each of the two erven separately by means of full title.

Although the By-Law does not contain any stipulations with regards to the subdivision of residential erven, the “*Land use description*” in respect of a “*second dwelling*” in the George Integrated Zoning Scheme By-Law, 2023, reads as follows:

“second dwelling” means another dwelling unit which may, in terms of this By-law, be erected on a land unit where a dwelling unit is also permitted; and such second dwelling unit may be a separate structure or attached to an outbuilding or may be contained in the same structure as the dwelling house; provided that –

- (a) *The second dwelling must remain on the same land unit as the dwelling house and not be alienated separately.”*

Referring to the “*Development parameters*” applicable to second dwellings, it is, inter alia, stated:

“(e) The existence of a second dwelling may not in itself be sufficient reason for the Municipality to grant an application in terms of planning law to subdivide the land unit containing the dwelling units.”

Notwithstanding the above stipulations, the following aspects must be taken into regard with reference to the proposed subdivision of the application erf:

- The initial dwelling house on the application erf had been erected on the western portion of the erf, creating a developable erf portion on the eastern side thereof.

- Ample space was thus available on the eastern section of the erf for the development of a second dwelling which was eventually approved in 2021. Copies of the building plans for this second dwelling are attached hereto as **Annexure “C”**.
- Due to the dimensions of the erf, combined with the existing positions of the two dwellings, the erf can be subdivided without having to provide panhandle access, which would have reduced the developable area of the proposed subdivided portions.
- As is clear from the building plan attached hereto as **Annexure “C”**, the dimensions of the 2 proposed portions are such that it can comfortably accommodate the existing two dwellings which fits in with the character of the surrounding area.
- There is sufficient space available on both proposed portions for practical open outdoor living areas as well as for vehicular maneuvering space and on-site parking on the street side of the proposed portions.

The subdivision of the application erf as proposed in this application is, therefore, not comparable with the subdivision of, for instance, a second dwelling which is attached to the main dwelling house, which requires an irregularly shaped “forced” subdivision boundary between the 2 dwelling units.

The application erf is also ideally situated to be subdivided, for the following reasons:

- The application erf is situated in close proximity to a public open space to the south in Tolbos Street, as well as right across a higher density simplex development located directly to the south of Kiaat Street.
- There are no other developed residential erven in the vicinity of the application erf where the existing development is suitably located on the erf to be subdivided in a similar manner than the application erf. The subdivision as proposed in this application cannot, therefore, set an unacceptable precedent.

In terms of Schedule 2 of the mentioned By-Law, the following development parameters will be applicable, as both subdivided portions will be greater than 250m², but not exceeding 500m²:

Development Parameter	GIZS	Proposed Portion A	Proposed Remainder	Compliance
-----------------------	------	--------------------	--------------------	------------

Coverage	200m ² or 65%	±30%	43.0%	Complies with
Street building line	3.0m	3.0m plus	3.0m plus	Complies with
Lateral building line	0m on 1 side 1.5m other sides	Western side: 4.75m Northern side: 2.0m plus	Eastern side: 1.10m to 1.2m Western side: 1.0m	Complies with Relaxations applied for
Rear building line	1.5m	N/a	1.5m plus	Complies with
Parking	2 bays	2 open parking bays	2 covered parking bays	Complies with
Height	6.5m wall plate 8.5m ridge of roof	N/a	N/a	Complies with

5.5.7 Title Deed

Although the title deed of a property is not a planning document, it sometimes still contains conditions which may have an essential impact on the development potential of a property.

The title deed of Erf 15181 George was scrutinised, and it was found that it contains no conditions prohibiting the subdivision as proposed.

5.5.8 Existing Council Policy

There are existing Council Policies which are indicative of minimum erf sizes in respect of the various suburbs in George. The application erf is situated in Denneoord, where the proposed minimum erf size is 600m² per erf. The proposed Remainder will be ±500m² and the extent of the proposed Portion A will be ±368m². In terms of this Policy an area of 600m² is mentioned as the minimum erf size to accommodate a dwelling house and a second dwelling unit in various suburbs which are comparable with Denneoord. It seems, therefore, that the subdivision as proposed in this application could result in only 1 dwelling unit being developed on each of the

proposed portions. Both subdivided portions will, therefore, be able to accommodate only the 1 existing dwelling unit each.

Although the extent of both the proposed subdivided portions are slightly smaller than the minimum size for the area, it should be taken into consideration that the proposed subdivision will not result in a change of the land use, or a new building being erected. The two existing dwelling units will remain intact, with a dwelling house situated on each of the two newly created erven. The only change will be in ownership, as the owner will be able to alienate each of the two erven separately by means of full title. The subdivision as proposed in this application will, therefore, be compatible with the Council Policy regarding minimum erf sizes in Denneoord.

5.5.9 Conclusion

From the above information it is clear that the application for subdivision complies with the mentioned Planning Policies and Planning Guidelines and can be considered desirable.

5.6 Compatibility of the proposal with the character of the area

The application erf is situated in Denneoord, in an area characterized by single residential development of varying sizes. It is proposed to subdivide the application erf into 2 Single Residential erven of 500m² and 368m² each, which could be alienated separately. The proposed subdivision will thus create further diversification as far as erf sizes in the area are concerned.

Both the proposed erven will be smaller than 600m², which is the minimum erf size to accommodate a dwelling house and a second dwelling unit, as per the Council Policy regarding minimum erf sizes in George South. The proposed subdivision will, therefore, result in only 1 dwelling unit being developed on each of the subdivided portions of the application erf, which is equal to the current number of dwelling units on the application erf.

The proposed subdivision will result in separate ownership for each subdivided portion, with a smaller garden area, which will be more affordable to develop and maintain, which could be beneficial to the property values in the area concerned.

A group housing development is located directly across the erf to the south of Kiaat Avenue. The erf sizes in the group housing development ranges from $\pm 345\text{m}^2$ to $\pm 470\text{m}^2$. The proposed subdivision can be regarded to be comparable with this group housing development.

It is, therefore, evident that the subdivision as proposed in this application will be compatible with the existing, as well as the future character of the surrounding area.

5.7 Compatibility of the proposal with the natural environment of the property

The application erf is situated within the Urban Edge of George. As the application erf has already been “divided” along the proposed subdivision boundary, no vegetation will have to be removed to accommodate the proposed subdivision. The vegetation on the proposed subdivided portions consists of neatly kept lawn, with a few shrubs.

The proposed subdivision will thus not have a negative impact on the natural environment.

5.8 Potential of the property

Erf 15181 George is zoned Single Residential Zone I in terms of the George Integrated Zoning Scheme By-Law, 2023. In terms of this zoning, the erf may be used for the purposes of a dwelling house and a second dwelling unit of not larger than 175m^2 . The minimum erf size required for the development of a dwelling house and a second dwelling unit in Denneoord is 600m^2 . The application erf has already been developed with a dwelling unit of $\pm 215\text{m}^2$ and a second dwelling unit of $\pm 106\text{m}^2$ in extent.

The proposed subdivision will result in the application erf being subdivided into two separate title single residential erven, both erven being smaller than 600m^2 . The proposal, therefore, has the potential of only two dwelling units being developed, which is the same as the present number of dwelling units developed on the application erf.

The subdivision, as proposed in this application, will therefore not result in increasing the development potential of the application erf, it will only result in a change of ownership of the subdivided portion, without having a negative impact on the surrounding development.

5.9 Access to the property

The application erf is situated on the northwestern corner of Tolbos Street and Kiaat Avenue. The erf is easily accessible from the George CBD via Wellington Street and St Paul Road. As indicated on the proposed subdivision plan, attached hereto as **Annexure "A"** the existing vehicular access point from Kiaat Avenue to the dwelling house on the proposed Remainder will be retained whilst the access point to Portion A from Tolbos Street will also be retained. The access point to Portion A will comply with section 45(2) of the George Integrated Zoning Scheme By-law, 2023 which stipulates that the entrance may not be closer than 10metres from an intersection as defined by the prolongation of the street boundaries.

There is good visibility in both directions into Kiaat Avenue and Tolbos Street from the two current access points.

Access to the properties will therefore not be negatively impacted upon by the subdivision as proposed in this application.

5.10 Provision of parking

The parking requirements applicable to different land uses are set out in table format in Section 42 of the George Integrated Zoning Scheme, 2023. In respect of dwelling houses on erven larger than 350m², provision must be made for a minimum of 2 on-site parking bays per dwelling house.

The existing dwelling house on the Remainder has a single garage and a carport attached to it and thus complies with the mentioned parking requirements. Two open parking spaces are provided in Portion A with access to the two parking spaces from Tolbos Street. The provision of on-site parking will therefore not be negatively impacted upon by the subdivision as proposed in this application.

5.11 Provision of services

Existing municipal services are available to the application erf. Should any upgrade, extension or relocation of services be required as a result of this application, this will be at the cost of the developer and to the satisfaction of the municipality. The proposal will thus not result in infrastructure costs to any external parties. The proposal will thus not place any burden on municipal budget for the provision services infrastructure.

The proposed subdivision of the application erf will, therefore, not have a negative impact on the provision of services to the surrounding area. The proposal will result in more effective utilisation of existing municipal services, which is one of the objectives of the Western Cape Provincial Spatial Development Framework.

6. DESIRABILITY OF THE APPLICATION FOR PERMANENT DEPARTURE IN RESPECT OF ERF 15181 GEORGE

6.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as permanent departures in respect of relaxation of building lines.

This application for relaxation of the western lateral building line on the Remainder as mentioned in point 1 above will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*

- *The impact that the proposal will have on the existing character of the surrounding area and the rights of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

6.2 Existing planning in the area

The application erf is situated on the northern side of Kiaat Avenue, a local street, in Denneoord. The erf is situated in close proximity to a public open space, containing a grassed play area and a medium density group housing complex to the south of Kiaat Avenue. The remaining area surrounding Erf 15181 George has a predominantly single residential land use character, with dwelling houses and outbuildings, situated in neatly kept gardens. The group houses and dwelling houses and outbuildings on the surrounding erven are all situated at varying distances from the lateral, rear and street boundary building lines.

The following aerial photo indicates the locality of Erf 15181 George, as well as the buildings situated on the erf, in relation to the immediate surrounding residential area.



From the above photo it is clear that the building line relaxation applied for along the western lateral boundary of Erf 15181 George forms part of the general appearance of the area and will have no changing impact on the character of the surrounding area.

6.3 Impact on schools, open spaces and other community facilities

This application entails a departure on Erf 15181 George to legalize the position of the existing dwelling house on the Remainder in relation to the Remainder's western lateral boundary line.

The proposed departure will not result in an increase in the number of inhabitants of either the existing two dwelling units beyond that which is accommodated in the proposed zoning of the property. Due to the proximity of the application erf to public transportation, public transportation is available for commuting to schools, open spaces and other community facilities. As such, the permanent departure as applied for will not have an impact on schools, open spaces and other community facilities in the area. This aspect is, therefore, not relevant to this application.

6.4 Impact on sunlight, view and privacy

As the existing dwelling house on the Remainder has been in existence since at least 1991, it is easy to establish whether the departure will have any impact on sunlight, view or privacy of any adjacent erf.

The only erf that can be affected by the departure is the erf located directly to the west of Remainder namely Erf 4749 George. From the aerial photo in point 6.2 above it is clear that the eastern portion of Erf 4749 George is overgrown with dense vegetation with the dwelling house located on the western portion of Erf 4749 George.

An inspection of the erf will reveal that the vegetation is of such a nature that there is no way how the building line relaxation can affect the sunlight, privacy or view of the dwelling house on Erf 4749 George.

No other erf is affected by the building line relaxation.

6.5 Impact on streetscape

The photos in point 5.9 of this motivation report indicate the Kiaat Avenue elevation of the application erf.

As the dwelling house on the Remainder already exists, it is easy to establish that the departure as proposed in this application will have no impact on the streetscape of the application erf.

6.6 Impact on property values

As indicated in the previous points, the portion of the dwelling house in respect of which the permanent departure is required, will not have a negative impact on any of the surrounding properties. The architectural design is sound and the finishes of a good quality. The proposal will only result in both the portions being alienated by means of full title. This could have a positive impact on the surrounding area, as the maintenance cost of the smaller properties will be reduced and therefore, be more affordable, compared to one large property containing two dwelling units.

The value of surrounding properties can, therefore, not be negatively impacted upon by the permanent departure as proposed in this application.

6.7 Impact on provision of parking

The parking requirements and the provision of parking are discussed in point 5.10 of this motivation report.

As indicated in point 5.10 two on-site parking bays are provided on the street side of both the proposed subdivided portions. The number of parking bays provided conforms with the parking requirement.

The departures as proposed in this application have no impact on the provision of parking on the application erf and does not result in the required number of parking bays not being provided.

The provision of on-site parking will, therefore, not be negatively impacted upon by the departures as proposed in this application.

6.8 Impact on traffic circulation

Both portions are enclosed from Kiaat Avenue and Tolbos Street by means of a security fence, consisting of brick columns with wooden paneling with a separate steel sliding gate for each dwelling unit. As the proposed departure is situated well away from the street boundary of the Remainder and behind an approved security fence, the permanent departure as applied for in this application can have no negative impact on the sight distance in Kiaat Avenue.

6.9 Provision of services

Municipal services are available to the application erf. The application erf has already been developed with two dwelling units, which have been connected to municipal services. The proposed permanent departure as applied for in this application will not result in a change of land use or a new building being erected. The existing buildings will remain intact. Should any upgrade, extension or relocation of the existing municipal infrastructure be required as a result of this application for permanent departure, all costs as a result of such extension will be for the account of the applicant, subject to the conditions of the municipality.

6.10 Fire fighting

The fire-fighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

7. CONCLUSION

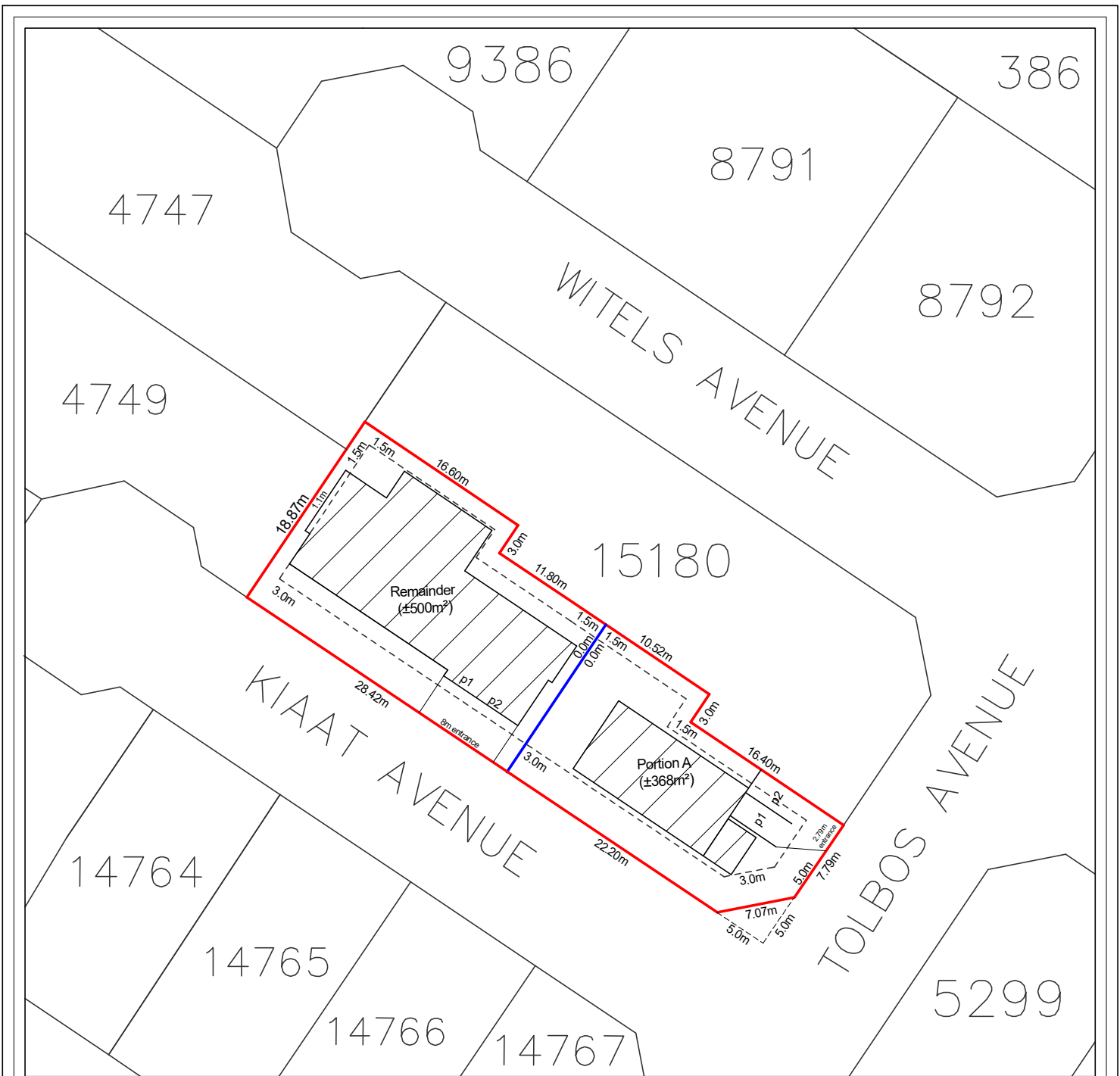
Application is made in terms of Section 15(2)(d) of the Land Use Planning By-Law for the George Municipality, 2023 for the subdivision of Erf 15181 George into two portions. Application is also made in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for the relaxation of the western lateral building line on the Remainder to allow for the legalization of the existing dwelling house on the Remainder.

As indicated in this report the proposed applications for subdivision and permanent departure are compatible with all existing planning documents, spatial plans, legislation and policy documents applicable to the application.

The proposal will not have a negative impact on the environment, development, public facilities, traffic circulation or Municipal services in the surrounding area.

The application can therefore be considered desirable and is submitted for consideration in terms of the relevant stipulations of the Land Use Planning By-Law for the George Municipality, 2023.

ANNEXURE "A" - PROPOSED SUBDIVISION PLAN



PROJEK
Application for subdivision

BESKRYWING
Erf 15181 George

TITEL
Subdivision plan

NOTAS & BESKRYWINGS

Application
Application is made in terms of Section 15 (2)(d) of the Land Use Planning By-law for George Municipality, 2023 for the subdivision of Erf 15181 George (outlined in red) into a Portion A (±368m²) and a Remainder (±500m²).

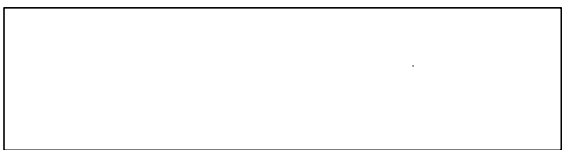
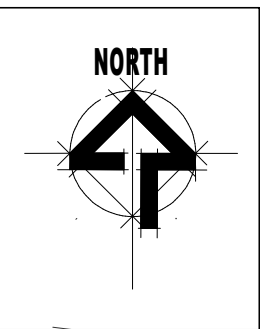
Proposed zoning and land use
Portion A – Single Residential Zone I (Dwelling house)
Remainder – Single Residential Zone I (Dwelling house)

SCALE: **NTS** SMAAL

PLANNED BEPLAN	PLAN No: 15181/1
DRAWN GETEKEN	REV No: Erf 15181 George
DATE DATUM	NAME NAAM: Subdivision plan

ALL MEASUREMENTS APPROXIMATE
ALLE AFMETINGS BY BENADERING

KOPIEREG VOORBEHOU / COPY RIGHT RESERVED



JAN VROLIJK **JV** TOWN PLANNER • STADSBEPLANNER

ANNEXURE "B" – APPLICATION FORM



Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

NOTE: Please complete this form by using: Font: Calibri; Size: 11					
PART A: APPLICANT DETAILS					
First name(s)	Johannes George				
Surname	Vrolijk				
SACPLAN Reg No. (if applicable)	A/1386/2010				
Company name (if applicable)	Jan Vrolijk Town Planner / Stadsbeplanner				
Postal Address	P O Box 710				
	George	Postal Code	6530		
Email	janvrolijk@jvtownplanner.co.za				
Tel	044 873 3011	Fax	086 510 4383	Cell	082 464 7871
PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)					
Registered owner	Friedel Louise Botha				
Address	1 Kiaat Avenue				
	George	Postal code	6529		
E-mail	friedel@joncklaw.co.za				
Tel	N/a	Fax	N/a	Cell	062 937 5364
PART C: PROPERTY DETAILS (in accordance with Title Deed)					
Property Description [Erf / Erven / Portion(s) and	Erf 15181 George				

Farm number(s), allotment area.]						
Physical Address	1 Kiaat Avenue, Denneoord, George					
GPS Coordinates				Town/City	George	
Current Zoning	Single Residential Zone I	Extent	868m²	Are there existing buildings?	Y	N
Current Land Use	Dwelling house and second dwelling					
Title Deed number & date	T60359/2016					
Any restrictive conditions prohibiting application?	Y	N	If Yes, list condition number(s).			
Are the restrictive conditions in favour of a third party(ies)?	Y	N	If Yes, list the party(ies).			
Is the property encumbered by a bond?	Y	N	If Yes, list Bondholder(s)?	NEDBANK		
Has the Municipality already decided on the application(s)?	Y	N	If yes, list reference number(s)?			
Any existing unauthorized buildings and/or land use on the subject property(ies)?	Y	N	If yes, is this application to legalize the building / land use?	Y	N	
Are there any pending court case / order relating to the subject property(ies)?	Y	N	Are there any land claim(s) registered on the subject property(ies)?	Y	N	

PART D: PRE-APPLICATION CONSULTATION

Has there been any pre-application consultation?	Y	N	If Yes, please complete the information below and attach the minutes.			
Official's name	Robert Janse van Rensburg and Jeanne Muller	Reference number	2960097	Date of consultation	12 December 2023	

PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE

***Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.**

BANKING DETAILS

Name: **George Municipality**
 Bank: **First National Bank (FNB)**
 Branch no.: **210554**
 Account no.: **62869623150**
 Type: **Public Sector Cheque Account**
 Swift Code: **FIRNZAJJ**
 VAT Registration Nr: **4630193664**
 E-MAIL: **msbrits@george.gov.za**
 *Payment reference: Erven ____, George/Wilderness/Hoekwil...

PART F: DETAILS OF PROPOSAL

Brief description of proposed development / intent of application:

- **An application in terms of Section 15(2)(d) of the Land Use Planning By-Law for the George Municipality, 2023 for the subdivision of Erf 15181 George into a Portion A (±368m²) and a Remainder (±500m²).**
- **An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for the relaxation of the western lateral building line on the Remainder from 1.5 metres to 1.10 metres to legalize the existing dwelling house.**

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	N	Completed application form	Y	N	Pre-application Checklist (where applicable)
Y	N	Power of Attorney / Owner's consent if applicant is not owner	Y	N	Bondholder's consent
Y	N	Motivation report / letter	Y	N	Proof of payment of fees
Y	N	Full copy of the Title Deed	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Locality Plan	Y	N	Site layout plan

Minimum and additional requirements:

Y	N	N/A	Conveyancer's Certificate	Y	N	N/A	Land Use Plan / Zoning plan
Y	N	N/A	Proposed Subdivision Plan (including street names and numbers)	Y	N	N/A	Phasing Plan
Y	N	N/A	Consolidation Plan	Y	N	N/A	Copy of original approval letter (if applicable)

Y	N	N/A	Site Development Plan	Y	N	N/A	Landscaping / Tree Plan
Y	N	N/A	Abutting owner's consent	Y	N	N/A	Home Owners' Association consent
Y	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	N/A	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes	Y	N	N/A	Required number of documentation copies
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes	Y	N	N/A	Other (specify)

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	N/A	National Heritage Resources Act, 1999 (Act 25 of 1999)	Y	N/A	Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004), National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008), National Environmental Management: Waste Act, 2008 (Act 59 of 2008), National Water Act, 1998 (Act 36 of 1998) (strikethrough irrelevant)
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)	Y	N/A	Other (specify)
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)	Y	N/A	
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)	Y	N/A	
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations	Y	N/A	
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)	Y	N/A	
Y	N	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc. N/A			
Y	N	If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?			

SECTION I: DECLARATION

I hereby wish to confirm the following:

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. The Municipality has not already decided on the application.
3. I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.
4. I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.
5. I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).
6. That this submission includes all necessary land use planning applications required to enable the development proposed herein.
7. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.
8. I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.
9. I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

Applicant's signature:



Date:

10 June 2024

Full name:

Johannes George Vrolijk

Professional capacity:

Professional Town Planner

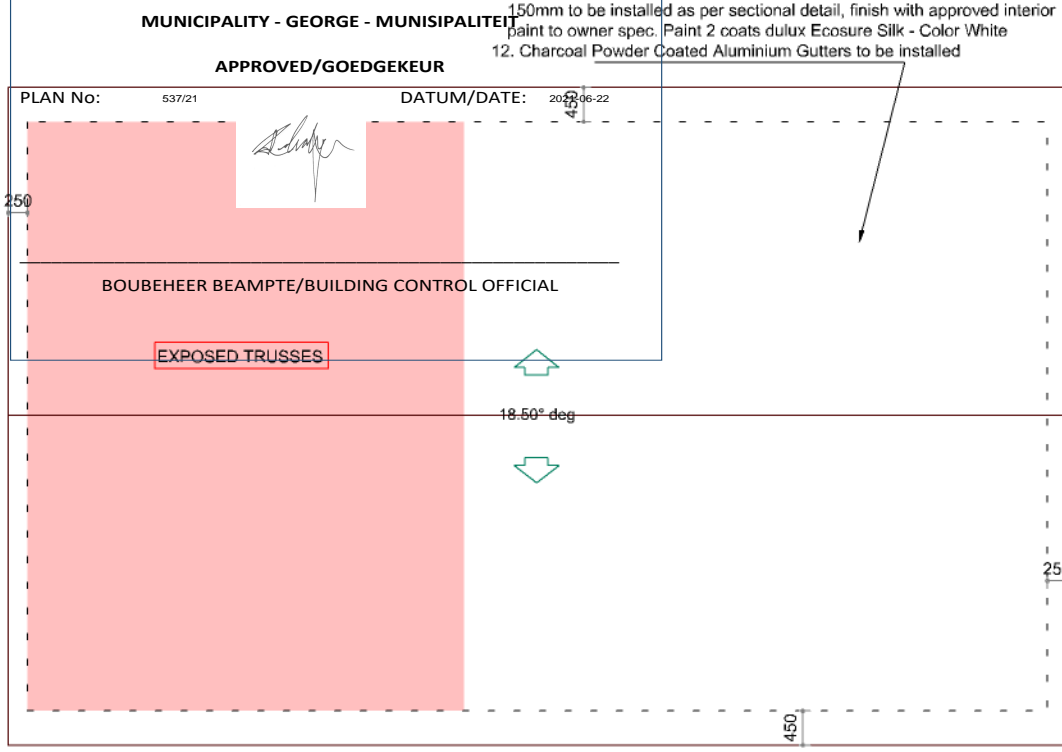
SACPLAN Reg. Nr:

A/1386/2010

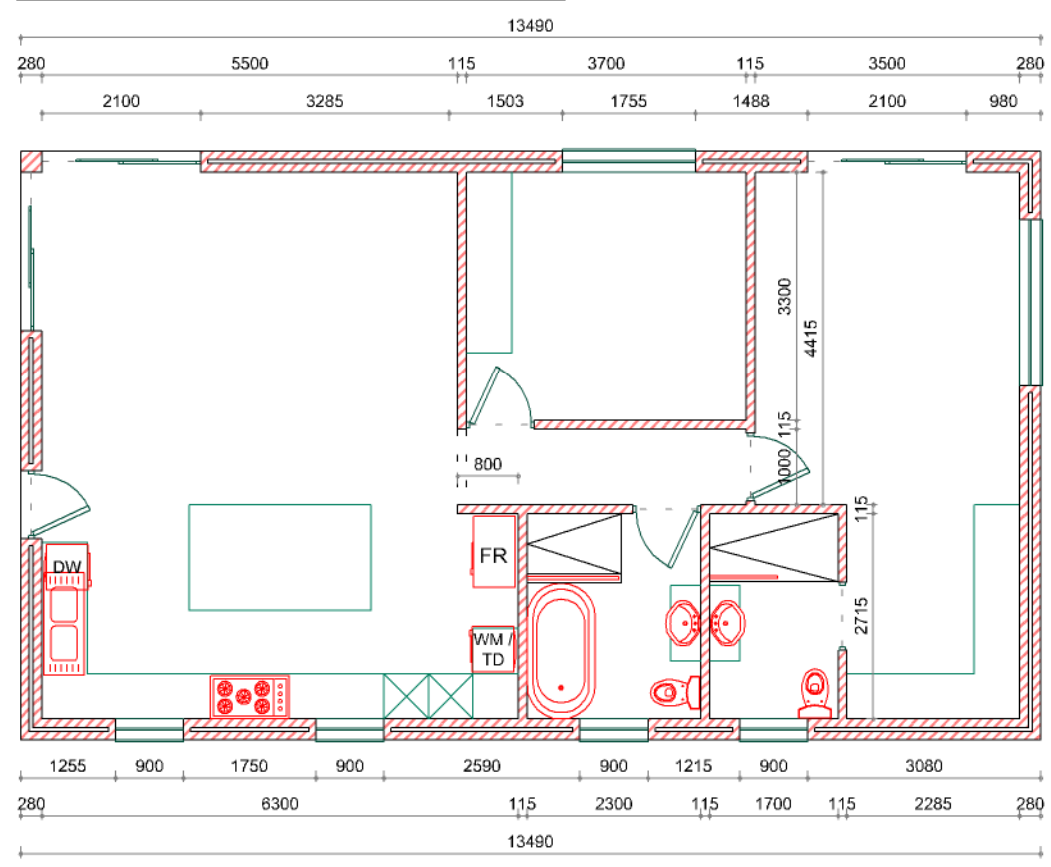
ANNEXURE "C" – APPROVED BUILDING PLAN FOR SECOND DWELLING

Roof Plan SCALE 1:100

- Roof Detail:
- Trusses min 38x114mm rafters & min 38x114mm tie beam, SAP grade 5 timber, spaced at 1200mm max centre to centre as per engineer specification. To comply with SABS1783
 - 50 x 76 Batten spaced to Sheeting
 - Sheet: S-Profile Corrugated Colour bond painted Charcoal sheets, fixed at a pitch of 18.5°
 - Barge flashing to be fixed on gable ends and painted charcoal
 - Anchor screws at truss overhangs & gable ends
 - Fascia boards to be fitted at overhang and painted charcoal
 - 38 x 14mm multiple SAP grade 4 timber, as per NBR min requirements
 - Trusses fixed with 40mm hoop iron bolt into wall 6-8 course
 - Double-sided RaderShield Residential (Coverlaid) must be provided between roof covering and trusses. (1.300m²/m²WV) Nailed to rafters with non-combustible nails
 - Aerolite Think Pink (75mm) membrane above ceiling (1.88m²/m²WV)
 - Min 9mm thick Gyproc ceiling boards (seamless) with min air gap of 50mm to be installed as per sectional detail. Finish with approved interior paint to owner spec. Paint 2 coats duco Ecasure Silk - Color White
 - Charcoal Powder Coated Aluminium Gutters to be installed



Dimension Plan SCALE 1:100



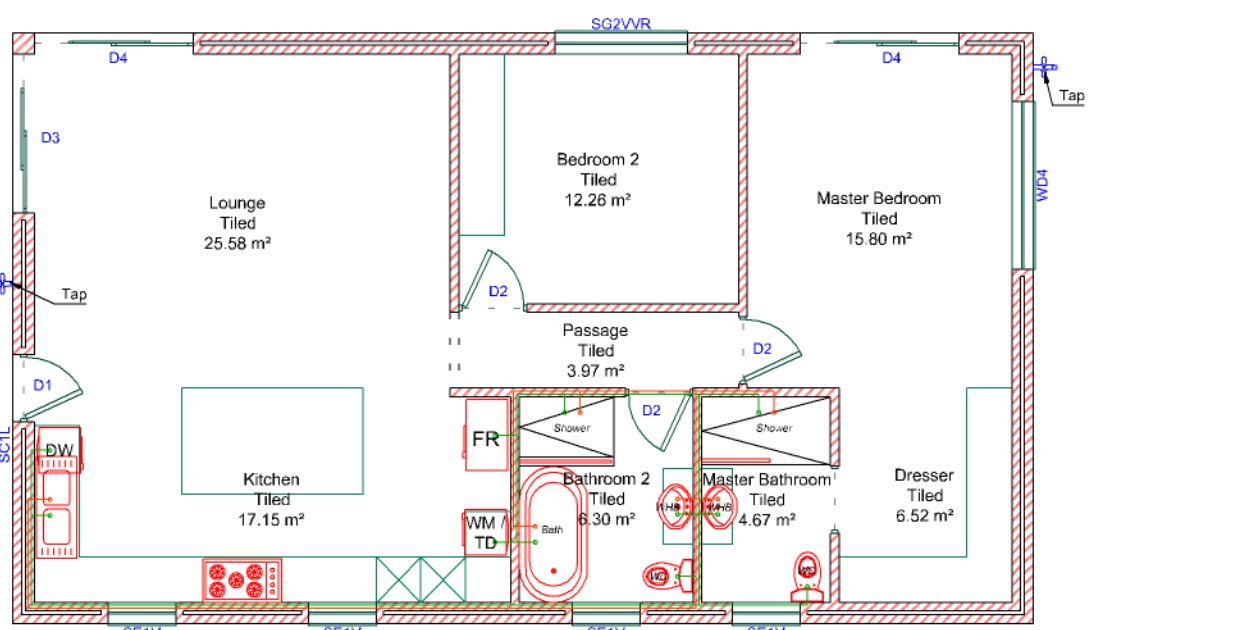
Room	Area (m ²)
Kitchen	17.15m ²
Lounge	25.58m ²
Passage	3.97m ²
Master Bedroom	15.80m ²
Dresser	6.52m ²
Master Bathroom	4.67m ²
Bedroom 2	12.26m ²
Bathroom 2	6.30m ²
Total Area	92.24m²

Information Plan SCALE 1:100

Rational design Data: Roof Assembly Calculations (Table F.3 in SANS 204 default values used)

Type of roof	Corrugated sheeting think pink and plaster ceilings	Climate Zone	Heatflow direction	up
Proposed Roof 5° pitch un-ventilated, with horizontal ceiling, Sheeting	Total achieved resistivity (R-value in m ² K/W)	4	Min R-value that must be achieved as a combination of roof assembly and insulation	3.7
Outdoor air film (7mm)	0.03			
Corrugated Colourbond charcoal grey roof sheeting	0.30			
Roof air space (non-reflective)	0.18			
Double-sided RaderShield Residential (Coverlaid) between roof covering and trusses.	1.36			
Aerolite Think Pink 75mm thick (zone 4)	1.88			
Indoor air film (still air)	0.11			
Total R-Value Achieved:	3.86			

Outcome: R-value of 3.86 > minimum R-value of 3.7 required. Thus roof assembly complies to requirements set by SANS 10400 part XA for roof assemblies.



ELECTRICAL INSTALLATION TO BE DONE IN ACCORDANCE WITH SABS STANDARDS

ELECTRICAL CONTRACTOR TO PROVIDE CABLING AND CONNECTIONS TO PERIMETER LIGHTS AND ILLUMINATED BOOT. ALL SLEEVES TO THE ABOVE TO BE PROVIDED BY ELECTRICAL CONTRACTOR.

ELECTRICAL CONTRACTOR TO PROVIDE ALL SLEEVES FROM DRAW-BOXES TO TERMINATION POINTS IN THE BUILDING.

Important: All Ducts to have a cavity of 300mm x 35mm, for easy accessibility, in which pipes will be concealed. Building complies to SANS 10400 Part XA & SANS 204 requirements on foundations, walls, roofs, fenestration, mechanical ventilation, lighting, energy demand & consumption. Calculated with Fenestration & Energy demand & consumption calculation software and manual calculations. Full test calculation results available for scrutiny on request.

All external Masonry walls must achieve a minimum R-value of 0.35 according to regulations in SANS 10400-XA. These values can be determined by means of a test conducted in accordance with ASTM C 1363, ASTM C 518, or ASTM C 177. Surface film resistance shall be in accordance with SANS 6946. Results are indicated on Dimension Plan.

Important: Conduits must be provided in corners of all Walls for wiring and Home automation act. to specifications from automation supplier, if applicable. NOT INDICATED ON PLAN

Calculated as per SANS 10252-1:2012

COLD WATER DEMAND
(Dwelling House - Low Rental (80 - 115)/capita/day)
Estimated daily demand for total house: (2 rooms x 2 people max)
Cold Water supply:
Washing Dishes - 4L x 2 sinks 2 x per day = 16 L
WC flushing - 20L/person/day x 4 = 120 L
Personal washing & Bathing: 25L/person/day x 4 = 100 L
Laundry: 12L /person/day x 4 = 48 L
Drinking food & preparation: 20L/person/day x 4 = 80 L
TOTAL: = 372L/day required

Calculated as per SANS 10252-1:2012

HOT WATER DEMAND
(Dwelling House - Low Rental (80 - 115)/capita/day)
Storage vol. Required: 100-150L/Unit (2-3)/K/Unit
Storage vol. Supplied for house: 1 x 200L Solar geyser, 3 x Gas Geysers
Estimated daily demand for house - 2 bedrooms = 4 people max:
As determined/prescribed by George town planning scheme
HOT Water supply:
Cooking: (H) 2L /person/day x 4 = 8L
food prep: (H) 4L /person/day x 4 = 16L
Laundry: (H) 7L /person/day x 4 = 28L
Personal washing & bathing: (H) 20L /person/day 20 x 4 = 80L
Washing Dishes: (H) 7L /person/day 7 x 4 = 28L
WC flushing: N/A
Carwash & garden: N/A
TOTAL: = 160L
STORAGE TANK CAPACITY NIA
Capacity Total: 1 x (Gas Geyser)
All hot water pipes must be insulated with thermal insulation with a thermal resistivity of at least 1
CONCLUSION: 50% of Hot water supply = 320L/2 = 160L
Gas Geyser (Comply as per SANS XA2), THUS
THE DESIGN COMPLIES WITH THE MINIMUM REQUIREMENTS OF SANS 10400-XA:2011 AND SANS 10252-1:2012 FOR HOTWATER CALCULATIONS

Regulation XA2 is very clear about the hot water requirement:

"At least 50% (volume fraction) of the annual average hot water heating requirement shall be provided by means other than electrical resistance heating including but not limited to solar heating, heat pumps, heat recovery from other systems or processes and renewable combustible fuel."

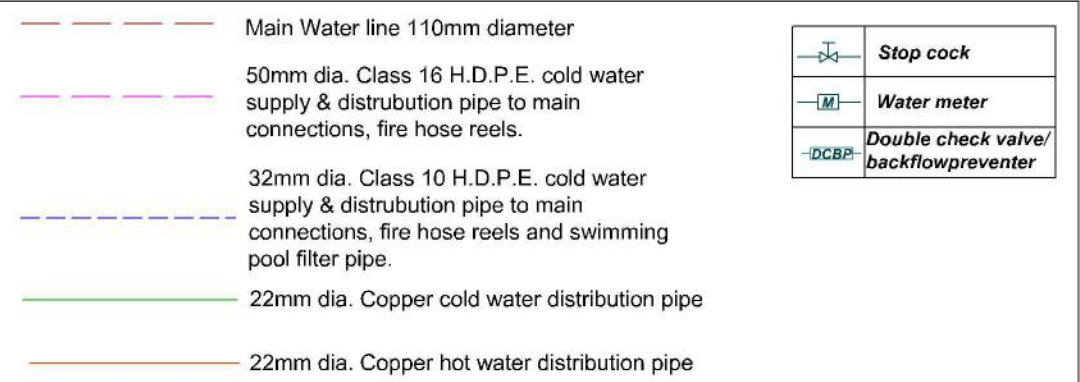
The designer has to prove that, with whatever heating system is used, that at least 50% of the volume of the annual hot water requirement is heated by something else than an electrical element, except from fuel that is from a non-renewable source like gas and coal.

Note:
- All Concrete & Steel Beams to Engineer Spec & Design
- Specifications on drawings are Only Preliminary & Must Be Checked & Approved By an Engineer.
- Curved Balconies & Curved Beams Need to be inspected by the Architectural professional before Building work can continue to the next phase!

Important:
All Ducts to have a cavity of 300mm x 35mm, for easy accessibility, in which pipes will be concealed. Building complies to SANS 10400 Part XA & SANS 204 requirements on foundations, walls, roofs, fenestration, mechanical ventilation, lighting, energy demand & consumption. Calculated with Fenestration & Energy demand & consumption calculation software and manual calculations. Full test calculation results available for scrutiny on request.

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Important:
Conduits must be provided in corners of all Walls for wiring and Home automation act. to specifications from automation supplier, if applicable. NOT INDICATED ON PLAN



- Hot water pipes indicated. Hot water pipes to consist of 22mm dia. copper pipes with soldered joints. Final positions to be determined from final geyser positions. All calculations must be checked if moved, to confirm flow rated and demand & usage as per SANS 10252-1.
- ALL HOT WATER SERVICE PIPES SHALL BE CLAD WITH INSULATION WITH A MINIMUM R-VALUE IN ACCORDANCE WITH TABLE 1 SPECIFIED IN SANS 10400-XA.
- Internal dia. of pipe: less or equal to 80mm R-value of minimum 1.00
Internal dia. of pipe: more than 80mm R-value of minimum 1.50
- Main water supply pipe to be fitted with pressure relief valve.
- Main water supply to consist of class 10 H.D.P.E. water supply pipe suitable for underground installation, installed 750mm below ground level.
- Double check valve backflow preventer water fitting must be installed that incorporates at least two independently acting non-return valves.
Copper or copper alloy pipes shall be jointed
a) with suitable compression fittings (manipulative or non-manipulative),
b) with suitable capillary-soldered fittings,
c) by forming the tube ends into capillary-type soldered joints,
d) by either bronze welding or silver brazing, or
e) as otherwise approved.

The manufacturer's instructions shall be strictly followed when copper pipes are being jointed, particularly with regard to the grade of solder and flux to be used for capillary-soldered fittings.
Copper flanges shall be secured to the flanges of fittings and appliances by means of gunmetal or extruded-brass bolts and nuts, and the joint shall be made watertight with a gasket.

Where any portion of a pipe passes under a building or under a surface slab, and unless otherwise approved, the following shall apply:
a) such portion shall be installed inside a sleeve of internal diameter of at least 15 mm plus the outside nominal diameter of such portion;
b) such portion shall be protected against the transmission of any load to it;
c) such portion shall be laid without any change of direction, and without any junctions; and
d) the trench in which such portion is laid shall in no way impair the stability of any building, or interfere with, or affect, any existing services.

Where any portion of a pipe is concealed in a floor, concrete slab or wall, the following shall apply:
a) adequate measures shall be taken to protect such portion from external pressure or from the transmission of any load to it;
b) should a leak develop in such portion, the installation shall be such that the portion of the pipe can be removed without damage to the building structure; and
c) plastic pipes shall not be rigidly encased in floors, concrete slabs or walls.

Where any portion of a pipe passes through a wall or under a floor, such portion should preferably be installed inside a sleeve of internal diameter of at least 15 mm plus the outside nominal diameter of such portion (see detail elsewhere).

Geysers systems

- Hot water geysers must be equipped with a pressure relief valve water fitting that is pressure-actuated to automatically discharge water when a set pressure limit is exceeded
- All Geysers installed in roofs will be supported by a platform and such platform shall be capable of safely sustaining any loads to which it is likely to be subjected, and support the water heater or storage tank in accordance with the instructions of the manufacturers of such water heaters or storage tanks, and
o shall comply with the requirements in SANS 10400-L.
- Hot water return pipes should be installed so that it conveys hot water in a hot water circuit system, between the last terminal water fitting and the water heater
- Only water heaters or storage tanks of capacity below 200 L shall be attached by means of brackets or hangers to a load-bearing masonry or concrete wall or to any other vertical structural element. Tanks and water heaters 200 L and larger shall not be wall mounted.
- Solar water heater installations for domestic use shall comply with SANS 10106.

Taps, Mixers & components
Metallic water taps and mixers shall comply with the requirements in SANS 226, SANS 1480, SANS 1808-9, SANS 1808-16, SANS 1808-30, SANS 1808-35, SANS 1808-37, or SANS 1808-66, as relevant.

All rubber components that are in contact with potable water, such as joint rings, tap washers and flange packings, shall, in order to control the multiplication of Legionella pneumophila bacteria in water installations, be of a composition that will not promote microbiological growth. Rubber joint rings that comply with the relevant requirements of SANS 4633 and that have the dimensions, composition and hardness that are suitable for the particular application, shall be deemed to be acceptable

WC and sanitary units
NOTE: For water conservation, it is recommended that the dual flush WC units be considered WC toilet pans and wall-hung urinals shall comply with the performance requirements in SANS 497, Low flushing capacity (4.5 L) WC flushing systems (including WC pan and cistern) shall comply with SANS 1733.

Water Storage tanks
Storage tanks shall be
a) watertight and vermin proof,
b) properly covered and ventilated,
c) sized to comply with the requirements of the local authority, and
d) sized to make provision for the usable capacity of a storage tank, which is the volume of water between the upper and lower operating water levels in the tank under normal operating conditions.
NOTE 1 Water for drinking purposes in buildings that exceed three storeys is usually supplied from a storage tank.
NOTE 2 The storage tank fulfils the purpose of attenuation of peaks in the water supply system and also provides an emergency supply during mains failure.

5.4.6.1.2 Storage tanks shall be provided with an adequate drainage system to ensure that the premises are not flooded in the event of leakage or accidental overflow. The capacity of such a drainage system shall be such that it is capable of discharging water at a rate at least equal to the rate of flow of the incoming water supply. The outlet of the drainage pipe shall be so situated that the discharge of water can be readily detected.

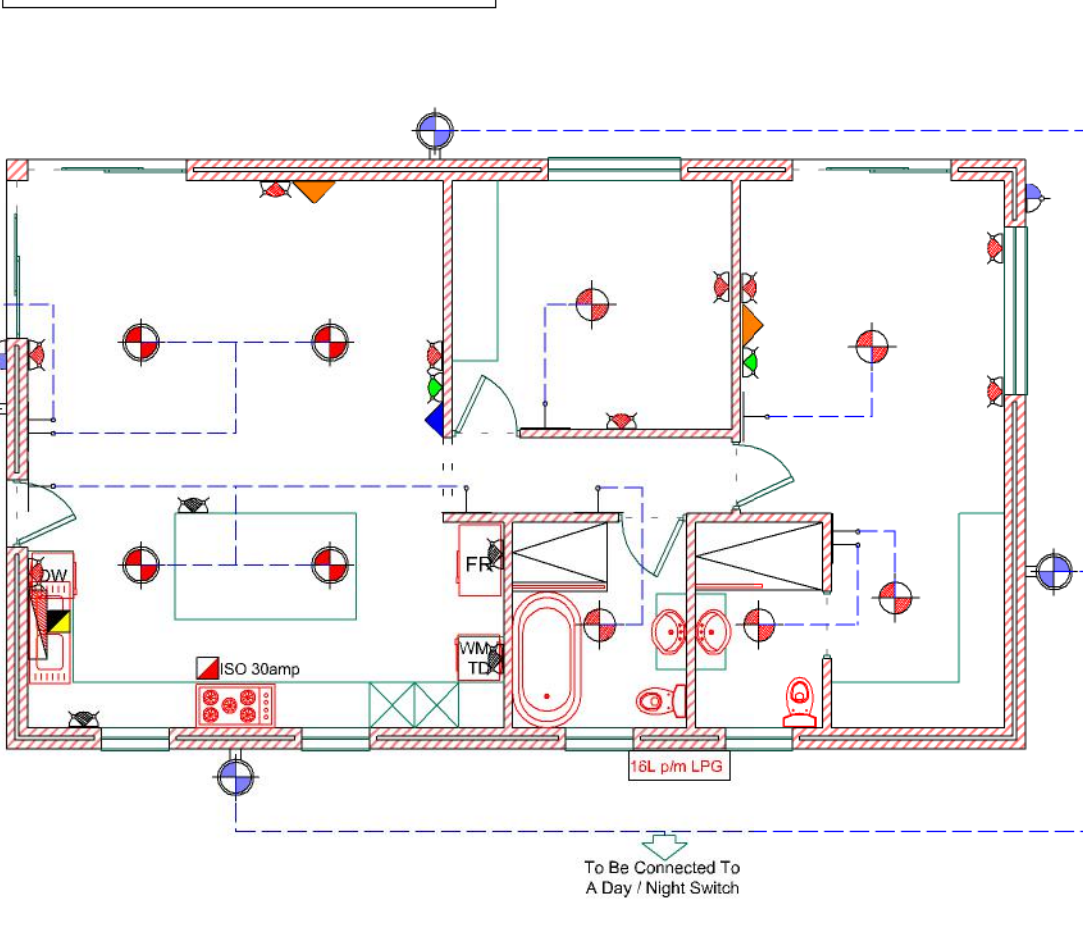
5.4.6.1.3 The inlet pipe to any storage tank shall be provided with a float valve or any other approved level control device.

5.4.6.1.4 Pressurized storage tanks (metallic and non-metallic) shall be assessed for conformity in accordance with SANS 347, and the pressure equipment regulations in terms of the relevant national legislation (see foreword).

ELECTRICAL CHART

Symbol	Item Description	Bulb/Sub Quantity	Item Quantity	Symbol	Item Description	Bulb/Sub Quantity	Item Quantity	Bulb/Item Descriptions	Lmb/bulb
1 Ph DB	SINGLE PHASE DISTRIBUTION BOARD GROUND	1	1		CEILING MOUNTED LIGHTS Recommended C340 Eurolux Light Fittings	1	5	Eurolux LED Golfball BW E27 650W	485Lm/bulb
	Pre-Paid Meter	1	1		WALL MOUNTED DOWNLIGHT Recommended Eurolux W349	1	0	Eurolux LED Golfball BW E27 x 1 650W	485Lm/bulb
	UB-7 Box and Prepaid Meter see detail on electrical plan	1	0		PENDANT LIGHTS INTERIOR Recommended Eurolux P304	2	4	Eurolux LED A65 10W E27 x 2 650W	850Lm/bulb
	1SA DOUBLE PLUG SOCKET @ 1m HIGH	1	4		ADJUSTABLE 3 SPOTLIGHTS	2	0	Eurolux GU10 LED 7W (dimmable) G727CW	500Lm/bulb
	1SA DOUBLE PLUG SOCKET @ 2.3m High	1	2		SINGLE FLUORESCENT LIGHT 1500mm	1	0	25W Philips Master LED Tube Light 1500mm	3100Lm/bulb
	1SA DOUBLE PLUG SOCKET max 300mm High (unless fit used in a rail)	1	9		DOUBLE FLUORESCENT LIGHT	2	0	25W Philips Master LED Tube Light 1500mm	3100Lm/bulb
	1SA DOUBLE (2 POINT) PLUG SOCKET max 300mm High (unless fit used in a rail)	1	0		WATERPROOF WALL LIGHT FITTING Recommended Eurolux C341 (downlights) shing down	1	3	Eurolux GU10 LED 8W (not dimmable) G665CW	350Lm/bulb
	1SA WATERTIGHT PLUG SOCKET	1	2		LAMTERNPENDANT LIGHTS EXTERIOR Recommended Eurolux P34	1	0	Eurolux LED A65 10W B22 650W	850Lm/bulb
	CEILING MOUNTED PLUG (for garage door or projector)	1	0		WALL MOUNTED WATERIGHT EXTERIOR LIGHT EYELET TYPE (LIGHT TO SHINE DOWN) Eurolux Black recessed light code B92 (see site plan)	1	0	Eurolux LED Golfball BW E27	485Lm/bulb
	TELEVISION SOCKET	1	2		DOWNLIGHTERS GU10	1	0	Eurolux GU10 LED 50mm (dimmable) G665CW	350Lm/bulb
	TELEPHONE & ADSL SOCKET	1	0		DOWNLIGHTERS GU10 DIMMABLE	1	0	Eurolux GU10 LED 7W (dimmable) G727CW	500Lm/bulb
	Data Point	1	1		WATERIGHT DOWNLIGHTER GU10	1	0	Eurolux GU10 LED 7W (dimmable) G727CW	500Lm/bulb
	Boach / or similar 16L p/min LPG gas geyser flow rate 16L p/min located in wall	1	1						
	30 amp (STONE & GEYSERS & AIRCONS) Heatpumps 30amp breakers	1	1						
	LIGHT & DIMMER SWITCH	1	5						
	DOUBLE LIGHT & DIMMER SWITCH	1	2						
	TRIPPLE LIGHT SWITCH	1	0						
	4 POINT LIGHT SWITCH	1	0						
	DOORBELL/BUZZER	1	0						
	ELECTRIC EXTRACTOR FAN FOR TOILET VENTILATION (Rubber seals in door openings to prevent air infiltration as set out in SANS 613. Filled with smoke damper)	1	0						

Electrical Plan SCALE 1:100



Door Schedule

DOOR & NO.	QUANTITY : 1	D1	QUANTITY : 3	D2	QUANTITY : 1	D3	QUANTITY : 2	D4
ROOM/LOCATION	Fire Door		All interior doors		Lounge		Lounge + Master Bedroom	
DESCRIPTION	Horizontal paneled solid door 30mm Fire Door Opening 813 x 2032 High		All interior doors Horizontal paneled solid 30mm Fire Door Opening 813 x 2032 High		Aluminium Solid glazed Single Sliding Door with neoprene seals and plugged to brickwork or concrete.		Aluminium Solid glazed Single Sliding Door with neoprene seals and plugged to brickwork or concrete.	
FINISH	Stained & Varnished Rubber seals in door openings to prevent air infiltration as set out in SANS 613 Steel frame single sided		Stained & Varnished Rubber seals in door openings to prevent air infiltration as set out in SANS 613 Steel frame single sided		Natural Aluminium Rubber seals in door openings to prevent air infiltration as set out in SANS 613		Natural Aluminium Rubber seals in door openings to prevent air infiltration as set out in SANS 613	
GLASS	N/A		N/A		Single Tinted Obscured Glass (Low-E, 2.3mm, 4mm) Clear Glass		Single Tinted Obscured Glass (Low-E, 2.3mm, 4mm) Clear Glass	
DOOR GEAR & IRONMONGERY	Some DGRD with square backplates		Some DGRD with square backplates		Some DGRD with square backplates		Some DGRD with square backplates	
Notes	Notes		Notes		Notes		Notes	

Window Schedule

WINDOW & NO.	QUANTITY : 2	SE1V	QUANTITY : 2	SE1V	QUANTITY : 1	SG2VVR	QUANTITY : 1	WD4
ROOM/LOCATION	Kitchen		Bathroom		Bedroom 2		Master Bedroom	
DESCRIPTION	Wooden top hung window frames, size 900 x 900mm high code SE1V with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.		Wooden top hung window frames, size 900 x 900mm high code SE1V with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.		Wooden top hung window frames, size 2216 x 1710mm high code SG2VVR with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.		Wooden top hung window frames, size 2216 x 1710mm high code WD4 with clip-on glazing beads & neoprene seals - plugged to brickwork or concrete.	
GEAR	Standard as per manufacturer Burglar bars Internal		Standard as per manufacturer Burglar bars Internal		Standard as per manufacturer Burglar bars Internal		Standard as per manufacturer Burglar bars Internal	
FINISH	Varnished		Varnished		Varnished		Varnished	
GLASS	Single Tinted Obscured Glass (Low-E, 2.3mm, 4mm) Clear Glass		Single Tinted Obscured Glass (Low-E, 2.3mm, 4mm) Clear Glass		Single Tinted Obscured Glass (Low-E, 2.3mm, 4mm) Clear Glass		Single Tinted Obscured Glass (Low-E, 2.3mm, 4mm) Clear Glass	

BLUEPRINT DRAFTING
PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON

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Design: T K Schoon
Registered at SACAP
South African Council for the Architectural-
Profession Member NR: PAD24750648

SACAP member
Member NR: PAD24750648
Member of the South African Institute of Architectural Technologists
Member NR: 32414

Project Description:
New Second Dwelling on Erf 15181
Bo-Dorp - George
for Mrs Botha

Drawing Nr: H20 - 33
FTL - 02 - 03
11/04/2021

Drawing :
Dimension, Information, Electrical & Roof Plan
and Window / Door Schedule

- NOTES:
- All information on the plan must be checked and any discrepancies must be brought to the arch professional's attention, before any building work commences.
 - All levels and dimensions must be checked on site.
 - Drawings must not be scaled.
 - All work and quality of materials must comply with NBR, and SABS standards, and all other appropriate authorities.
 - Quality of workmanship must conform to SABS users code for grade 1 building work.
 - Foundation excavations as well as the full surface area below all decks must be treated with SABS approved poison with a 10 year guarantee and must be applied as indicated according to SABS 0124.
 - Concrete Foundation, surface bed and paving must comply with SABS 0100 & 0161 as well as engineer plans and specifications concrete cube tests to determine strength of concrete must be provided for approval by architect. (min strength: 27mpa after 28 days)
 - Where any surface differences in strip foundation occur, the highest section must be extended over the lowest for a distance as thick as the foundation.
 - Foundation excavation for outside brick walls must not be less than 400mm under the surface of the adjoining finished ground level.
 - Filling under surface beds and concrete paving must be of an acceptable material and must be compacted up to min 90% MOD A.A.H.T.O. in layers not exceeding 150mm. Filling must be treated with termite poison as indicated above. Compaction tests must be provided by contractor.
 - Unfinished ground floor level must be at least 170mm above finished ground level.
 - 375 Micron D.P.C. must be provided in all walls as indicated.
 - Correct width brickwork must be provided in each third course in all brick walls, except where shown otherwise.
 - All brick work in stretcher bond, except where shown otherwise.
 - All drain pipe excavations must be treated with termite poison for 1500mm from any building according to SABS 0124.
 - All glazing must be according to SABS and NBR requirements. To comply to requirements of SANS 10400 part XA and/or SANS 204 requirements.
 - All drain pipe works and materials must be according to NBR requirements.
 - Electrical installations must be strictly according to appropriate regulations, and installed by registered professional.
 - All sheet metal must be free from any white rust.
 - All timber roof trusses must be treated with termite resistant substance or similar approved.
 - Wall ties shall be installed in any cavity wall in an evenly distributed pattern at a rate of not less than 3 ties per m² of face area where the cavity is more than 75mm in width.
 - All finishes to be applied to manufacturers specifications.
 - Product specific referencing in plans have priority. Any changes thereto must be discussed with arch professional, before applying changes. By accepting these plans and constructing what these plans promote/instruct, the owner indemnifies the arch professional from any claims arising due to product specific failures that might occur, during or after construction have been completed.

Applicable Party Approval:

Owner/authorized Signature: _____ Date: 23/04/2021

T Schoon Signature: _____ Date: 23/04/2021

Area Covered:	
Main Dwelling :	215.30 m ²
Second Dwelling :	105.29 m ²
Total Foot Print Area :	320.59 m²
Total Stand Area:	868.00m²
F.R.:	320.59 / 868.00 : 0.3693
Site coverage percentage:	36.93 %
Occupancy:	H4
Zoning:	RES 1

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ACTS OF PARLIAMENT
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Bo-Dorp - George
for Mrs Botha

Drawing Nr: H20 - 33
FTL - 03 - 03
11/04/2021

Drawing :
Fenstration, Energy Demand / Consumption
& Artificial Ventilation Calculations and Section

- NOTES:**
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Total Stand Area:	868.00m²
F.A.R.:	320.59 / 868.00 :
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Occupancy:	H4
Zoning:	RES 1

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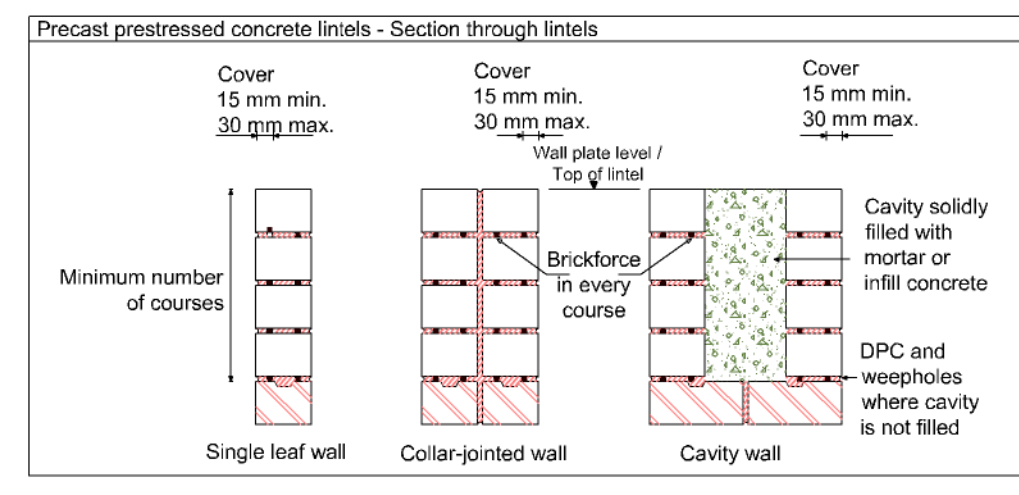
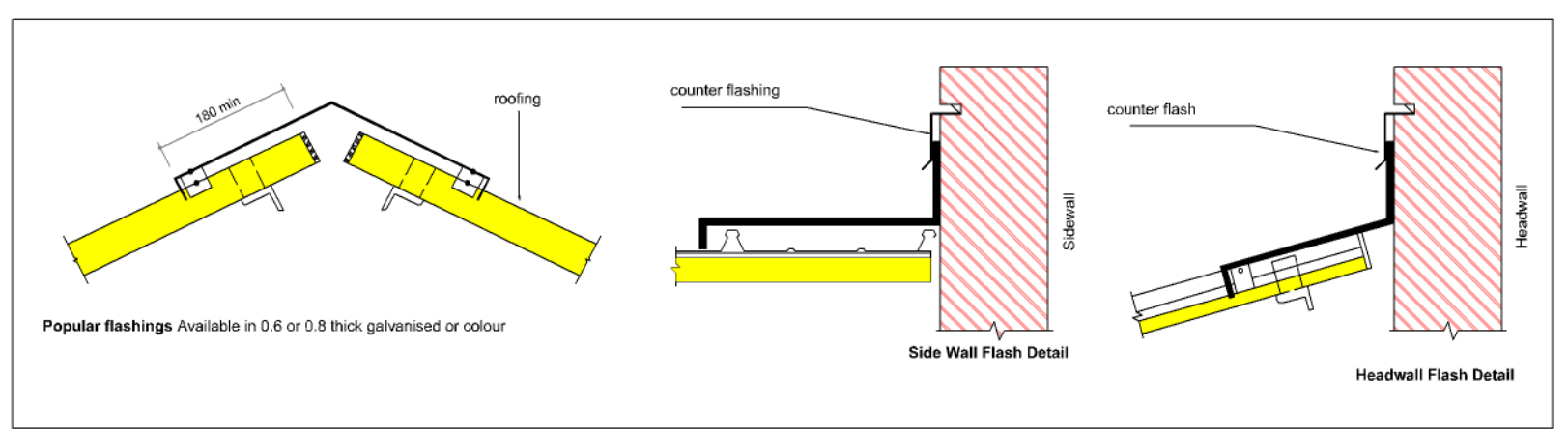
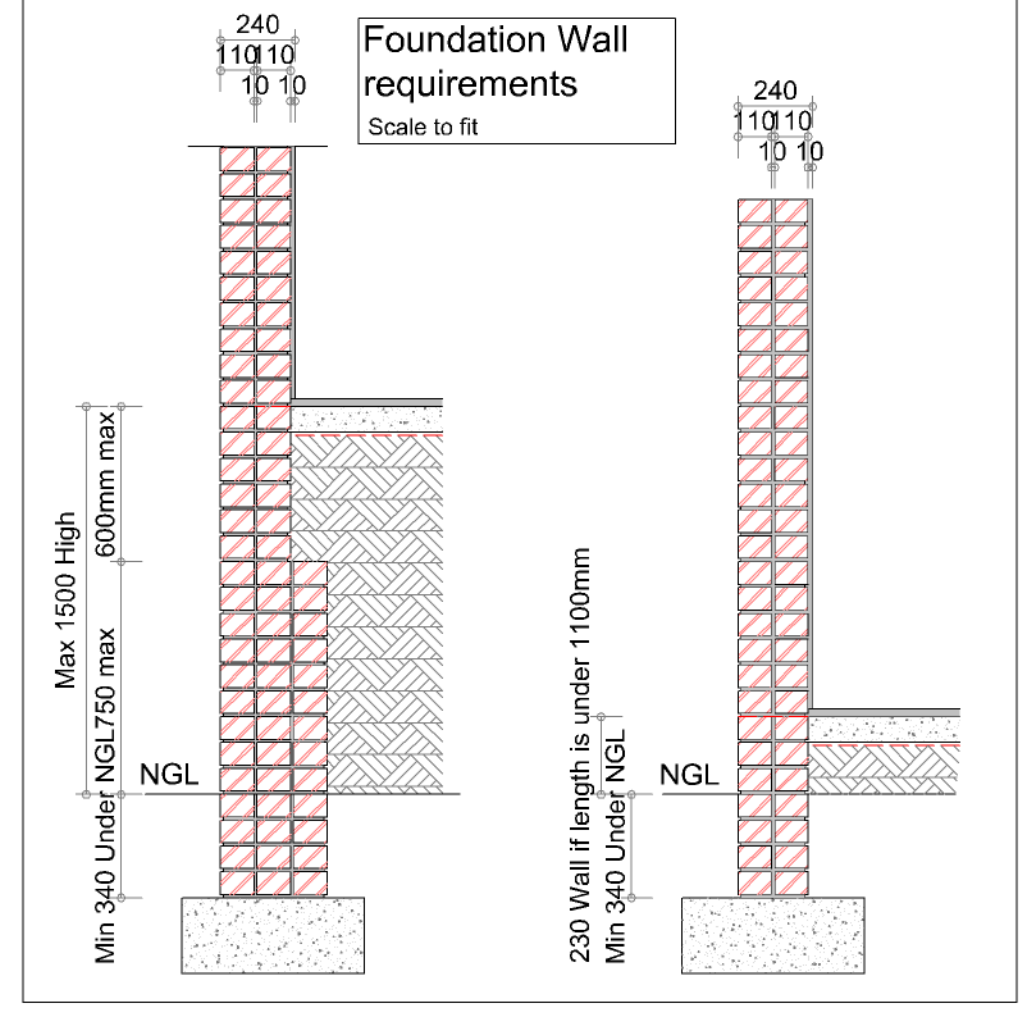
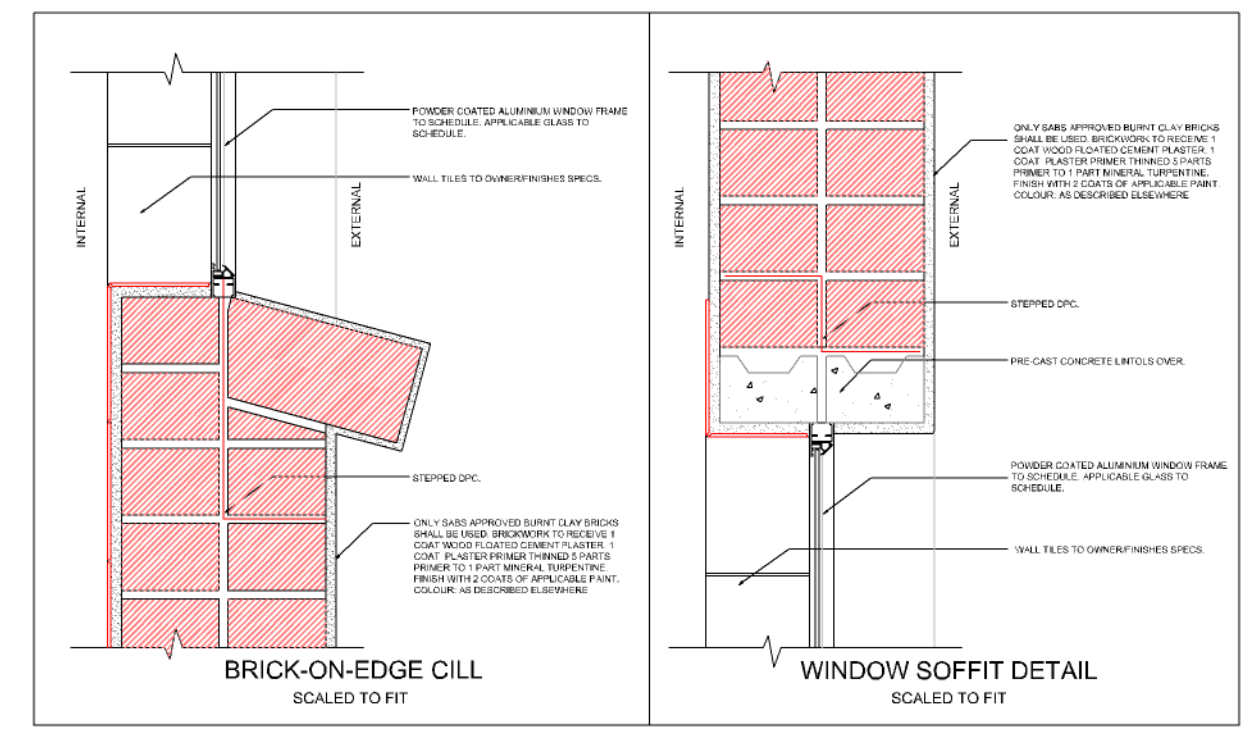
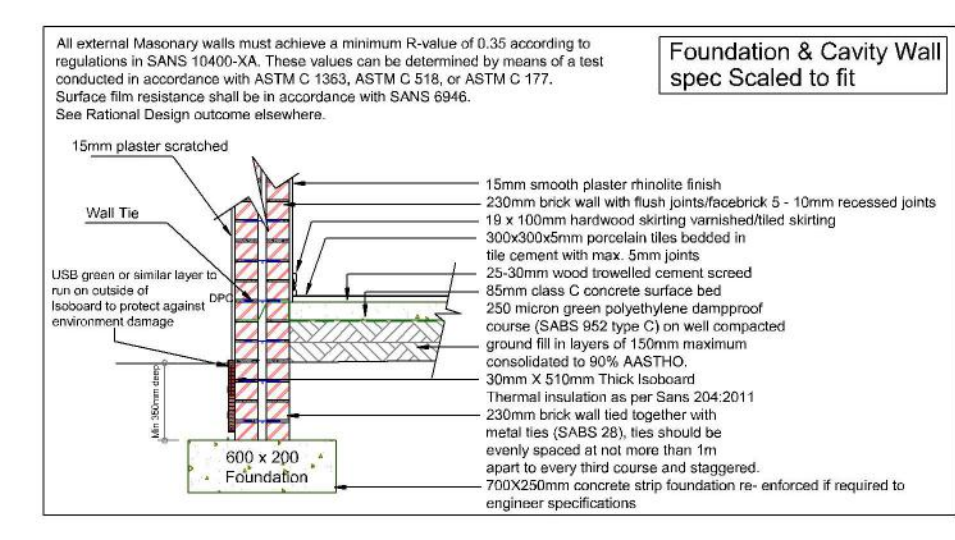
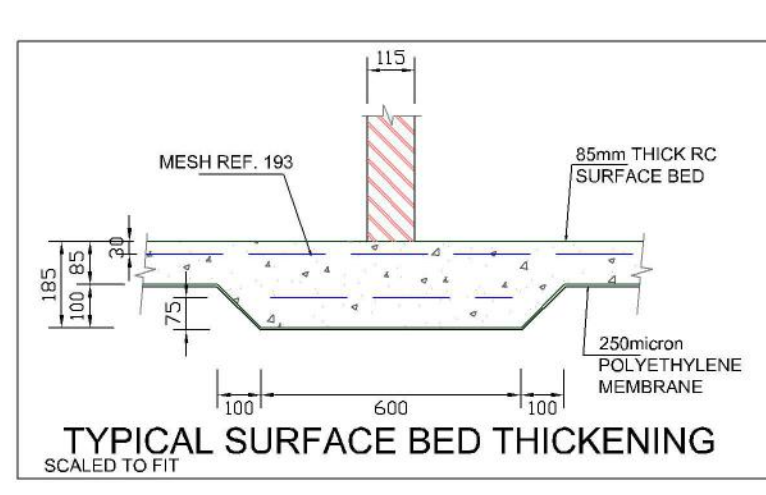
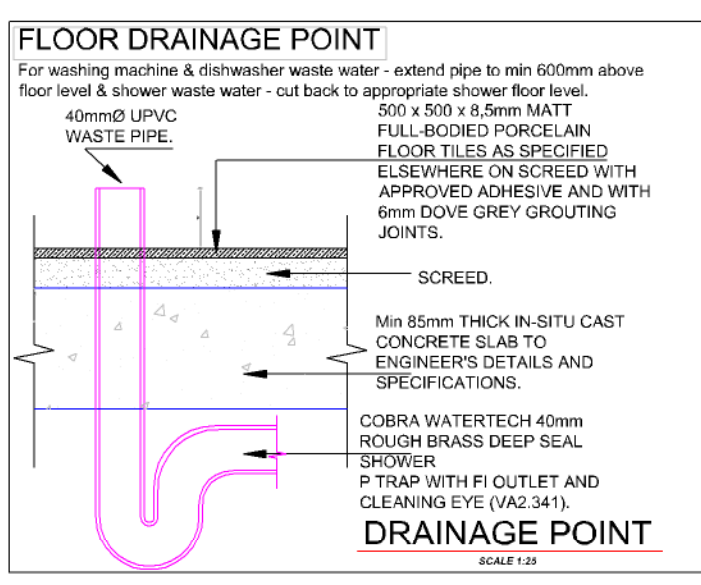
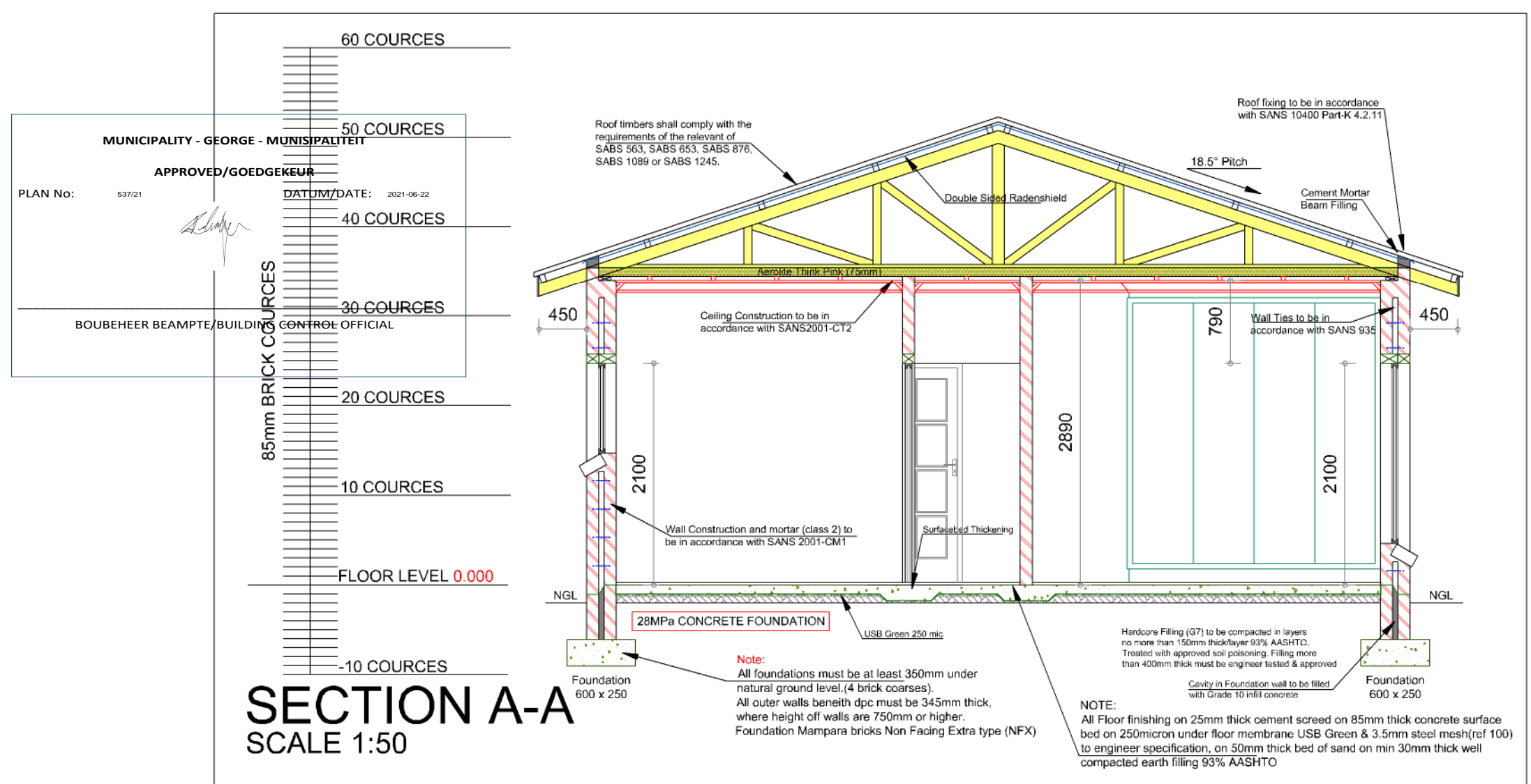
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ACTS OF PARLIAMENT

All Contractors shall ensure that, before any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of South Africa.



SANS 10400 part XA Lighting, Energy demand & consumption calculations:

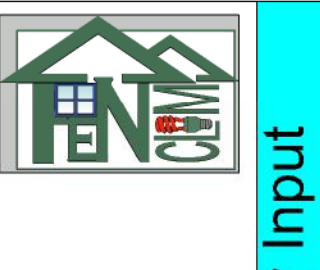
General Input :

Home Address: Erf 15181

Owner: Botha

Climatic Zone: 4 Temperate Coastal

Note: All lights & electrical specifications must comply with energy efficiency requirements as per SANS 204 - AUG2011, for energy & consumption. All geysers must be connected to solar panel power generators as indicated on roof plan and must comply with requirements of SANS 1307 and be installed in accordance with SANS 10106, as required 50% of hot water should be provided by means of solar energy. Alternatively the use of heat pumps to be compliant to the above requirements. Heat pumps must not be enclosed in basements or inside roofs. Renewable energy sources should be maximized. Below calculated is Max energy demand & consumption for dwelling occupied by 8 people max (2bedroom).



Input:	Outcome:
Occupation Class: H4 Dwelling house	Demand W/m ² : 164
Occupation Desc: Dwelling house	Consumption kWh/m ² .a: 417.872
Number of People: 4	
Energy Demand per Person: 1.25	
Energy Consumption per Person: 1.25	
Energy Demand Total: 500	
Energy Consumption Total: 500	
Light Hours per Day: 7	
Light Days per Week: 7	
Light Hours per Year: 2546	
Gross External Area (Including Walls): 105.29	

Room Name	Name	Quantity	Watts	Total Watts
Kitchen	Pendant	8	10	80
	Ceiling Mounted Light	10	6	60
Master Bedroom	Pendant	8	10	80
	Ceiling Mounted Light	10	6	60
Bedroom 2	Pendant	8	10	80
	Ceiling Mounted Light	10	6	60
Master Bathroom	Pendant	8	10	80
	Ceiling Mounted Light	10	6	60
Dresser	Pendant	8	10	80
	Ceiling Mounted Light	10	6	60
Bathroom 2	Pendant	8	10	80
	Ceiling Mounted Light	10	6	60
Outside Lights	Pendant	8	10	80
	Ceiling Mounted Light	10	6	60

Ground storey Input Fenestration

Glazing Elements	Actual Area m ²	Max Energy	Aggregate Allowed	Result
North	0	0.00	0.00	PASS
North East	38.8861	31.803182	8.576042	PASS
East	0	0.00	0.00	PASS
South East	22.58465	61.85488745	4.9624190	PASS
South	0	0.00	0.00	PASS
South West	38.8861	22.347630	8.576042	PASS
West	0	0.00	0.00	PASS
North West	22.58465	34.58267000	4.9624190	PASS

Glazing Elements	Actual Area m ²	Max Energy	Aggregate Allowed	Result
North	0	0.00	0.00	PASS
North East	38.8861	31.803182	8.576042	PASS
East	0	0.00	0.00	PASS
South East	22.58465	61.85488745	4.9624190	PASS
South	0	0.00	0.00	PASS
South West	38.8861	22.347630	8.576042	PASS
West	0	0.00	0.00	PASS
North West	22.58465	34.58267000	4.9624190	PASS

Glazing Elements	Actual Area m ²	Max Energy	Aggregate Allowed	Result
North	0	0.00	0.00	PASS
North East	38.8861	31.803182	8.576042	PASS
East	0	0.00	0.00	PASS
South East	22.58465	61.85488745	4.9624190	PASS
South	0	0.00	0.00	PASS
South West	38.8861	22.347630	8.576042	PASS
West	0	0.00	0.00	PASS
North West	22.58465	34.58267000	4.9624190	PASS

ANNEXURE "D" – SIGNED PRE-APPLICATION APPLICATION FORM



LAND USE PLANNING PRE-APPLICATION CONSULTATION FORM

PLEASE NOTE:

Pre-application consultation is an advisory session and is required prior to submission of an application for rezoning, consent use, temporary departure and subdivision. It does not in any way pre-empt the outcome of any future application which may be submitted to the Municipality.

PART A: PARTICULARS

Reference number: **Collab no. 2960097**

Purpose of consultation: **‘n Aansoek om onderverdeling van Erf 15181 George.**

Brief proposal: **Die doel van die aansoek is om Erf 15181 George in twee gedeeltes te onderverdel.**

Property(ies) description: **Erf 15181 George**

Date: **1 Desember 2023**

Attendees:

	Name & Surname	Organisation	Contact Number	E-mail
Official	Jeanne Muller	George Municipality	044 801 9477	jmuller@george.gov.za
Official	Robert Janse van Rensburg	George Municipality	044 801 9555	rhjansevanrensburg@george.gov.za
Pre-applicant	Jan Vrolijk	Jan Vrolijk Town Planner / Stadsbeplanner	044 873 3011 082 464 7871	janvrolijk@jvtownplanner.co.za

Documentation provided for discussion:

(Include document reference, document/plan dates and plan numbers where possible and attach to this form)

Lugfoto liggingsplan

Voorgestelde onderverdelingsplan

L G Diagram

Titelakte

Bouplanne

Has pre-application been undertaken for a Land Development application with the Department of Environmental Affairs & Development Planning (DEA&DP)?

(If so, please provide a copy of the minutes)

ONTWIKKELINGSVOORSTEL

YES	NO
-----	----

Erf 15181 George is met twee woonhuise ontwikkel soos aangetoon op die aangehegde bouplanne en lugfoto. Daar bestaan goedgekeurde bouplanne vir beide die twee wooneenhede. Afskrifte van die bouplanne is hierby aangeheg.

Soos vanuit die aangehegde lugfoto afgelei kan word, word die twee woonhuise deur middel van 'n vibre-crete muur van mekaar geskei. Die twee woonhuise word afsonderlik verhuur en funksioneer dus afsonderlik van mekaar. Vanaf straatvlak lyk dit dus reeds soos twee afsonderlike erwe.

Die eienaar het my genader insake die moontlike onderverdeling van die erf in twee gedeeltes soos aangetoon op die voorgestelde onderverdeling sketsplan. Gedeelte A sal oor 'n oppervlakte van ongeveer 500m² beskik terwyl Gedeelte B oor 'n oppervlakte van 368m² sal beskik.

Aangesien ek onseker is of die munisipaliteit so 'n aansoek gunstig sal oorweeg is daar aan die eienaar voorgestel dat 'n vooraf konsultasie aansoek ingedien word sodat die munisipale amtenare se standpunt insake die voorstel verkry kan word, derhalwe die vooraf konsultasie aansoek.

Indien 'n aansoek ingedien kan word sal 'n landmeter aangestel word om die presiese posisie van die twee woonhuise, die onderverdelingslyn en die afstande van die bestaande geboue vanaf die voorgestelde onderverdelingslyn te bepaal sodat, indien nodig, 'n boulynverslapping aansoek moontlik saam met die aansoek om onderverdeling ingedien kan word.

VOORGESTELDE AANSOEK

'n Aansoek in terme van Artikel 15(2)(d) van die Verordening op Grondgebruikbeplanning vir George Munisipaliteit, 2015 vir die onderverdeling van Erf 15181 George in 'n Gedeelte 1 (\pm m²) en 'n Retstant (\pm m²).

PART B: APPLICATION PROCESS

(WILL FULLY APPLY ONLY ONCE LUPA REGULATIONS ARE IN FORCE)

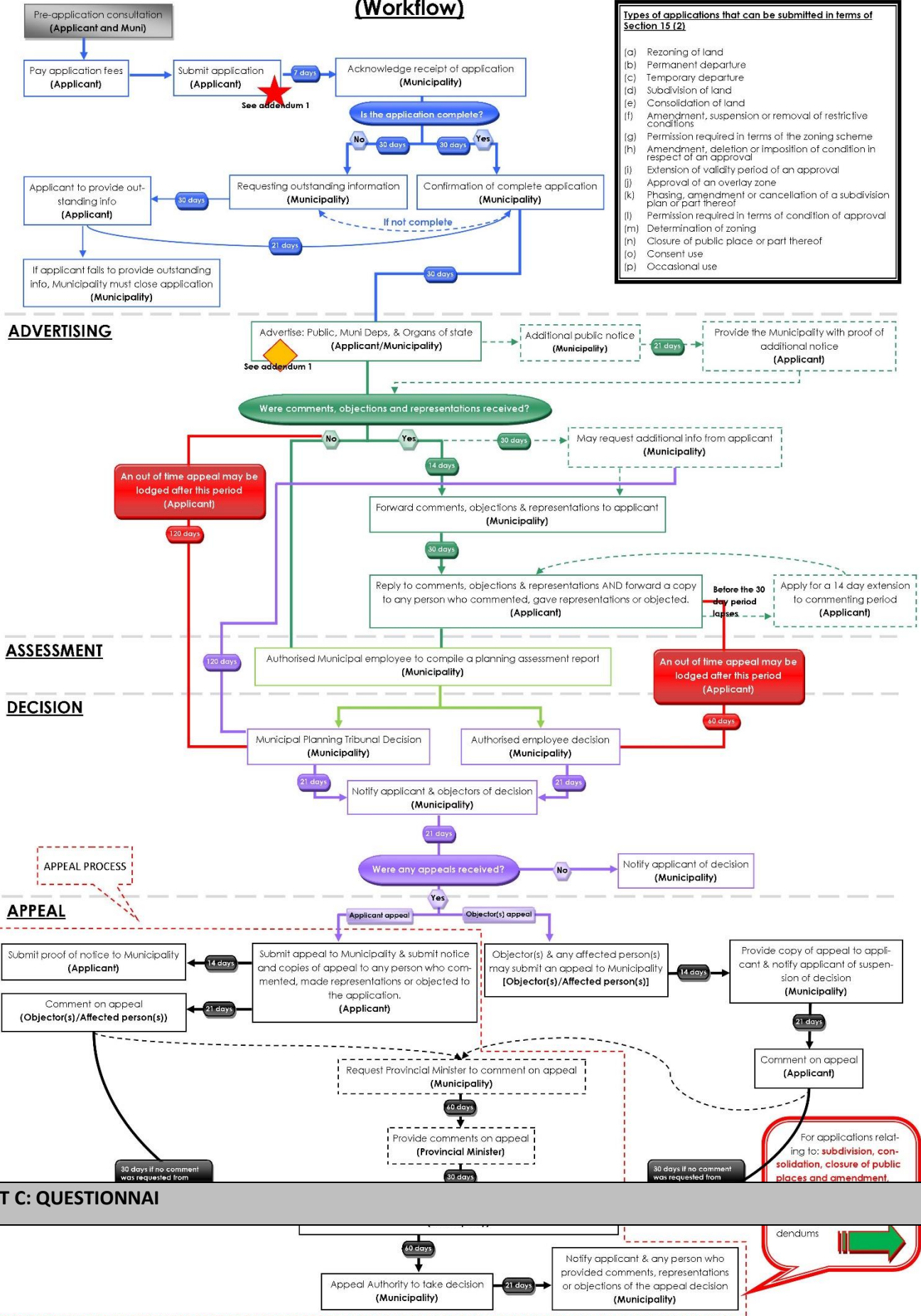
SUBMISSION

Draft By-Law on Municipal Land Use Planning

(Workflow)

Types of applications that can be submitted in terms of Section 15 (2)

- (a) Rezoning of land
- (b) Permanent departure
- (c) Temporary departure
- (d) Subdivision of land
- (e) Consolidation of land
- (f) Amendment, suspension or removal of restrictive conditions
- (g) Permission required in terms of the zoning scheme
- (h) Amendment, deletion or imposition of condition in respect of an approval
- (i) Extension of validity period of an approval
- (j) Approval of an overlay zone
- (k) Phasing, amendment or cancellation of a subdivision plan or part thereof
- (l) Permission required in terms of condition of approval
- (m) Determination of zoning
- (n) Closure of public place or part thereof
- (o) Consent use
- (p) Occasional use



PART C: QUESTIONNAI

SECTION A:
DETERMINATION OF APPLICATION TYPES, PRESCRIBED NOTICE AND ADVERTISEMENT PROCEDURES

Tick if relevant		What land use planning applications are required?	Application fees payable
	2(a)	a rezoning of land;	R
	2(b)	a permanent departure from the development parameters of the zoning scheme;	R
	2(c)	a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land;	R
x	2(d)	a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement;	R
	2(e)	a consolidation of land that is not exempted in terms of section 24;	R
	2(f)	a removal, suspension or amendment of restrictive conditions in respect of a land unit;	R
	2(g)	a permission required in terms of the zoning scheme;	R
	2(h)	an amendment, deletion or imposition of conditions in respect of an existing approval;	R
	2(i)	an extension of the validity period of an approval;	R
	2(j)	an approval of an overlay zone as contemplated in the zoning scheme;	R
	2(k)	an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram;	R
	2(l)	a permission required in terms of a condition of approval;	R
	2(m)	A determination of a zoning;	R
	2(n)	A closure of a public place or part thereof;	R
	2(o)	a consent use contemplated in the zoning scheme;	R
	2(p)	an occasional use of land;	R
	2(q)	to disestablish a home owner's association;	R
	2(r)	to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services;	R
	2(s)	a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building	R
Tick if relevant		What prescribed notice and advertisement procedures will be required?	Advertising fees payable
Y	N	Serving of notices (i.e. registered letters etc.)	R
Y	N	Publication of notices (i.e. Provincial Gazette, Local Newspaper(s) etc.)	R
Y	N	Additional publication of notices (i.e. Site notice, public meeting, local radio, website, letters of consent etc.)	R
Y	N	Placing of final notice (i.e. Provincial Gazette etc.)	R

TOTAL APPLICATION FEE* (VAT excluded):	To be determined
---	------------------

PLEASE NOTE: * Application fees are estimated on the information discussed and are subject to change with submission of the formal application and/or yearly application fee increase.

SECTION B:

PROVISIONS IN TERMS OF THE RELEVANT PLANNING LEGISLATION / POLICIES / GUIDELINES

QUESTIONS REGARDING PLANNING POLICY CONTEXT	YES	NO	TO BE DETERMINED	COMMENT
Is any Municipal Integrated Development Plan (IDP)/Spatial Development Framework (SDF) and/or any other Municipal policies/guidelines applicable? If yes, is the proposal in line with the aforementioned documentation/plans?	X		George Ruimtelike Ontwikkelingsraamwerk, 2023	Sal bepaal word
Any applicable restrictive condition(s) prohibiting the proposal? If yes, is/are the condition(s) in favour of a third party(ies)? [List condition numbers and third party(ies)]		X		Conveyancer certificate to confirm
Any other Municipal by-law that may be relevant to application? (If yes, specify)		X		
Zoning Scheme Regulation considerations: Which zoning scheme regulations apply to this site? Die George Geïntegreerde Soneringskema Verordening, 2017 What is the current zoning of the property? Enkel Residensiële Sone I What is the proposed zoning of the property? Enkel Residensiële Sone I Does the proposal fall within the provisions/parameters of the zoning scheme? Moet bepaal word Are additional applications required to deviate from the zoning scheme? (if yes, specify) Ja, moontlike boulyverslappings				

QUESTIONS REGARDING OTHER PLANNING CONSIDERATIONS	YES	NO	TO BE DETERMINED	COMMENT
Is the proposal in line with the Provincial Spatial Development Framework (PSDF) and/or any other Provincial bylaws/policies/guidelines/documents?			X	

Are any regional/district spatial plans relevant? If yes, is the proposal in line with the document/plans?		X	N.v.t.	N.v.t.
--	--	---	--------	--------

SECTION C:

CONSENT / COMMENT REQUIRED FROM OTHER ORGANS OF STATE

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
Is/was the property(ies) utilised for agricultural purposes?		X		Western Cape Provincial Department of Agriculture
Will the proposal require approval in terms of Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)?		X		National Department of Agriculture
Will the proposal trigger a listed activity in terms of National Environmental Management Act, 1998 (Act 107 of 1998) (NEMA)?		X		Western Cape Provincial Department of Environmental Affairs & Development Planning (DEA&DP)
Will the proposal require authorisation in terms of Specific Environmental Management Act(s) (SEMA)? (National Environmental Management: Protected Areas Act, 2003 (Act 57 of 2003) (NEM:PAA) / National Environmental Management: Biodiversity Act, 2004 (Act 10 of 2004) (NEM:BA) / National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004) (NEM:AQA) / National Environmental Management: Integrated Coastal Management Act, 2008 (Act 24 of 2008) (NEM:ICM) / National Environmental Management: Waste Act, 2008 (Act 59 of 2008) (NEM:WA) (strikethrough irrelevant)		X		National Department of Environmental Affairs (DEA) & DEA&DP
Will the proposal require authorisation in terms of the National Water Act, 1998 (Act 36 of 1998)?		X		National Department of Water & Sanitation (DWS)
Will the proposal trigger a listed activity in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999)?		X		South African Heritage Resources Agency (SAHRA) & Heritage Western Cape (HWC)
Will the proposal have an impact on any National or Provincial roads?		X		National Department of Transport / South Africa National Roads Agency Ltd. (SANRAL) & Western Cape Provincial

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
				Department of Transport and Public Works (DTPW)
Will the proposal trigger a listed activity in terms of the Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations		X		National Department of Labour (DL)
Will the proposal affect any Eskom owned land and/or servitudes?		X		Eskom
Will the proposal affect any Telkom owned land and/or servitudes?		X		Telkom
Will the proposal affect any Transnet owned land and/or servitudes?		X		Transnet
Is the property subject to a land / restitution claims?		X		National Department of Rural Development & Land Reform
Will the proposal require comments from SANParks and/or CapeNature?		X		SANParks / CapeNature
Will the proposal require comments from DEFF?		X		Department of Environment, Forestry and Fishery
Is the property subject to any existing mineral rights?		X		National Department of Mineral Resources
Does the proposal lead to densification to such an extent that the number of schools, healthcare facilities, libraries, safety services, etc. In the area may be impacted on? (strikethrough irrelevant)		X		Western Cape Provincial Departments of Cultural Affairs & Sport (DCAS), Education, Social Development, Health and Community Safety

SECTION D:

SERVICE REQUIREMENTS

DOES THE PROPOSAL REQUIRE THE FOLLOWING ADDITIONAL INFRASTRUCTURE / SERVICES?	YES	NO	TO BE DETERMINED	OBTAIN COMMENT FROM: (list internal department)
Electricity supply:		X		Directorate: Electro-technical Services
Water supply:		X		Directorate: Civil Engineering Services
Sewerage and waste water:		X		Directorate: Civil Engineering Services

Stormwater:		X		Directorate: Civil Engineering Services
Road network:		X		Directorate: Civil Engineering Services
Telecommunication services:		X		
Other services required? Please specify.			N.v.t.	
Development charges:	X			

PART D: COPIES OF PLANS / DOCUMENTS TO BE SUBMITTED AS PART OF THE APPLICATION

COMPULSORY INFORMATION REQUIRED:					
Y	N	Power of Attorney / Owner's consent if applicant is not owner (if applicable)	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Motivation report / letter	Y	N	Full copy of the Title Deed
Y	N	Locality Plan	Y	N	Site Layout Plan
Y	N	Proof of payment of fees	Y	N	Bondholder's consent (Conveyancer certificate to confirm)
MINIMUM AND ADDITIONAL REQUIREMENTS:					
Y	N	Site Development Plan	Y	N	Conveyancer's Certificate
Y	N	Land Use Plan	Y	N	Proposed Zoning plan
Y	N	Phasing Plan	Y	N	Consolidation Plan
Y	N	Abutting owner's consent	Y	N	Landscaping / Tree Plan
Y	N	Proposed Subdivision Plan (including street names and numbers)	Y	N	Copy of original approval letter
Y	N	Services Report or indication of all municipal services / registered servitudes	Y	N	Home Owners' Association consent
Y	N	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	Other (specify)	Y	N	Required number of documentation copies

PART E: DISCUSSION

Pre-application as discussed on 6 December 2023 refers. The plan below was presented at the meeting:



Town Planning:

- Applicant to ensure that development parameters are complied with such as building lines etc. Departures will be required where applicable.
- To provide parking and access as per the requirements set in Section 42 and 45 of the George Integrated Zoning Scheme. To indicate access widths, manoeuvrability and parking on the proposed subdivision plan.
- Applicant to motivate in terms of SPLUMA, MSDF 2023, LSDF's etc.
- To indicate the building lines applicable to the proposed subdivided erven and apply for building line relaxations were applicable.
- To indicate the location of the main Engineering services on site.
- To indicate all illegal structures/uses and size thereof on the plan. Contravention levies may be applicable. To indicate If any structures will be demolished?
- To motivate deviation if applicable from the min erf sizes in the area.

CES - 06/12/2023

- Access: Must comply to the GIZS 2023
- Water & Sewer: Available, subject to confirmation
- Stormwater: Development to conform to the applicable Stormwater By-law.
- DC: Normal DC's in terms of the DC policy will apply on service, once their becomes available, if not yet paid on build plan.

ETS:

- No comments provided during the pre-application meeting, however it must be noted that normal DC's and conditions will apply.

PART F: SUMMARY / WAY FORWARD

See Comments in Section E.

OFFICIAL: **Robert Janse van Rensburg**
Town Planner

PRE-APPLICANT: **Johannes George Vrolijk**
(FULL NAME)



SIGNED: _____

SIGNED: _____

DATE: _____ 12/12/2023 _____

DATE: _____ 1 December 2023 _____

OFFICIAL: **Jeanne Muller**
(Senior Town Planner)



SIGNED: _____

DATE: ___ 2023.12.12 _____

**Please note that the above comments are subject to the documents and information available to us at the time of the pre-application meeting and we reserve our rights to elaborate on this matter further and/or request more information/documents should it deemed necessary.*

ANNEXURE "E" – LOCALITY PLAN

Erf 15181 George - Locality plan



0 0.03 0.06 0.12 km

Date: 11/30/2023 7:58 AM

Scale: 1:1,102



Disclaimer
George Municipality makes no warranties as to the correctness of the information supplied.
Persons relying on this information do so entirely at their own risk.

George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.

ANNEXURE "F" – SURVEYOR GENERAL DIAGRAM

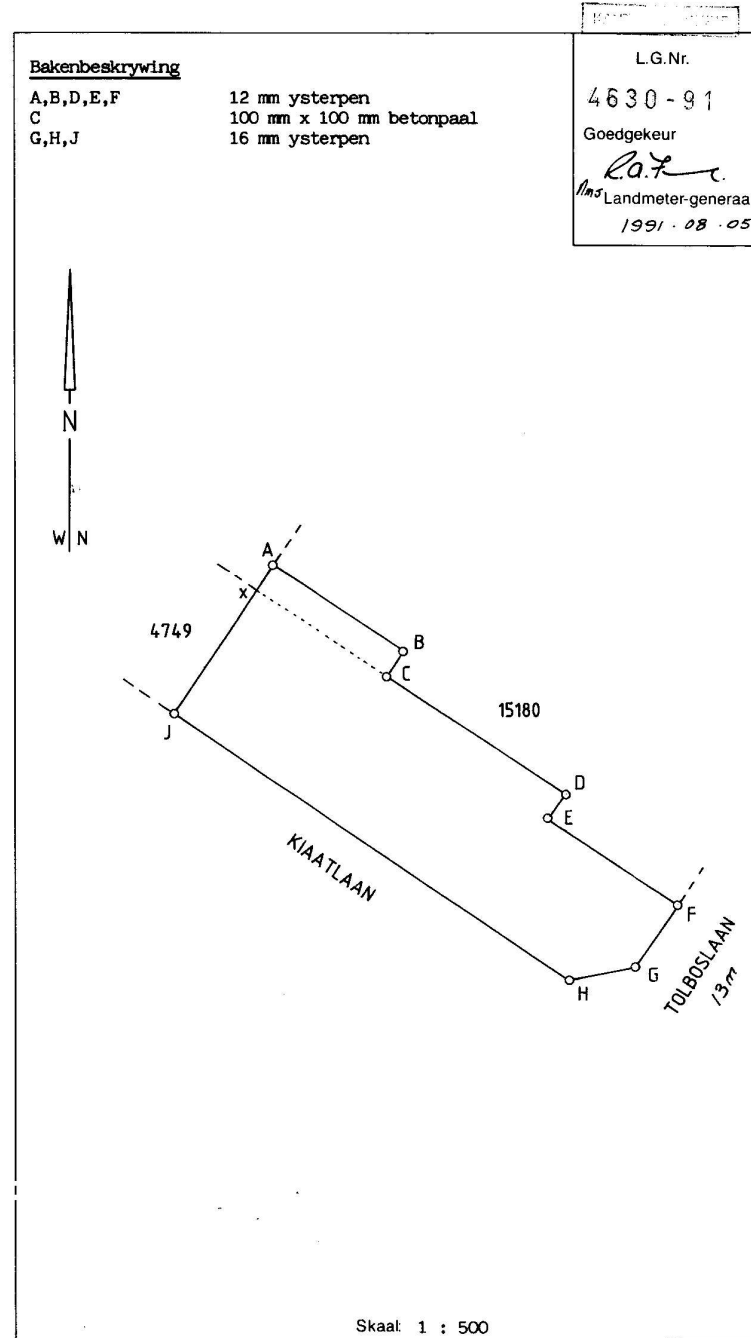
SYE Meter	RIGTINGS -HOEKE	Y	KOÖRDINATE Alles plus	
			Stelsel	Lo 23° X
	Konstante		0,00	3 700 000,00
AB	16,60	90 00 00	A 49 254,43	57 976,72
BC	3,00	90 00 00	B 49 240,66	57 985,99
CD	22,60	270 00 00	C 49 242,33	57 988,48
DE	3,00	90 00 00	D 49 223,57	58 001,11
EF	16,40	270 00 00	E 49 225,24	58 003,60
FG	7,79	90 00 00	F 49 211,64	58 012,76
GH	7,00	135 02 50	G 49 215,94	58 019,24
HJ	50,62	135 02 20	H 49 222,88	58 020,60
JA	18,87	89 54 50	J 49 264,91	57 992,40
	⊙ 22P4		49 148,51	58 135,62
	⊙ 26P4		49 442,47	58 138,39

Rat
Rat

- Die figuur x D E F G H J stel voor Restant Erf 4750, George
Transportakte No. 1982 - - 35859 Kaart No. 8891/69
- Die figuur A B C x stel voor Erf 15178, George
Transportakte No. 1992 - - 57037. Kaart No. 4627/91

Die figuur A B C D E F G H J
stel voor 868 vierkante meter grond, synde
Erf 15181, George bevattende 1. en 2. hierbo
geleë in die Munisipaliteit en Administratiewe Distrik
George Provinsie Kaap die Goeie Hoop
Saangestel
Opgemeeet in Junie 1991
deur my, *A. Louw*
A. LOUW Landmeter

Hierdie kaart is geheg aan Nr. 57040/92 gedateer t.g.v. Registrateur van Aktes	Die oorspronklike kaart is soos hierbo aangehaal Nr. geheg aan Transport/Grondbrief Nr.	Leënr. 3/8775/87/12 M.S. Nr. Saangestel Komp. BL-7DD/W42 (1743)
--	---	---



ANNEXURE "G" - TITLE DEED

Bruwer & Reynolds Attorneys
 Millwood Building
 c/o York and Victoria Street
 George

Prepared by me


 FRANÇOISE SCHOLTZ BRUWER
 Françoise Scholtz Bruwer

Fee endorsement	
	Amount
Purchase price/Value	R. 7 000 000,00
Mortgage capital Amount	R. 770 000,00
Reason for exemption	Exempt i. t. o
Cat.....	section.....Act.....

VERBIND **ORTGAGED**

VIR FOR R. 4 000 000,00

B 000026093/2016

03 OCT 2016

REGISTRAR OF DEEDS

T 000060359 / 2016

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

Janine Fouché

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney which said Power of Attorney was signed at GEORGE on 20TH July 2016 granted to him by

JOHANN HANS STOECKLI
 Identity Number 330222 5053 18 7
 Unmarried

VIR ENDOSSEMENTE KYK-BLADSY
 FOR ENDOSSEMENTS SEE PAGE 5

DATA / CAPTURE
 13 OCT 2016
 NGONGWANA PENELOPE

DATA / VERIFY
 21 OCT 2016
 BARLOW MARLYN

And the appearer declared that his said principal had, on 18 May 2016, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

FRIEDEL LOUISE BOTHA
Identity Number 670227 0144 08 7
Married out of community of property.

her Heirs, Executors, Administrators or Assigns, in full and free property

ERF 15181 GEORGE in the Municipality and Division of George
Province of the Western Cape

IN EXTENT 868 (EIGHT HUNDRED AND SIXTY EIGHT) Square metres

FIRST REGISTERED and still held by Certificate of Consolidated Title Number
T57040/1992 with Diagram No. 4630/1991 relating thereto

I. As regards the figure x D E F G H J in Deed of Transfer No. T4630/1991.

A. **SUBJECT** to the conditions contained in Deed of Transfer No.
T1836/1906.

B. **SUBJECT FURTHER** to the following special conditions contained in
Deed of Transfer No. T35859/1982 imposed by the Administrator in
terms of the provisions of Section 9(9) of Ordinance No. 33 of 1934
when approving the subdivision of Erf 1020, George, namely:

(a) "Die eienaar van hierdie erf is verplig om sonder betaling van vergoeding toe te laat dat hoofgasleidings, elektrisiteits- telefoon-, en televisiekabels en/of drade, hoof- en ander stormwater en die rioolvuil en dreinerings, insluitende stormwater van enige ander erf of erwe, oor hierdie erf gevoer word en dat bopgrondse installasies geïnstalleer word. Indien dit deur die plaaslike owerheid nodig geag word en wel op die wyse en plek wat van tyd tot tyd redelikerwyse vereis word. Dit sluit die reg op toegang te alle redelike tye tot die eiendion in met die doel om enige werke met betrekking tot bogenoemde aan te lê, te wysig, te verwyder of te inspekteer.

(b) Die eienaar van hierdie erf is verplig om sonder vergoeding op die erf die material te ontvang of uitgrawings op die erf toe te laat al na vereis word sodat die volle breedte van die straat gebruik kan word en die wal veilig en behoorlik skuins gemaak kan word omrede van die verskil tussen die hoogte van die straat soos finaal aangelê en die erf tensy hy verkies om steunmure te bou tot genoeë van en binne 'n tydperk wat die plaaslike owerheid bepaal".

C. **ENTITLED** to the terms of a servitude dated this day on Deed of Transfer No. T94617/1984 which endorsement reads as follows:

"Remainder

By Deed of Transfer

The remainder of within property is entitled to a sewage and electrical power line servitude 3 metres wide, indicated by the line CD on Diagram No 4628/1991 annexed to abovementioned transfer over Erf 15179 George, meas: 49m² held by T57038/1992

The line CD on Diagram No. 4628/1991 is indicated by the line EF on Diagram No. 4630/1991.

II. As regards the figure A B C x on Diagram No. 4630/1991:

A. **SUBJECT** to the conditions contained in Deed of Transfer No. T1836/1906 dated 7 March 1906.

B. **SUBJECT FURTHER** to the conditions contained in Deed of Transfer No. T35859/1982 and imposed by the Administrator in terms of Section 9(9) of Ordinance No 33 of 1934, as more fully set out in paragraph I.B above.

WHEREFORE the said Appearer, renouncing all right and title which the said

JOHANN HANS STOECKLI
Unmarried

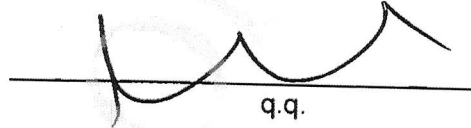
heretofore had to the premises, did in consequence also acknowledge him to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

FRIEDEL LOUISE BOTHA
Married as aforesaid

her Heirs, Executors, Administrators or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R700 000,00 (SEVEN HUNDRED THOUSAND RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on
03 OCT 2016

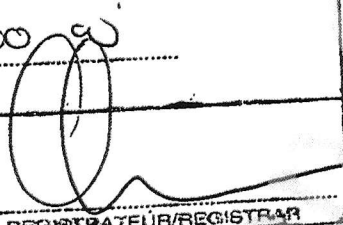

q.q.


In my presence



REGISTRAR OF DEEDS



VERBIND		MORTGAGED	
R 350 . 000 00			
B 000004537 / 2019			
DATUM DATE	04 MAR 2019		

VERBIND		XXXXXXXXXX	
R 350 000 00			
000009949 / 2020			
DATUM DATE	28 JUL 2020		

ANNEXURE "H" - POWER OF ATTORNEY

POWER OF ATTORNEY

I, the undersigned

Friedel Louise Botha

in my capacity as the registered owner of

Erf 15181 George

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following application to the George Municipality:

- An application in terms of Section 15(2)(d) of the Land Use Planning By-Law for the George Municipality, 2023 for the subdivision of Erf 15181 George into a Portion A ($\pm 368\text{m}^2$) and a Remainder ($\pm 500\text{m}^2$).
- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for the relaxation of the western lateral building line on the Remainder from 1.5 metres to 1.10 metres to legalize the existing dwelling house.

Signed at George on 10 June 2024



Friedel Louise Botha

ANNEXURE "I" – BONHOLDERS CONSENT



A Chimes Van Wyk Attorneys
Email: andi@chimesvanwyk.co.za

Our ref: Theona Hilder

Dear Sir/Madam

HOME LOAN IN THE NAME OF : Me F L Botha
ACCOUNT NUMBER : 53-012-862-4
SECURITY DESCRIPTION : Erf 15181 George

We refer to your request dated 6 June 2024 and advise as follows:

- *That an application in terms of Section 15(2)(d) of the George Municipality: Land Use Planning By-Law, 2023 for the subdivision of Erf 15181 George into a Portion A ($\pm 368m^2$) and a Remainder ($\pm 500m^2$) as indicated on the attached subdivision plan may be submitted to the George Municipality for approval.*

If you have any further questions regarding this matter, kindly contact Theona Hilder on 010 234 7719.

Yours faithfully

T. Hilder

THEONA HILDER
Administrator
Administrations
Gauteng Home Loans

Home Loans | Gauteng

16 Constantia Boulevard Constantia Kloof Roodepoort 1709 PO Box 1144 Johannesburg 2000 South Africa
T 0860 555 111 F 011 495 9161

Directors: AD Mminele (Chairperson) MWT Brown (Chief Executive) HR Brody (Lead Independent Director) BA Dames MH Davis (Chief Financial Officer) NP Dongwana EM Kruger P Langeni
RAG Leith L Makalima MC Nkuhlu (Chief Operating Officer) Dr TM Nombembe S Subramoney
Company Secretary: J Katzin 01.01.2024.

www.nedbank.co.za

NEDBANK

Nedbank Ltd Reg No 1951/000009/06. Licensed financial services and registered credit provider (NCRCP16)
ConsolidationSubdivisionsLetterTownPlanners.dotm 31Mar22 | SD2

ANNEXURE "J" - CONVEYANCER CERTIFICATE



CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023

ERF 15181 GEORGE

APPLICATION DETAILS

- An application in terms of Section 15(2)(d) of the Land Use Planning By-Law for the George Municipality, 2023 for the subdivision of Erf 15181 George into a Portion A ($\pm 368\text{m}^2$) and a Remainder ($\pm 500\text{m}^2$).
- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for the George Municipality, 2023 for the relaxation of the western lateral building line on the Remainder from 1.5 metres to 1.10 metres to legalize the existing dwelling house.

APPLICATION DATE

June 2024

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George

do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T60359/2016

(current Title Deed)

in respect of:

ERF 15181 GEORGE

**IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT: 868 (EIGHT SIX EIGHT) SQUARE METRES

HELD BY DEED OF TRANSFER NUMBER T60359/2016

REGISTERED in the name of

FRIEDEL LOUISE BOTHA

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.
4. There is a bond registered over the property.

SIGNED at George on 10 June 2024


CONVEYANCER