

**Menslike Nedersettings, Beplanning en Ontwikkeling  
Human Settlements, Planning and Development**

**Collaborator No.:** 3047803  
**Reference / Verwysing:** Erf 3974, Blanco  
**Date / Datum:** 07 June 2024  
**Enquiries / Navrae:** Primrose Nako

**Email: [marlize@mdbplanning.co.za](mailto:marlize@mdbplanning.co.za)**

MARLIZE DE BRUYN TOWN PLANNER  
PO BOX 2359  
GEORGE  
6530

**APPLICATION FOR DEPARTURE (BUILDING LINE RELAXATION):  
ERF 3974, BLANCO**

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.17.1.17 of 30 June 2023 decided that the application for Departure in terms of Section 15(2)(b) of the Land Use Planning By-law for George Municipality (2023), for the relaxation of the southern rear boundary building line from 3m to 1.06m to allow for a covered patio on Erf 3974, Blanco;

**BE APPROVED** in terms of Section 60 of the said By-law for the following reasons:

**REASONS:**

- (i). The proposed development will not have an adverse impact on the character of the area or the environment or adjacent property owners' rights.
- (ii). The addition is a common development on residential properties and will not negatively impact the neighbouring properties.
- (iii). Surrounding property owners and HOA have no comments or objections to the proposed development.

Subject to the following conditions imposed of Section 66 of said Bylaw, namely:

**CONDITIONS OF THE DIRECTORATE: HUMAN SETTLEMENTS, PLANNING AND DEVELOPMENT:**

1. That in terms of Section 18(2) of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within a period of five (5) years from the date it comes into operation.
2. This approval shall be taken to cover only the departure application as applied for and as indicated on the site layout plan, plan no. 23/07/DW – 001 Rev 1 and 23/07/DW – 002 Rev01, drawn by Huneberg Viljoen dated 9 Nov 2023 (2x plans) attached as “**Annexure A**” which bears Council’s stamp and shall not be construed as to depart from any other Council requirements or legal provision.
3. The above approval will be considered as implemented on the issuing of the occupation certificate in accordance with the approved building plans.

Note:

- (i) A building plan must be submitted for approval in accordance with the National Building Regulations (NBR).
- (ii) The owner must take note that according to the National Building Regulations Part R and SANS 10400 Part F4(2) and the applicable clauses within the George Municipality's By-Law, the owner may not change/amend or cause surface runoff on the property collect/pond/discharge, and which may potentially cause damage to or unduly inconvenience a neighbouring property. Specific reference is made to the George Municipality's By-Law Relating to Stormwater, clauses 25, 26 and 32 to 35 (including all sub clauses).
- (iii) Stormwater must be dispersed responsibly, and the stormwater management and erosion measures must be addressed on the building plans.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Human Settlements, Planning and Development, P O Box 19, George, 6530 or Directorate: Human Settlements, Planning and Development, 5th floor, Civic Centre, York Street, George **on or before 28 JUNE 2024** and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully

  
**C. PETERSEN**  
**SENIOR MANAGER: TOWN PLANNING**

C:\Marisa\Decisions\_New By-Law Pro formas\_(applicant)\Erf 3974, Blanco( departure\_approval )mdebruyn.docx



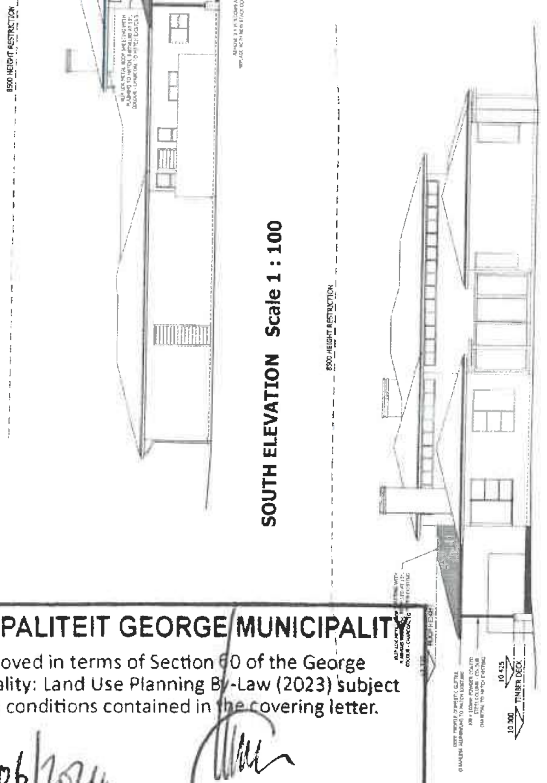
**MUNICIPALITEIT GEORGE MUNICIPALITY**

Approved in terms of Section 10 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

07/06/2024

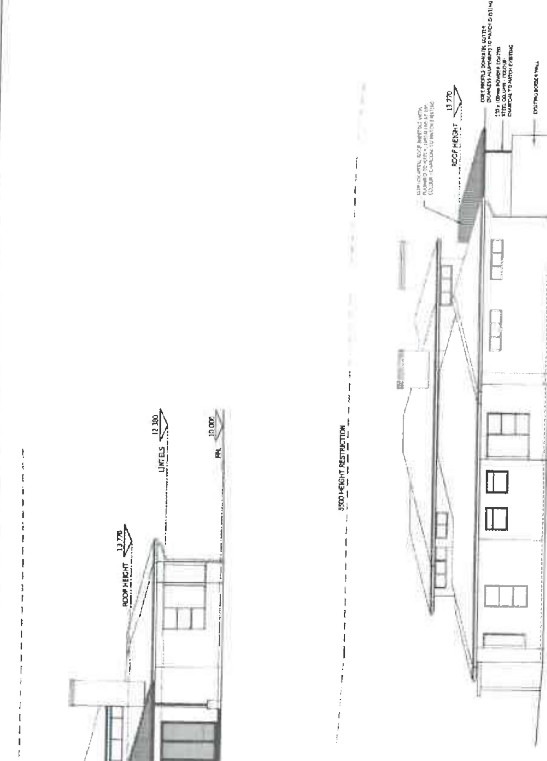
DATE  
DATUM

SENIOR MANAGER: TOWN PLANNING  
SENIOR BESTUURDER: STATSBEPANNING



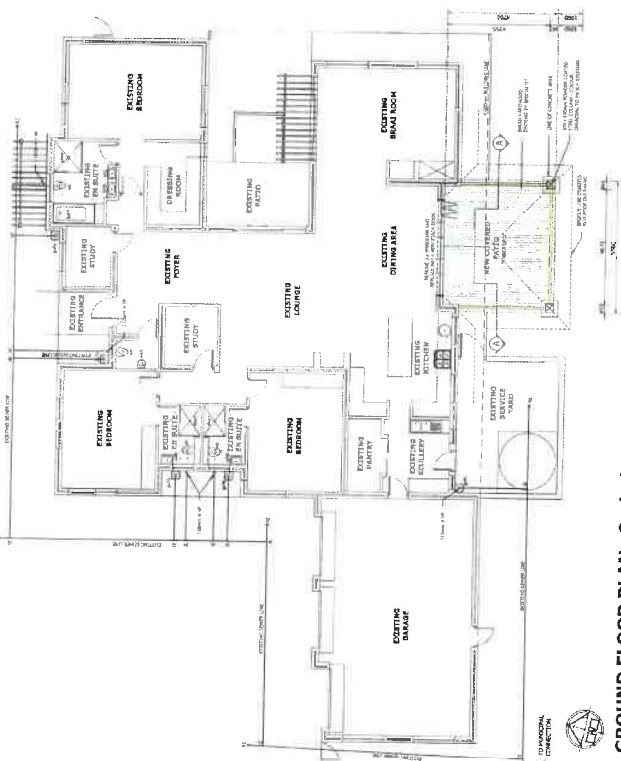
**SOUTH ELEVATION Scale 1 : 100**

**EAST ELEVATION Scale 1 : 100**



**WEST ELEVATION Scale 1 : 100**

**SECTION A - A Scale 1 : 100**



**GROUND FLOOR PLAN Scale 1 : 100**

**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL ELECTRICAL REGULATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE APPLICABLE AUTHORITIES.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL ELECTRICAL REGULATIONS.

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7. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE APPLICABLE AUTHORITIES.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL ELECTRICAL REGULATIONS.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

**WORKSHEET REVISIONS**

NO.	DATE	BY	DESCRIPTION
1	07/06/2024	...	...

**PROPOSED NEW COVERED PATIO**  
for EXBUSICON  
ON ERF 3974,  
MONTAGU RIDGE,  
FANOURT,  
GEORGE.

**FLOOR PLAN, ELEVATIONS & SECTION**

DRAWING NO: 23/07/DW - 002

DATE: 07/06/2024

SCALE: AS SHOWN

PROJECT: EXBUSICON

CLIENT: ...

DESIGNER: ...

APPROVALS:

DATE: 18 JUL 2023

DATE: 9 NOV 2023

AS SHOWN

23/07/DW - 002 REV 01