



GLEN VILLAGE COUNTRY ESTATE ARCHITECTURAL GUIDELINES

Revision 2.1 - October 2023

Lapalaka Architects

GEORGE - Western Cape

MUNISIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

14/6/2024

DATE
DATUM

A handwritten signature in black ink, appearing to be "C. M.", written over a circular stamp.

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STADSBEPLANNING

CONTENTS

1. INTRODUCTION TO GLEN VILLAGE COUNTRY ESTATE
2. PURPOSE OF THE ARCHITECTURAL GUIDELINES
3. ARCHITECTURAL DESIGN GUIDELINES
4. PLANNING GUIDES

- A. STREETSAPES
- B. BUILDING LINES
- C. PLAN FORMS & HEIGHTS
- D. EXTERNAL WALLS
- E. MATERIALS, METHODS & COLOURS
- F. YARDS AND DIVISIONS
- G. ROOFS
- H. CHIMNEYS
- I. WINDOWS AND DOORS
- J. CARPORTS / PERGOLAS AND TRELLISES
- K. PAVING
- L. PARKING
- M. WATER AND SUSTAINABILITY
- N. LANDSCAPING
- O. PATIOS

Revisions to Edition: -2.1

Notable change made to the building lines Due to advice from town planner, Jan Vrolijk (pg-13.)


BUILDING LINES (SETBACKS) :	LESS THAN OR EQUAL TO 250M ²	GREATER THAN 250, BUT NOT EXCEEDING 500M ²
STREET BUILDING LINE	1 METER	1.5 METER
SIDE BUILDING LINE	0 METER, 1 METER ON ALL OTHER SIDES	0 METER, 1.5 METER ON ALL OTHER SIDES
REAR BUILDING LINE	1 METER, (i) 3 METERS WHERE PERIMETER OF THE SITE ABUTS AN EXTERNAL PUBLIC STREET (ii) 1.5 METERS ALONG THE SIDE AND REAR BOUNDARY OF SITE	1 METER,

5. GENERAL
6. PRECEDENT
7. ARCHITECTURAL TEAM
8. ARCHITECTURAL DESIGN REVISIONS
9. CHANGES TO ARCHITECTURAL GUIDELINES: REVISION 002

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1. INTRODUCTION TO GLEN VILLAGE COUNTRY ESTATE

Glen Village Country Estate is a residential development, extending over five phases of development, with 220 free title homes and cluster units located in a village setting.

The philosophy is to form a friendly, secure, and welcoming residential environment that enhances the quality of family and community life within a safe living environment in a secure location.

This is comprised out of 24/7 controlled access security with a Homeowner's Association (HOA) maintaining and regulating the estate.


This can appeal to all generations of homeowners, either as an investment, family dwelling or retirement home. The objective in designing Glen Village Country Estate is in search of a Cape Vernacular Archetype.

- **Free Title House / Unit Types:**
 - Freestanding House / Group Housing
 - Town Housing / Cluster Units – (29 units in phase 1 only)
- **Urban Design Characteristics:**
 - A Village Typology
 - A Human Centred Approach
 - Pedestrian Friendly Environment
 - A Visually Open and Connected Urban Space
 - Amongst Nature and Access to Communal Spaces
- **Village / Erven Characteristics:**
 - Visually Open and Connected Erven
 - A Communal Outlook
 - A Welcoming Atmosphere
 - A Variety of Unit Types
 - A Safe Environment
- **A Site-Specific Design Response:**
 - Sun Conscious
 - Creating Layered Threshold from Street to Doorstep
 - Indoor / Outdoor Design Approach
 - Blended Thresholds
 - A Nature Centred Design
- **The House / Unit Layout Design Response:**
 - Sufficient Design
 - Efficient Design
 - Utilitarian Design
 - Functional Design
 - Ensuring a Private House / Unit Feel
 - A Social / Interaction Outlook Towards the Larger Urban Context
- **A Premier Garden Route Lifestyle:**
 - The Availability of 1-, 2-, 3- & 4-bedroom Houses with Garages
 - Cape Vernacular Archetype designed Outlook with a Modern Farmhouse Typology and Style
 - Fibre Connection Point at Each House / Unit
 - Multiple House / Unit Style and Layout Options
 - Bespoke Finishes

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Glen Village Country Estate – Architectural Guidelines

- A Pristine Green Space within the Estate
- Solar Ready
- A Pet Friendly Environment

Each home should be considered, with the focus directed towards the natural movement of sun light rising in the East and setting in the West. The units are designed to blend indoor and outdoor living areas, creating positive indoor/outdoor social patio spaces, looking over the beautiful natural environment. The design intends to promote safety, privacy, and a secure environment.

Note:

The design of each House / Unit and any additions to shall favour the visual parameters towards the communal space and neighbours.

Glen Village is well located and near major arterial routes along the Garden Route Mall. It has the advantage of being located on the urban edge, allowing the homeowners to enjoy the natural connection boasting spectacular views of the Northern Outeniqua mountains.



GARDEN ROUTE: FIG: 1

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2. PURPOSE OF THE ARCHITECTURAL GUIDELINES

“Architecture is not about the object but the objective, not about the product but the process.”


Francis Kere – Pritzker prize winner 2022

The main purpose of this architectural guideline is to establish and define the architectural aesthetic and character of the overall development. To set the standard for the development and all the constituencies in the built environment constructed therein. To define and summarise the Town Planning & Development Controls as laid down in the Council Development Regulations, (George integrated Zoning scheme by-law 2017). This Architectural Guideline provides the parameters in which to create this overall aesthetic.

- Define Architectural Aesthetic & Character
- To Set an Overall Standard
 - Physical Development
 - Constituencies in the Built Environment
- To Define and Summarize (Council Development Regulations)
 - Town Planning
 - Development Controls
 - Aesthetic Parameters

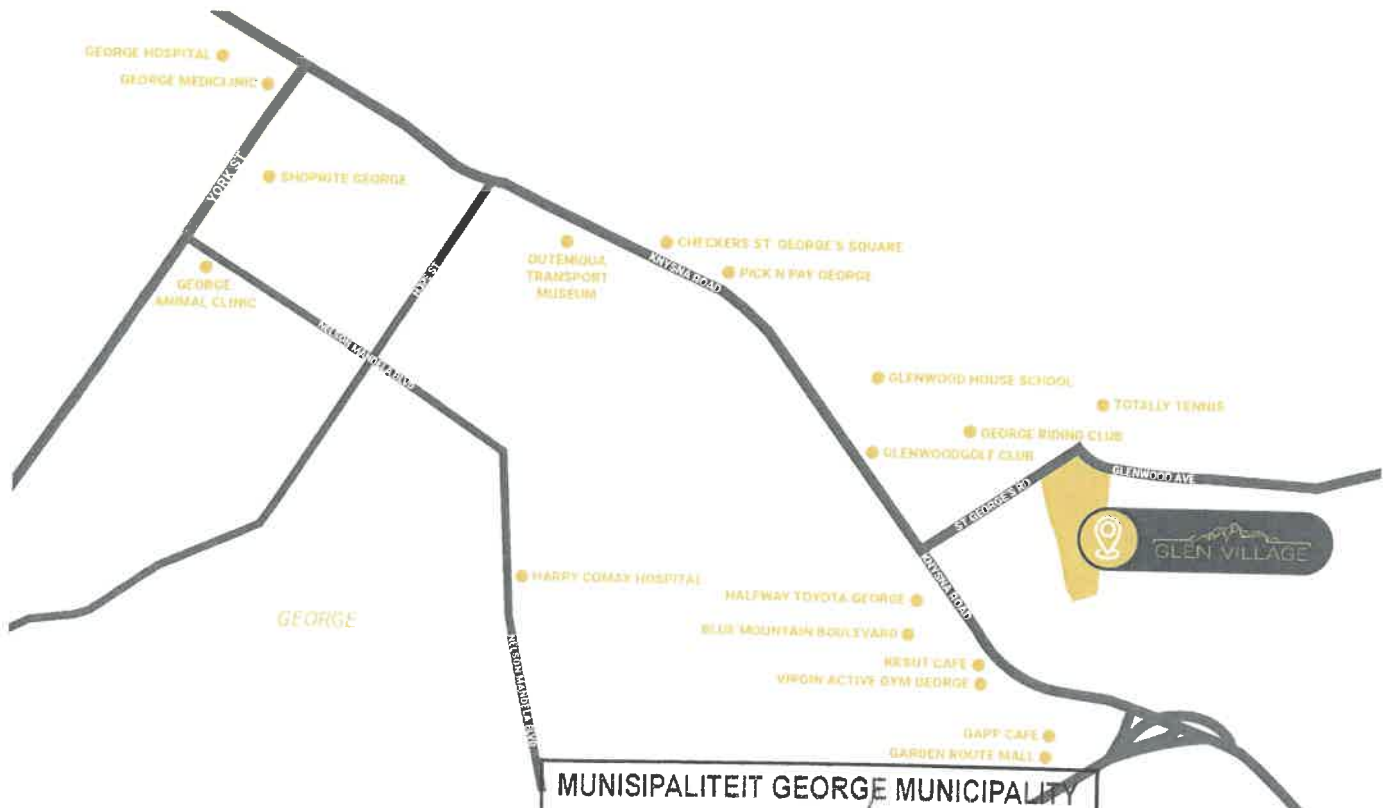
Where a designer wishes to promote a design concept that may conflict with certain conditions in the guidelines or where site conditions are such that a logical design approach may be inhibited by one or more restrictions in the guidelines, designers may approach the HOA with a formal request to discuss their proposal and to apply for exemption from those specific conditions in the guidelines.

- HOA Communication Process
 - HOA (Homeowners Association)
 - Formal Application to the HOA with regards to
 - A Promotion
 - A Suggestion
 - A Request
 - Receive Feedback from HOA
 - Approval
 - Exempt
 - Denied

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LOCALITY MAP 1: FIG: 2



LOCALITY MAP 2: FIG: 3

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3. ARCHITECTURAL DESIGN GUIDELINES

The design language intends to bring together the quintessential elements of Cape Vernacular Architecture:

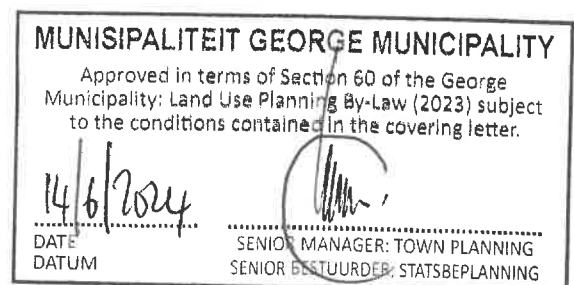
Cape Vernacular Architecture is a traditional style of architecture that originated in the Western Cape region of South Africa during the 18th century. It is characterized by a fusion of Dutch, French, and British building styles, adapted to the local climate and materials.

Typical features of Cape Vernacular Architecture include pitch roofs, white-washed walls, gabled ends, and verandas supported by slender columns. The use of natural materials such as stone, brick, charcoal-coloured roofs and timber is also a hallmark of this style. The architecture is known for its simple yet elegant design, with a focus on functionality and practicality.

Over time, Cape Vernacular Architecture has evolved to incorporate modern elements while still maintaining its traditional charm. It remains a popular choice for residential and commercial buildings in South Africa and has gained popularity internationally for its unique aesthetic appeal.

Aesthetic Language and Objectives:

- **Cape Vernacular Architype Elements**
 - Pitch Roofs
 - White-washed Walls
 - Gable Ends
 - Verandas
- **Residential House / Unit Objectives**
 - To Achieve a Residential Community Homogenous Design
 - Variety of Design Option
 - To Create a Harmonized Living Experience
- **Construction Constraints Objectives**
 - To guide the use of
 - Materials,
 - Colours,
 - Styles Of Roofs
 - Other Elements to Retain a Balanced Environment.
- **Restrictions**
 - This document is not intended to restrict the homeowner from having creative liberties on their property, but to ensure that those liberties do not impede on the neighbourhood aesthetic.
 - Additions / Alterations should positively add to the overall vision and aesthetics.



Estate Development Phases:

Glen Village Country Estate is also subdivided into smaller internal villages (4 Phases), flowing into one another. All the villages have the same Cape Vernacular architecture that remains true to the classic George style with varying degrees of contemporary influences. Every village has slightly different features, with the overall focus on creating an internal identity for every homeowner and phase.

- **Glen Village**
 - 4 Phase Development
 - Interconnected / Dynamically Linked
 - Every village has slightly different features, with the overall focus on creating an internal identity for every homeowner.

Deviations to the general design guidelines (for structures) can be done so with a written application. These deviations will be subject to HOA approval and will be based on merit for the individual property. Such approved deviations, if any, will not set any precedents for future planning.

- **Deviations**
 - Will be considered.



GATE HOUSE: FIG 4

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UPDATED PHASE 1 + 2 SITE PLAN – FIG: 5

4. PLANNING GUIDES

A. STREETSAPES

- Streetscapes
 - All buildings to be placed parallel to the street building line in the interest of a homogenous streetscape.
 - The road reserves of all internal roads and proclaimed public open spaces will be landscaped.
 - The pavements and green walkways on the curb edge well either be paved or planted with indigenous vegetation.
 - The building of high street Boundary Walls / Yard Walls is discouraged in an effort to prevent the development of a typical suburban streetscape that has a 'tunnelling effect'.
 - Privacy from the street is intended to be improved through the growth of foliage.
 - Large glass panes should be softened by architectural devices such as awnings or pergolas over these areas, this is typically required for enclosed patios.

This development is intended to have a Village aesthetic, and therefore each unit has a responsibility towards to greater overall street edge, in respecting a similar architectural language.



STREETSCAPE – FIG: 6.a

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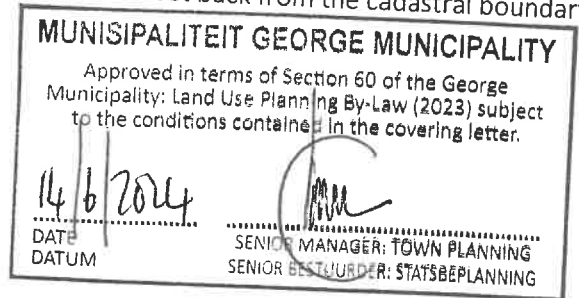
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B. BUILDING LINES

Definitions:

- The Building Area includes as part of coverage:
 - The House / Unit consists out of:
 - Internal Living Spaces, and the Covered Patio are to be set back from the cadastral boundary.
 - This Excludes: (Within set municipal limits)
 - Pergolas
 - Open Courtyards / Yards
 - Boundary Walls and fences.
 - Garages and Carports
- Building Line Council / HOA Regulations in Relation to:
 - Erf Area
 - The Boundary Line
 - This is the Distance Measure from Centre of Boundary Wall, cadastral boundary line.
 - As set out by Land Surveyors General Plan.
- Structures in relation to Erf / Building Line
 - Boundaries
 - As set out by Land Surveyor
 - Guest Parking
 - As demarcated on the Building Plan and site development plan
 - Carports
 - The Carport must be located within the Property Boundary Lines.
 - Pergolas
 - The design shall favour the Visual Parameters towards the Communal Space and Neighbours.
 - Awnings
 - Shall not cross Buildings Lines
 - Patios
 - Enclosed Patios shall be fitted with an Awning to adhere to HOA Aesthetics and the Council XA Calculation Submission, to control direct solar heat gain.
 - Patios shall not cross Buildings Lines.
 - Yards
 - Yard walls (Height 1.8m Max.) may be built onto the Boundary Line.
 - Garages
 - Garages must be set back 5m from the front street curb edge. (Phase 2-4 design parameter)
 - Fire Walls – National Fire Regulation
 - Openings (windows and doors) may not be closer that 1m from the boundary, if the opening is closer, the boundary division wall must be a fire wall, matching the height of the opening.
 - If Garages are adjoined, there must be a fire wall that protrudes 1 meter beyond the opening and as high as the Garage door opening.
 - Building Apron
 - The Building Apron shall have a width of 400mm or more. Always favouring greenspace.
 - Building Lines
 - Street Building Lines – please refer to the Building Line Table below.
 - Side Building Lines – please refer to the Building Line Table below.
 - Rear Buildings Lines – please refer to the Building Line Table below.
- Deviations
 - Consolidation of Erven
 - No consolidation of erven will be permitted without written approval of the HOA. The decision of the HOA in this regard shall be final and binding on the owner.



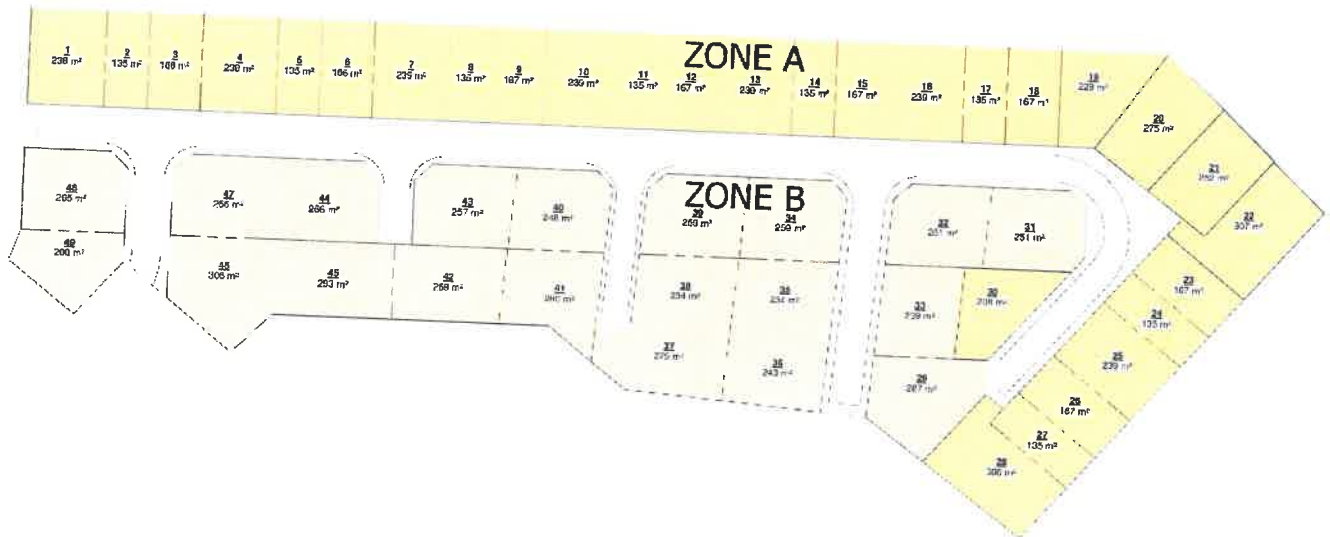
PHASE 1: TOWN HOUSING & GROUP HOUSING - BUILDING LINES (CONSTRUCTION SETBACKS):

- Phase (1) – Approved zoning rights and of the development and subdivisions allows for 49 erven. As per approved SDP in 2015. “O” Meter building lines were allowed for the Garages on the street edge for the town housing component (units 1-28 + 30).

PHASE 1 - BUILDING LINES

BUILDING LINES (Setbacks from cadastral boundary)	ZONE A – Town Housing	ZONE B – Group Housing
Street building line	0 Metre	1 Metre
Side building line	0 Metre on side 1 Metre on all other sides	0 Metre on side 1 Metre on all other sides
Rear building line	1 Metre	Central cluster 0 Metre on both sides 0.5 Metre

PHASE 1 -



Phase 1 layout – FIG: 6.b

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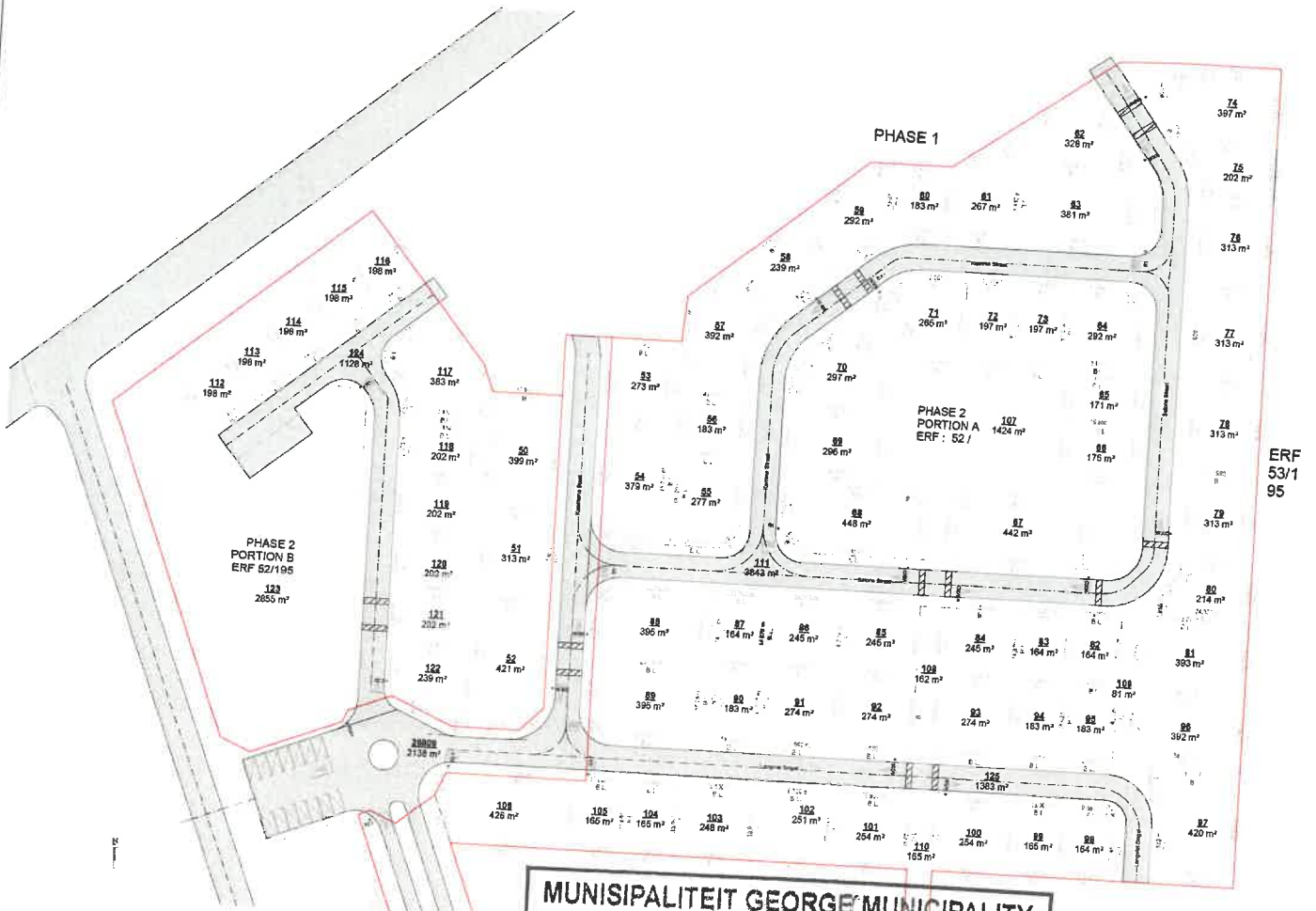
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PHASE 2: GROUP HOUSING - Building Lines (Setbacks):



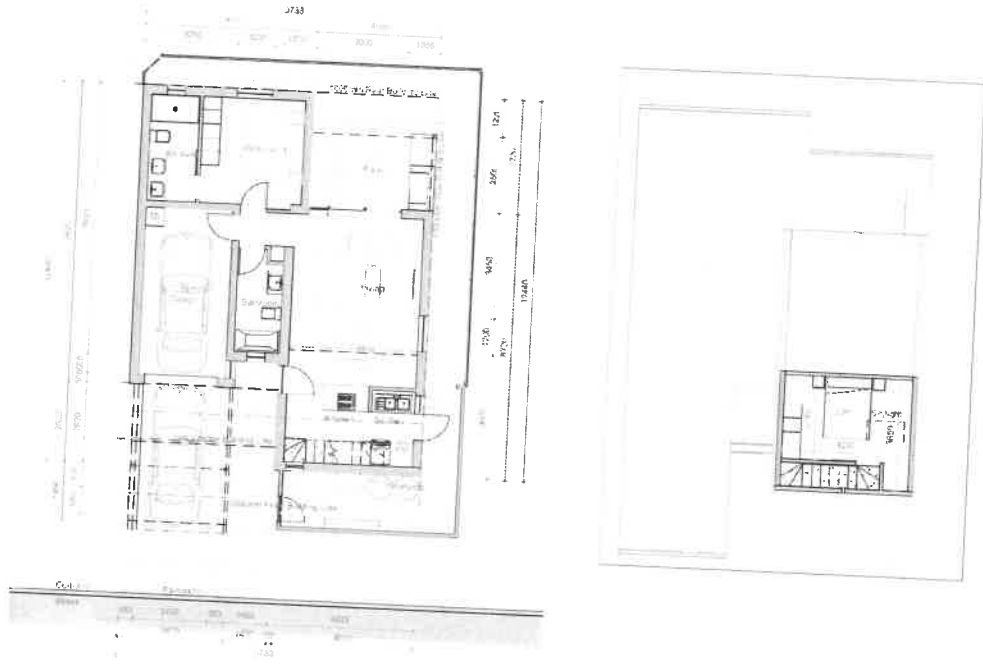
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PHASE 2: CADASTRAL PLAN: FIG 7

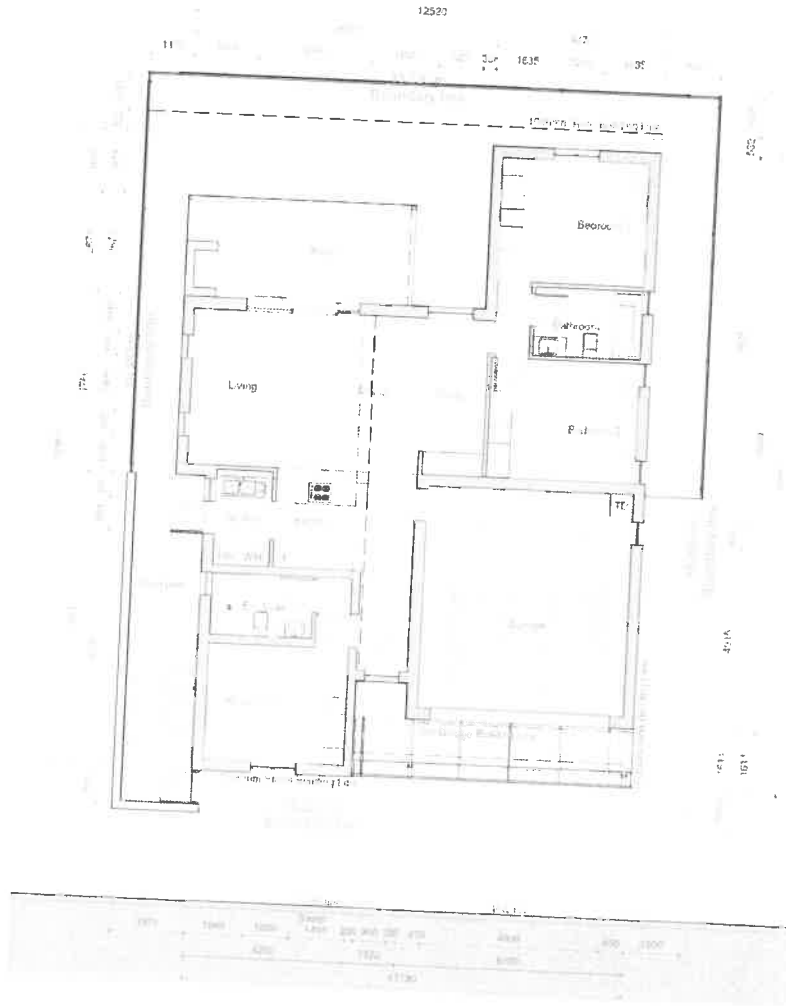
PHASE 2 - BUILDING LINES – Group Housing

BUILDING LINES (SETBACKS) :	LESS THAN OR EQUAL TO 250M ²	GREATER THAN 250, BUT NOT EXCEEDING 500M ²
STREET BUILDING LINE	1 METER	1.5 METER
SIDE BUILDING LINE	0 METER, 1 METER ON ALL OTHER SIDES	0 METER, 1,5 METER ON ALL OTHER SIDES
REAR BUILDING LINE	1 METER,	1 METER,
	(i) 3 METERS WHERE PERIMETER OF THE SITE ABUTS AN EXTERNAL PUBLIC STREET (ii) 1.5 METERS ALONG THE SIDE AND REAR BOUNDARY OF SITE	

- Yard & Garage building line = 0 Meter on side boundaries: and can form part of the side boundary wall.
- Garage building line and setback from street curb edge = 5 Meter: Garage door facing the private road must be set back at least 5 metres from the kerb, to provide a private right of way servitude for vehicle access to the property.



EEN C: LOFT TYPE: FIG: 8



DRIE C: FIG: 9

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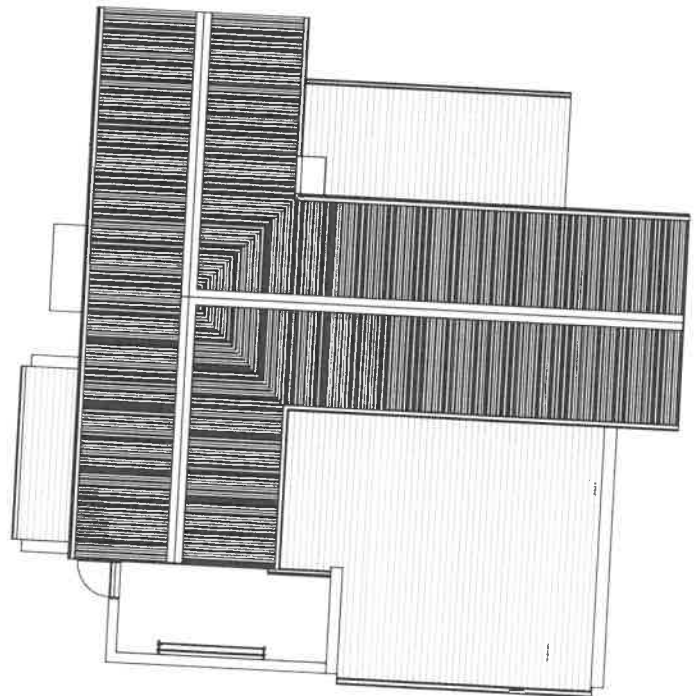
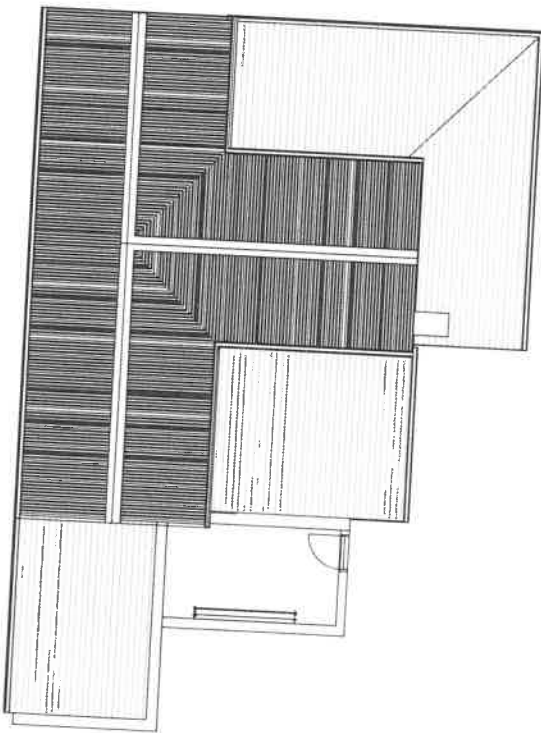
C. PLAN FORMS & HEIGHTS

The plan forms of the homes are either rectangular or composite rectangles in shape. The house forms are to be composed of major and minor plan elements with limited widths. These forms can be linked by flat or lean to roof elements. (H, L, U & T) Shaped roof layouts are most recommended. Maximum width of the Main Form, to keep to the estate aesthetics.

- Plan Forms & Heights
 - Building Form Options
 - Rectangular
 - Composition Rectangular

Non-parallel rectangular forms may only be used where the erf shape is not rectangular and subject to HOA approval.


The maximum height of all dwellings to be in accordance with the municipal regulations for Residential Zone 1 and Residential Zone 2. Heights will be measured from natural ground level. (8.5m Maximum), lofts and double storey units are all subject to HOA approval – double storey units are discouraged as not to prevent views for neighbours, although loft spaces are allowed within elevated eaves. That conform to municipal standards.



ROOF PLANS – REV: 2 FIG: 10

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D. EXTERNAL WALLS

- Walls
 - All external walls with windows to be minimum 280mm cavity walls.
 - For aesthetic and functional reasons cavity walls may be enlarged to create deeper reveals.
 - Traditionally thick walls were constructed in a multifunctional nature and allowed the homeowners to create an array of functions such as cupboards, shelves, holders, secret enclaves, and bay windows to be incorporated into thick walls - subject to SABS requirements & HOA approval.
- Plinth
 - A plinth may be introduced in either plastered and painted finish or stone cladding finish. Material finish - subject to HOA approval.
 - The Plinth to be limited to areas equal to the finish ground floor level - subject to HOA approval.
- Scale / Proportion / Measurements

Homes are designed to emulate a natural proportioning system containing a (Base, Middel & Top) a footing, body, and head. This is a natural order of relatable proportions adding to the overall charm of the estate.



SHOW UNIT RENDER – FIG: 11

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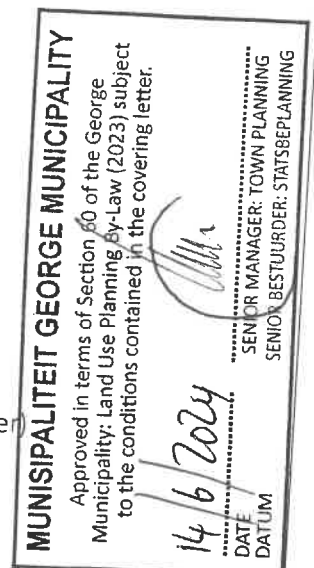
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E. MATERIALS, METHODS & COLOURS

- Wall Finishes
 - Exterior Non-Building Related Walls
 - Site Boundary wall
 - All common rear boundaries to be constructed as either a solid brick walls or Clearview fence to improve visual privacy and must be approved by the HOA.
 - The wall colour and finish must match the dwelling in plaster and paint.
 - Yard / boundary wall
 - The preferred construction methodology is to make use of a weather coated fence that is to be overgrown by an indigenous shrubs, creeper, or hedges.
 - Exterior / Interior Building Related Walls
 - All the walls of the homes will be constructed with brick or approved building material.
 - Walls are to be plastered and painted (or similar aesthetic), no exposed face brick will be permitted.
 - It must be noted that the preferred white walls lean on the traditional vernacular chalk-washed walls and contrasting grey charcoal roofs colours. The aim is to create a contemporary Cape vernacular architecture, that lends from the best examples and carries them forward with an array of construction techniques and materials.
 - Textures could be introduced with scratch plastering techniques, bag wash textures, natural stone cladding and metal sheeting, all relating back to suitable and elegant proportions not detracting from the overall Cape vernacular style- subject to HOA approval.
- Windows
 - Material
 - All windows must be constructed in aluminium frame, or similar durable material.
 - A material type must be consistent throughout each House.
 - Colours
 - Match Doors / Roofs
- Doors
 - Material
 - All doors may be made up with either aluminium or timber.
 - Colours
 - Match Doors / Roofs.
 - Feature Colours to be approved by HOA.
- Garage Doors
 - Garage doors are styled to be a horizontal aluminium pattern. (No Timber)
 - Colours to match Doors / Windows / Roofs.
- Shutters
 - Material
 - Timber, aluminium and/or steel shutters are encouraged.
 - Shutters must be functional.
 - Colour
 - The colour is to match that of the windows and doors of the house, or natural treated timber.
- Posts
 - Galvanised steel posts, painted to match the pergola frame or timber.
 - Detailed timber posts must be treated.



- Columns
 - Brick columns / Plastered / Painted
 - Galvanised steel posts, painted to match the pergola.
- Roofs
 - Material
 - Roof coverings to be roof sheeting-Chromadek, or standing seam sheeting in approved colours, ranging from a dark charcoal to a light grey. See reference image below.
 - Colours
 - The colours and finishes of all the approved roofing materials will be according to a finishing schedule prepared by the HOA. - Factory painted steel or aluminium roof sheeting



SHOW UNIT – FIG: 12

- Types
 - Pitched Roofs
 - Average Gradient of 40 degrees
- Mono-pitched Roofs
 - Sheetting-Chromadek, Polly-carbonate or approved clear Perspex can be applied over entrances or on pergola structures.



ROOF RENDER– FIG: 13

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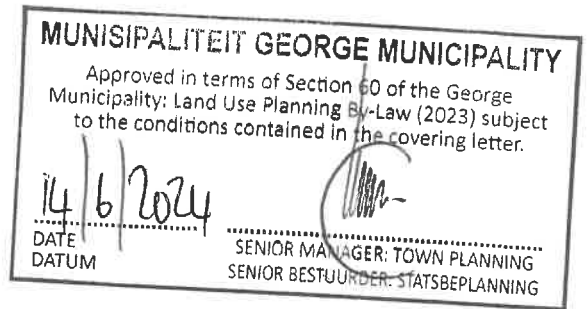
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Glen Village Country Estate – Architectural Guidelines

- **Masonry**
 - All walls to be constructed out of masonry, no frame / cladded structured walls will be allowed.
- **Paving & Hardscaping**
 - **Construction Material**
 - Building Apron
 - Cerement charcoal cobbles.
 - Sidewalk
 - Cerement charcoal cobbles.
 - Driveway
 - Cerement charcoal cobbles.
 - Carport / Guest Parking
 - Cerement charcoal cobbles.
 - Street
 - Bevelled herringbone cement paver.
 - **Colours**
 - Hardscaping of driveways and paving will be constructed from either grey / charcoal cobble stones, edging feature may incorporate cemented dump rock.
- **Curbing**
 - Curbing will be either a precast cement finish or paving as per the civil engineer's specification.
- **Chimneys**
 - Plastered and painted masonry or stone cladded chimneys will be allowed. If not cladded with stone, the chimney colour must match that of the colour of the house – Subject to HOA approval.
- **Steel Structures**
 - **Carports restrictions are:**
 - Carports to be designed and form an integral part of the design.
 - Sheeting will be allowed if incorporated into the design.
 - No premanufactured carports or shade cloth carports will be allowed.
- **Pergolas & Trellises**
 - The recommended construction methodology is that of a galvanised steel frame that is mounted and fixed to walls and cladded with treated timber or slatted aluminium louvers.
 - Timber is vulnerable to warping and damage if not properly maintained, these elements must be looked after by homeowners and can be instructed by the HOA that maintenance must be done, in order to ensure the estate is well kept.
 - Design Proposals should be approved by HOA before construction.
- **Awnings**
 - All awnings may be made up with either steel, aluminium, or treated timber.
- **Solar Panels**
 - Colour to be aligned with the roof colour.
 - Solar Panel to be one colour (frame and body) – Colours charcoal or black.
- **Water Tanks / Storage:**
 - Rainwater collection in water tanks is intended for garden watering, and grey water systems, these tanks are to be standard green or grey "JoJo" type tank of 1000 – 5000 litres for phase 1 - as per council approval.

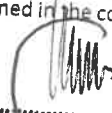


Glen Village Country Estate – Architectural Guidelines

- Tanks are to be positioned and to be screened by trellises if located outside the yard space, as per above chapter.
- **Balustrades restrictions are:**
 - Can be either, stainless steel, metal, glass, or timber, the design is to be HOA approved.
 - All balustrades are to be discreet and functional.
- **Airconditioning units**
 - The AC units & condensers to be located within the yard space.
 - The AC unit should be concealed as per Estate Aesthetics Guidelines and recommended specification and not affect communal space and neighbours.
 - All pipes to be fully concealed, no trunking will be allowed.
- **Toolshed**
 - To be placed within the confines of the yard. Material should be complementary to the house and estate, subject to HOA approval.
- **House Numbering**
 - Will be provided by the developers; customisation will be considered by the HOA.
- **Exterior Lighting**
 - Light specifications to be complementary to the existing installations.
 - Aesthetics
 - Communal Space and Neighbours will take preference with regards to the installation, location and direction of exterior lighting.



ROOF RENDER– FIG: 13

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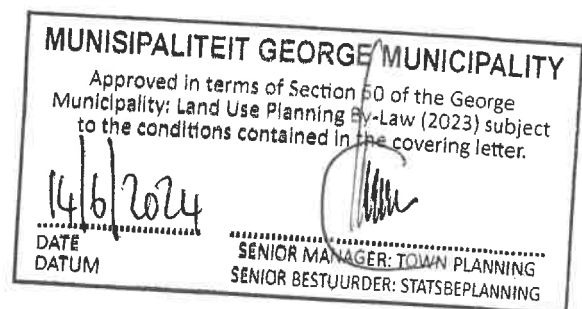
F. YARDS AND DIVISIONS

The Three wall types discussed here are –Estate perimeter walls, Site Boundary walls & Yard walls.

- Estate perimeter wall –
 - Given that the whole of the development will have a secure perimeter and be constructed as per the George City council enforced requirements.
 - 60 % of wall on municipal street front to be transparent, this related only towards a public street edge, walls adjoining the adjacent estate may be solid walls.
 - This in effect creates safer public streets.
- Site Boundary wall
 - Boundary walls are placed along a boundary line to divide and separate erven.
 - These may be applied for and constructed by homeowners on application, subject to HOA approval and will not be the developer's responsibility.
 - Boundaries lines relate to the SG diagram and Site diagram for each erf.
 - No solid boundary wall(s) are to be built over existing municipal services.
 - The design of individual site boundaries will form part of the visual extension of the buildings and blend in with the architectural character of the development.
 - The main function of the low Yard / Boundary walls is to create a sense of privacy and restrict movement of domestic animals and young children; these will be provided for by the developers as per the specification and may be improved upon through correct HOA approval processes.
 - The intended architectural aesthetic of the Yard / Boundary walls are low green hedges that form the boundary distinctions, with simple openings and doorways into the garden. The preferred construction methodology is to make use of a fence that is to be overgrown by an indigenous shrub or hedge, these will be maintained by the HOA to form a soft green boundary and homogenous streetscape.
- Yard walls
 - Yard walls to be constructed of brickwork, plastered and painted.
 - The height of these walls should not exceed 1.8m unless for fire protection purposes.

General Notes:

- All solid / permanent division walls must be indicated on the plans and provided for approval by HOA before installation or construction.
- No modifications or additions to the estate perimeter wall or fences around the estate shall be permitted unless council approval is obtained.
- Homeowners should be extremely considerate in this regard towards their neighbours and the effect it has on communal space. Lighting on the boundary walls should not cause visual disturbance to neighbours.
- Visual privacy - it is important that individual property owners ensure that homes are designed in a manner which respects the need for private outdoor space of neighbouring properties - planters, hedges, water features, and simple well maintained treated timber trellises can be used.
- No Electrical Fencing will be allowed on an individual property.

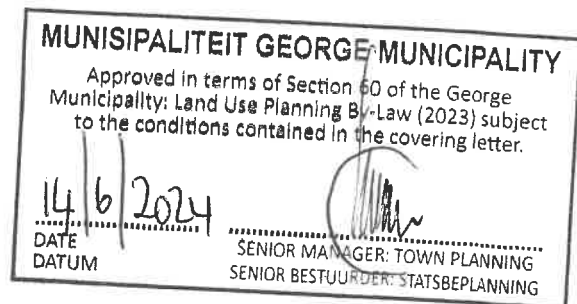


G. ROOFS

- Roofs
 - Skyline
 - Roof forms have a major impact on the skyline and on the overall visual appearance of the Estate and should therefore be designed with care and consistency.
 - Roof Angles
 - Pitch
 - The estate regulations will allow hipped and gabled roofs on the major plan forms, between 30- and 40-degrees pitches. Average residential pitch is set at 40 degrees.
 - Flat
 - Where lean-to roofs (min. 3 degrees – Only when using a standing seam profile – 5 degrees when using standard IBR or S-profile) as for covered patios & garage carports.
 - Roof Materials (Under Material and Colours)
 - Parapets
 - Waterproofing
 - Method
 - Material flashing not to be visible on the facades.
 - Plaster / Paint
 - No Tiles / Coping method will be allowed.

H. CHIMNEYS

- Chimneys
 - Beacon
 - These are important elements in the architectural composition of the house, as they form the highest point and generally stand as the central focal node of social events.
 - Extraction cowl
 - Steel Cowl, design and colour is subject to HOA approval.
 - Fireplaces
 - It is necessary to design functional countertop- and storage spaces at the base near the braai area; these functional spaces may be enclosed with timber or aluminium doors if required.
 - Firebricks are a recommended finish within the fireplace.



I. WINDOWS AND DOORS

- **Windows And Doors**
 - Fenestration (doors and window openings) are to be addressed as a unique feature for homes. These are the “eyes” of a house (Feature elements). They play an important role as light draws attention to textures, colours, and form within a space.
- **NHBRC Compliant**
 - Windows and doors are to comply with the requirements as per the NHBRC / XA Calculations. The proportions are flexible in its length or breadth, yet non-rectilinear.
- **Vertical Window**
 - Vertically placed / proportioned windows will be preferred over horizontally placed / proportioned windows.
- **Proportions**
 - The optimal proportions are 2:1 (length to breadth).
- **Shadings devices over openings**
 - **Reduced Glare**
 - If a large opening such as a stacking or sliding door is used, either a roof covering or pergola is mandatory to reduce the glare of the glazed area, unless the door or window is South facing.
 - **XA Calculation**
 - XA Calculation (Council Submission Requirements) must be taken in consideration with regards to new openings on exterior facades.



UNIT PATIO EXAMPLE FIG: 14

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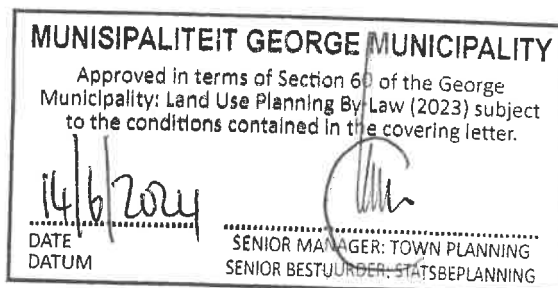
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J. CARPORTS / PERGOLAS AND TRELLISES

- Pergolas And Trellises
 - Function
 - Pergolas and trellises are used as an architectural device to blend the division between the indoor and outdoor space, they are lightweight structures that create dappled light, and often create beautiful shadows (painting with shadows) as light shines through a perforated plane onto the walls and floors of a house.
 - Pergolas serve a multifunctional purpose aesthetically and functionally and can be used in an array of spaces to give definition and softening of edges.
 - Maintenance
 - This is the responsibility of each individual home owner, the HOA may enforce maintenance instructions if necessary.
 - Screening
 - It is as well recommended to grow indigenous creeping plants and vines onto these structures and will bring a natural softening to the houses. The use of pergolas is encouraged in areas such as carports, verandas, to frame entrances and to screen water tanks.
- Additional Structures / Carport Detail
 - Carport structures should be designed and constructed consistent within the existing frameworks of lightweight structures; the developer has intentionally designed these structures as low maintenance steel structures, although structural timber carports will be considered. Carports can either be uncovered or covered with steel sheeting or polycarbonate. It is important to remain a 5-degree fall for water disbursement with a gutter on edge.

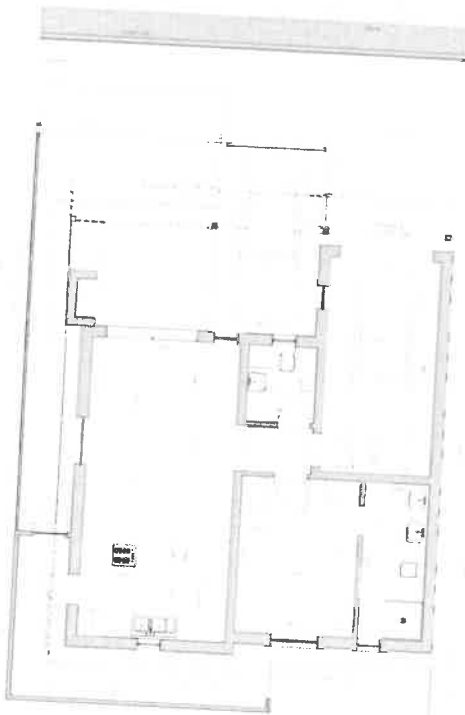
K. PAVING

- Paving
 - Paving & Hardscaping
 - Hardscaping of driveways and paving will be constructed from either grey / charcoal cobble stones or cemented dump rock on edge.
 - The estate limits the amount of hardscaping to prevent large homogeneous paving area.
 - Driveway material should not cross over the boundary line.
 - Hardscaping
 - All further hardscaping on the yard must be approved by the HOA and should never exceed more than 70% of the overall open site - greenery and natural vegetation is an essential feature of the estate.
 - Municipal Service Covering – Paving vs Concrete.
 - Paving should be installed over all municipal services as opposed to cemented surfaces, this applies to all roads, sidewalks, and driveways, as it promotes the maintenance of the services.



L. PARKING

- Parking
 - Parking is an extremely important aspect in relation to the liveability of any estate and should be maximised to accommodate visitors, yet not create a sea of parking and some of the visitors parking should be allowed for on grass surfaces.
- Council Regulated Parking
 - Parking Allowance
 - Homeowners are subject to council regulated parking allowances as per unit types and areas.
 - Each property should provide 2.25 parking spaces of which 0.25 is for visitors.
 - Grass Parking
 - Allowed for visitor Less than 24hours.
 - Not allowed for long term.
 - Street Parking
 - Each homeowner is intended to have visitors park on their own property, or they may park at designated visitors' bays or off the street, yet this should not affect the traffic flow within the estate.
- Garages are included in the built area.
 - Garages are included in the built area for units (Coverage).
 - Carports are not included in the built area – sides not to be enclosed.
- Obstructions
 - Homeowners may not place dustbins or any other item that may impede on the entrance of their neighbours' driveways.



PARKING - PHASE 2

PARKING PROVIDED 196 bays

AVE BAYS PER UNIT 3.4 B/U

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DATE	SENIOR MANAGER: TOWN PLANNING
DATUM	SENIOR BESTUURDER: STADSBEPLANNING

UNIT PARKING EXAMPLE FIG: 15

M. WATER AND SUSTAINABILITY

- Water And Sustainability
 - Sustainable Ecosystem
 - Glen Village encourages the ideal of a self-sustainable ecosystem, we would like our community to be forward thinking about the environment. See the wholistic sustainability diagram below.
 - Energy
 - Solar Panels
 - Solar Panels – colour to be aligned with the roof colour/ charcoal
 - To be positioned flush with the sheeting, and substructure allowed on pitched roofs only.
 - Only solar panels may be visible on the roof.
 - Solar geysers with visible cylinders not allowed.
 - It is recommended to make use of a standing seam profile sheeting as it is possible to clamp on, as opposed to drilling fixtures into the sheeting.
 - Energy Consumption Devices
 - It is also recommended to make use of low energy consuming appliances and lightbulbs.
 - Gas
 - Gas tanks are encouraged as they are energy efficient. Max 2 x 19 KG tanks stored in a health and safety compliant cage or within yards. Gas system must have a valid COC – certificate of compliance.
 - Rainwater Collection and Storage
 - Collection
 - Gutters
 - Roof to be fitted with gutters for water collection purposes.
 - Downpipes
 - To run vertically down from gutters
 - No downpipe may cross a space horizontally to collection points.
 - Storage
 - Only HOA approved water tanks will be allowed.
 - Concealed or within allocated yard space of each erf.
 - Where the water tank is located outside a yard space, the water tank must be visually concealed with cladding.
 - Fibre Cement / Handy Planks, painted to match white walls.
 - Wood
 - Corrugated sheeting
 - HOA approval needs to be obtained.
 - Water Tank Aesthetics
 - Rainwater collection in water tanks is intended for garden watering, and grey water systems. These tanks are to be standard green or grey “JoJo” type tank of 1000 – 5000 litres - as per council approval.
 - Storm Water Run-off
 - Rainwater run-off that cannot effectively be channelled to rainwater storage tanks should be channelled into the street storm water system or dispersed on the stand in a controlled way to avoid erosion and the potential damage to properties at lower levels.
 - Water-saving Measurements Recommendations

- Low flowing shower heads and taps.
- Dual flush low flow toilet cisterns.
- House Waste
 - Collection
 - Municipal Waste Collection will be serviced to each erf, garbage bins must be wheeled out on the day and returned to the yards once completed.
 - Storage
 - Individual Yards
 - No waste may be left visible, except on the collection day.
 - Recycling
 - Material Recycling is encouraged, this is a conscious effort / habit-based responsibility.
- Building and Garden Waste
 - The removal of these material is the responsibility of each homeowner.



SUSTAINABILITY: REV 2 FIG 16

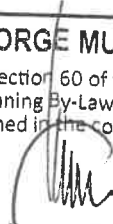
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N. LANDSCAPING

- Landscaping
 - Natural Endemic Environment & Localized Ecosystem
 - Indigenous flora and fauna such as grassland and fynbos are encouraged to homogenise the estate with its natural endemic environment and localised ecosystem.
 - Indigenous Flora and Fauna
 - Exotic Plants
 - It is ideal for gardens to have many indigenous plants; however, gardens may have a maximum of 30% exotic plants, excluding harmful alien species.
 - Harmful Alien Species
 - Not allowed.
 - Design Objectives
 - Sense of Place
 - Landscaping throughout the estate is intended to soften the architecture and create a “sense of place”. The landscaping design ensures that the development is sensitive to the environment and will encourage the incorporation of various indigenous flora and fauna - that will be replanted from the site, contributing to natural food for birds and other small living creatures, enabling coexistence within a healthy environment.
 - Poison / Pest Control
 - Homeowners are cautioned in using poison, pest control to be directed to HOA. Homeowners must be mindful that the estate has gradual thresholds that allow for landscaping between properties to be connected and must not use pesticides that could harm neighbouring personnel, animals, or fauna.
 - Stormwater
 - Planting or built structures should not obstruct stormwater flow. Surface level stormwater on each individual site should be taken into consideration, prior to any major material changes this should be submitted to HOA for approval.
 - Animal movement
 - When designing or installing any solid divisions it is vitally important to consider the movement of stormwater and opening should be provided in boundary walls, these openings will also be used by the small animal life and insects all contributing to a healthy natural flowing environment.
 - Green Space
 - It is encouraged that homeowners retain as much greenspace as possible and do not pave over any green areas. Additional paving is subject to the HOA approval. No more than 70 % of the open site area may be paved.
 - Maintenance
 - Landscaping in the parks & common property will be maintained by the Glen Village Management.

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- Preferred Plant Species
 - List of Species
 - Plants are encouraged to be indigenous.
 - Detailed recommended Plant Species List:

Trees:

Olive Trees:

- *Olive europaea* (Wild olive)

Coastal Trees:

- *Erythrina caffra* (Coastal Coral)
- *Olea europaea* (Wild olive)
- *Buddleja saligna* (False olive)
- *Aloe bainsii* (Tree aloe)

Citrus Trees:

- *Citrus eurika* (Lemon tree)

Pear and Assegaai Trees:

- *Syzigium guineense* (Water pear)
- *Curtisia dentata* (Assegaai)
- *Searsia lancea/pendulina* (Karee)

Mahogany Trees:

- *Trichillea emetica* (Natal mahogany)
- *Curtisia dentata* (Assegaai)

Mixed Trees:

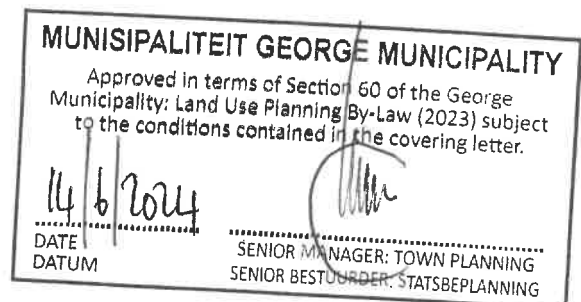
- *Buddleja saligna* (False olive)
- *Burchellia bubalina* (Wild pomegranate)
- *Halleria lucida* (Tree fuchsia)
- *Diospyros whyteana* (Bladder-nut)
- *Canthium inerme* (Turkey-berry)

Aloe Trees:

- *Aloe ferox* (Bitter aloe)

Grasses (Mix 1):

- *Aristida junciformis* (Ngongoni three-awn)
- *Melinis repens* (Natal red top)
- *Calamagrostis epigejos* (Bushman grass)
- *Crocosmia* spp.



- Dierama
- Salvia 'Beautiful Blue' (Hybrid Wild Sage)
- Chasmanthe aethiopica (Cobra lily)
- Aloe maculata (Soap aloe)

Flowering Filler (Mix 2):

- Chasmanthe aethiopica (Cobra lily)
- Agapanthus 'nana'
- Salvia 'Beautiful Blue' (Hybrid Wild Sage)
- Aristeia ecklonii (Blue stars)
- Gladiolus spp.

Shrub Options (Hedge):

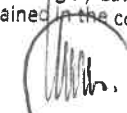
- Carissa bispinosa (Num-num)
- Brachylaena discolor (Coast silver oak)
- Buddleja saligna (False olive)
- Ocimum labiatum (Pink sage)
- Coleonema album (Confetti bush)
- Rosemary officinalis (Rosemary)
- Searsia crenata (Dune crowberry)
- Polygalla myrtifolia (September bush)

Low Mix (Vygies):

- Delosperma spp.
- Lampranthus spp.
- Gazania rigens (Trailing gazania)
- Bulbine abyssinica (Bushy bulbine)
- Cotyledon orbiculata (Plakkie)
- Carpobrotus spp. (Sour fig)

Protea Mix:

- Aristida junciformis (Ngongoni three-awn)
- Erica 'Little Pink'
- Leucospermum cordifolium (Pincushion)
- Protea repens and other spp.
- Arctotis spp. (African daisy)

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Glen Village Country Estate – Architectural Guidelines

- *Gazania rigens* (Trailing gazania)
- *Leucodendron argenteum* (Silver tree)
- *Leucodendron discolor* (Red devil)
- *Agathosma glabrata* and *capensis* (Buchu)
- *Helichrysum patulatum* (Gold carpet)

Herb Patch:

- *Mentha piperita* (Mint)
- *Matricaria chamomilla* (Chamomile lawn)
- Lemon verbena (Lemon Beebrush)
- *Sage officinalis* (Common sage)
- *Sutherlandia frutescens* (Cancer bush)
- *Gazania* (Sacrificial plant)
- Salad garnishings: Kappertjies and pansies, Chilli peppers, Basil, and tomatoes
- Brassica (English mustard lawn)
- Rose geranium (Sweet-scented geranium)
- *Leonotus leonorus* (Wild dagga)
- *Salvia rosmarinus* (Rosemary)
- *Anethum graveolens* (Dill)

Deep Marsh Mix or Hydroseeding:

- *Bolboschoenus maritinus* (Alkali bullrush)
- *Juncus capensis* (Cape Rush)
- *Juncus krausii* (Matting Rush)

Shallow Marsh Mix:

- *Cyperus longus* (Sweet gallingdale)
- *Cyperus textilis* (Basket Grass)
- *Isolepis prolifer* (Vleigras)
- *Juncus Krausii* (Matting Rush)
- *Kniphofia uvaria* (Red Hot Poker)
- *Mentha aquatica* (Water Mint)
- *Pennisetum macrourum* (African feather Grass)
- *Scripoides nodosus* (Round-headed Rush)
- *Wachendorfia thyrsiflora* (Bloodrot)

Wetland Marsh Mix:



Glen Village Country Estate – Architectural Guidelines

- *Cliffortia ferruginea* (Glastee)
- *Elegia tectorum* (Cape thatch reed)
- *Juncus lomatophyllus* (Leafy juncus)
- *Lobelia anceps* (Angled lobelia)
- *Monopsis lutea* (Gold lobelia)
- *Orpheum frutescens* (Sea-rose)
- *Plecostachys serpyllifolia* (Cobweb bush)

Gravel:

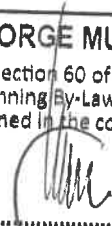
- Gravel: Honey Quartz @ 0.075m thick

Bidim:

- A2 Kaytech/Africa Geo-Textiles Geo-fabric to be laid under gravel.

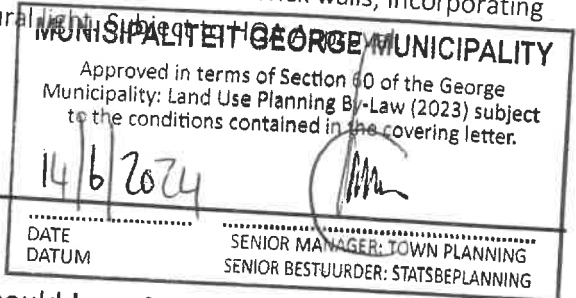
Boulders:

- Boulders (0.3 to 1.2m dia.)

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O. PATIOS

- **Open Design:** Patios and braai areas are, as a standard, non-enclosed spaces, with only a roof covering. This design allows for an open and airy atmosphere, promoting outdoor living.
- **Patio Enclosing:** In some cases, homeowners may wish to enclose their patios for various reasons such as climate control or privacy. When enclosing patios, specific guidelines should be followed. This must be approved by HOA.
- **Methods of Enclosure:**
 - **Glazing & Aluminium Frame:** If glass panels are used, they should be set within a sturdy aluminium frame. Openable doors and windows within the enclosure are encouraged to allow for ventilation and versatility.
 - **Brick Walls with Glass Features:** Alternatively, patios can be enclosed with brick walls, incorporating large glass sliding doors and windows to provide natural light. Subject to HOA approval.



5. GENERAL

- **General**
 - Any changes or improvements to the building should be referred to the HOA for approval. Changes that are bought about that are not aligned with the estates aesthetic or necessary approvals will be deemed to be removed or demolished at the owner's expense.
 - All finishes should be considered in relation to the finishing schedule approved by the HOA.
 - Downpipes to be painted the same colour as the roof.
 - Aerials and satellite dishes not to project above the roof ridge line.
 - Decorative superficial detailing is discouraged, form should follow its function.
 - All air-conditioning condensers should be screened. Window mounted units will not be permitted. Mounted units will only be allowed if below 1.2m height taken above the finished floor level, with appropriate screening.
 - All clothing lines, gas cylinders and waste bins should be screened with a 1.8m high wall or within the service courtyard.
 - No externally mounted burglar bars and security gates are allowed. Burglar bars and security gates must compliment the building design and overall appearance. Sections should preferably be hidden behind window mullions; translucent toughened plastic bars are advised to meet a well-balanced recommendation.
 - All lighting on the exterior of the building or in the garden to be low intensity and to be positioned thus to not shine into the living areas of adjacent units. Not to impede on neighbours. No bright exterior, garden and security lighting will be allowed.
 - Lighting to be as unobtrusive as possible.
 - All architectural illustrations represented in this document are artists impressions. Final plans to be signed by landowners on council submission.

- **Maintenance**

- All public facilities & property belonging to the developers are under the maintenance responsibilities of the estate, any maintenance defects to be notified to HOA, general upkeep is the beating heart of a looked after community, with each homeowner honouring the same responsibility towards his own property.

- **House Keeping**

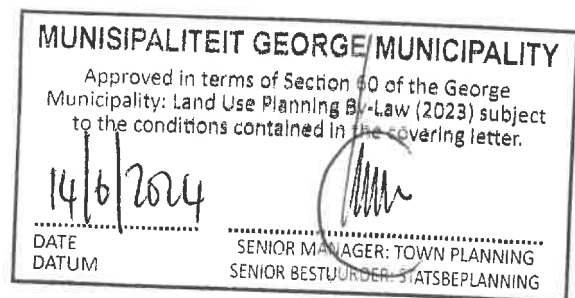
- Waste Bins and Waste Collection
- Washing Lines
- Gas Bottle Storage
- Geysers Position
- Gully
- Hosepipe
- Outside Taps
- Garden Shed / Tool Storage

- **Any minor or major construction work**

- Must go through the HOA and be subject to Council Submission Regulations
- Must use a Construction Company Listed / Registered at Glen Village Country Estate.
- Construction Time Allowed, as per the estate constitution and HOA rules and regulations.

- **Construction Companies Listed / Registered at Glen Village Country Estate**

- Registration Process
 - References
 - Security, vetting process of all employees
 - HOA Approval



6. PRECEDENTS



Note: The images on this page are provided for reference purposes only. They depict the traditional Cape Dutch Style. The source of inspiration to true south African houses.

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PRECEDENT STUDIES: FIGURES 17-23





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14/6/2024

DATE
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ARCHITECTURAL PRECEDENT – CAPE VERNACULAR – CONTEMPORARY FARMHOUSE



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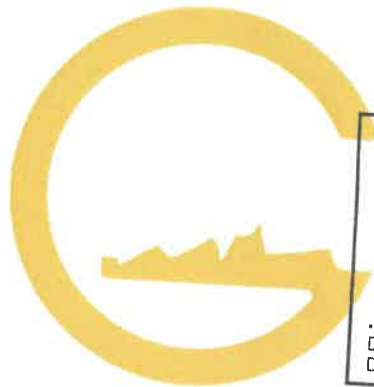
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SENIOR BESTUURDER: STADSBEPLANNING

7. ARCHITECTURAL TEAM



HOA CONTACTS & ARCHITECTURAL TEAM

Homeowners contact	:	zjac@glenvillagegeorge.co.za	:	Zjac Pieterse
Concept Architect	:	Gerrit Pieterse	:	Lapalaka Property Projects
082 350 5353	:	Gerrit@lapalaka.com		
Implementation Architect	:	Pierre Durant	:	Techtrust Architects
082 482 8339	:	pierre@techtrust.co.za		
Architectural Technologist	:	Max Turner	:	Quill Designs
072 843 8979	:	quill.designs@gmail.com		



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8. ARCHITECTURAL DESIGN REVISIONS

- **Architectural Design Revisions**
 - Based on the design and technical requirements for each unit, homeowners can make alterations to the plans prior to construction at a set cost.
 - The process is initiated by contacting the Local Architect (See professional team attached) – a deposit of R10,000 for design changes is submitted to initiate the correct procedures of Estate and Municipal approvals where necessary.
 - Costs will apply and adjust to scope of change, charges in accordance with SACAP (South African Council of The Architectural Profession) hourly rates and billed to the client's account.

CLIENT NAME:

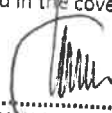
DATE

CLIENT SIGNATURE

PLACE

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SENIOR BESTUURDER: STADSBEPLANNING



9. GUIDELINES: REVISION 002



REMOVED ESTATE RENDER AND REPLACED WITH: GATE HOUSE: FIG 4

REMOVED GATEHOUSE RENDER AND REPLACED WITH: ESTATE PERSPECTIVE,; FIG 3

BUILDING LINES (SETBACKS) :	LESS THAN OR EQUAL TO 250M ²	GREATER THAN 250, BUT NOT EXCEEDING 500M ²
STREET BUILDING LINE	1 METER	1.5 METER CHANGED FROM 3M
SIDE BUILDING LINE	0 METER, 1 METER ON ALL OTHER SIDES	0 METER, 1,5 METER ON ALL OTHER SIDES
REAR BUILDING LINE	1 METER,	1 METER,
	(i) 3 METERS WHERE PERIMETER OF THE SITE ABUTS AN EXTERNAL PUBLIC STREET ADDED (ii) 1.5 METERS ALONG THE SIDE AND REAR BOUNDARY OF SITE	

ADDED

- Yard & Garage building line = 0 Meter on side boundaries: and can form part of the side boundary wall.
- Garage building line and setback from street curb edge = 5 Meter: Garage door facing the private road must be set back at least 5 metres from the kerb, to provide a private right of way servitude for vehicle access to



REMOVED DEVELOPMENT PHASES – REV: 2 AND REPLACED WITH

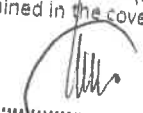
UPDATED PHASE 2 SITE PLAN: FIG 5

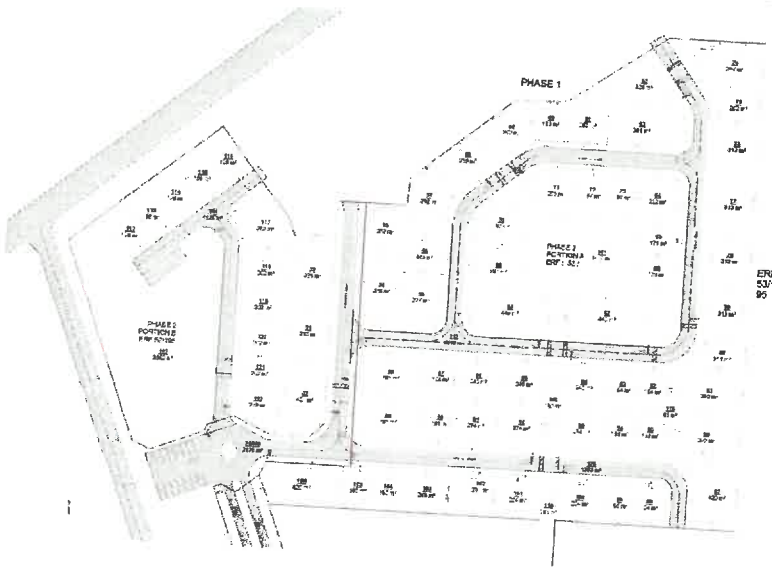
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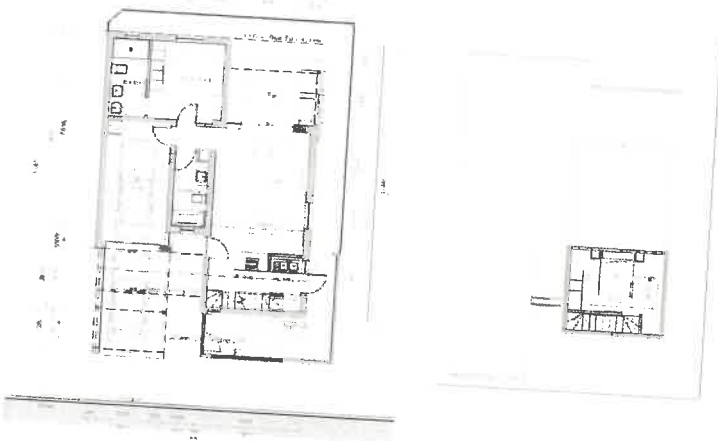
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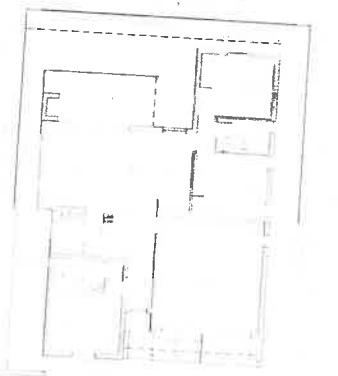


REMOVED PHASE 1: FIG 7 AND REPLACED WITH

PHASE 2: CADASTRAL PLAN FIG 7
Cadastral layout added in reference to phase 2 building lines for reference to phase



REMOVED EEN A: TYPE CLUSTER – FIG: 8 (UPDATED PHASE 2 PLAN) AND REPLACED WITH EEN C: LOFT TYPE FIG: 8 (UPDATED PHASE 2 PLAN)



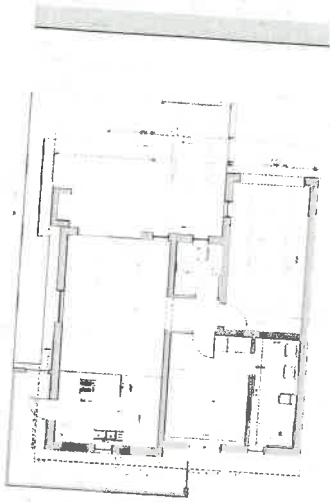
REMOVED TWEE D: UNIT TYPE – REV: 2 FIG: 9 (UPDATED PHASE 2 PLAN) AND REPLACED WITH DRIE C FIG: 9 (UPDATED PHASE 2 PLAN)

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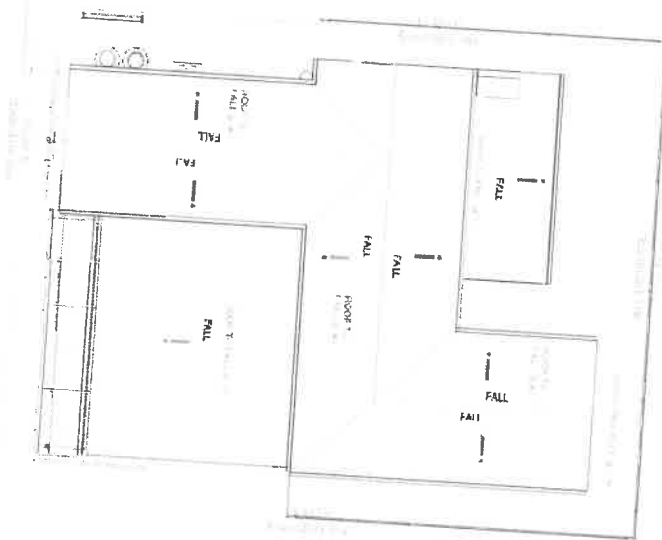
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REMOVED PARKING: REV 2 FIG 14
(UPDATED PHASE 2 PLAN) AND
REPLACED WITH
UNIT PARKING EXAMPLE FIG: 14



REMOVED ROOF PLAN
LAYOUT PHASE 2 AND
REPLACED WITH
ROOF PLAN – FIG: 10



ADDED: ROOF RENDER– FIG: 13

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ADDED: ROOF RENDER– FIG: 13



ADDED: Precedence: FIG 22



ADDED: Precedence: FIG 23

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