

**Menslike Nedersettings, Beplanning en Ontwikkeling
Human Settlements, Planning and Development**

Collaborator No.: 3022713
Reference / Verwysing: Erf 3381, George
Date / Datum: 07 June 2024
Enquiries / Navrae: Marisa Arries

Email: ianvrolijk@jvtownplanner.co.za

JV TOWN PLANNER
PO BOX 710
GEORGE
6530

**APPLICATION FOR SITE DEVELOPMENT PLAN, LANDSCAPING PLAN AND
ARCHITECTURAL GUIDELINES: ERF 3381, GEORGE**

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.17.1.17 of 30 June 2023 decided that the following applications for Permission in terms of Sections 15(2)(l) of the Land Use Planning By-law for George Municipality, 2023 applicable to Erf 3381, George:

1. Approval of the Site Development Plan (SDP) for the new Town Housing development in terms of condition 3 of approval letter dated 1 September 2023 applicable to Erf 3381, George, Attached as **Annexure A**, with Plan no. Sheet No. 001; A 02; A1 02; B 02; C 02; CM 02; E 02; 003; 004; 006 dated 17 January 2024, Sheet No. D 02 dated 14 January 2024 drawn by UB Professional Architectural Design and stormwater Plan no. 2460- 01 - REV 1 dated December 2023 drawn by Shama Consultants;
2. Approval of the Landscaping Plan for the new Town Housing development in terms of condition 4 of approval letter dated 1 September 2023 applicable to Erf 3381, George attached as **Annexure B** with Landscape Plan no. 002 dated 17 January 2023 drawn by UB Professional Architectural Design;
3. Approval of the Architectural Guidelines for the new Town Housing development in terms of condition 4 of approval letter dated 1 September 2023 applicable to Erf 3381, George attached as **Annexure C**, Revised version (1) dated 19 February 2024 prepared by Una Breedt;

BE APPROVED in terms of Section 60 of the said By-law for the following reasons:

REASONS FOR DECISION

1. The proposal meets the requirements of Section 65 of the Land Use Planning Bylaw for George Municipality, 2023.
2. The proposed development is consistent with the approval 1 September 2023.
3. The proposed SDP is in line with the George Integrated Zoning Scheme By-Law, 2023.

Note: The abovementioned plans include specific engineering and construction details as well as outdoor advertising proposal. To make it clear, the above approvals are only to ensure compliance with town planning requirements and thus, cannot be construed to be approval, support or condoning of such specific engineering and construction details or the outdoor advertising proposals. Rather, these matters must be addressed as part of the respective building plan and outdoor advertising applications.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Human Settlements, Planning and Development, P O Box 19, George, 6530 or Directorate: Human Settlements, Planning and Development, 5th floor, Civic Centre, York Street, George **on or before 28 JUNE 2024** and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

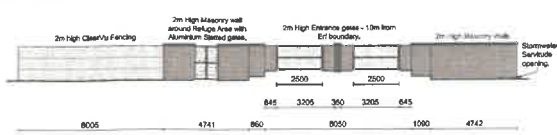
Yours faithfully



C. PETERSEN

SENIOR MANAGER: TOWN PLANNING

C:\Marisa\Decisions_New By-Law Pro formas_(applicant)\Erf 3381, George(sdp and architectural guidelines approval_jvrolijk).docx

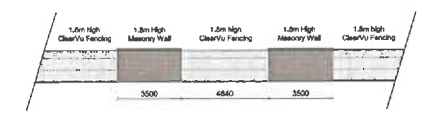


STREET BOUNDARY ELEVATION - SCALE: 1:100

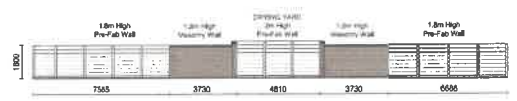


NORTH-WEST BOUNDARY ELEVATION - SCALE: 1:100

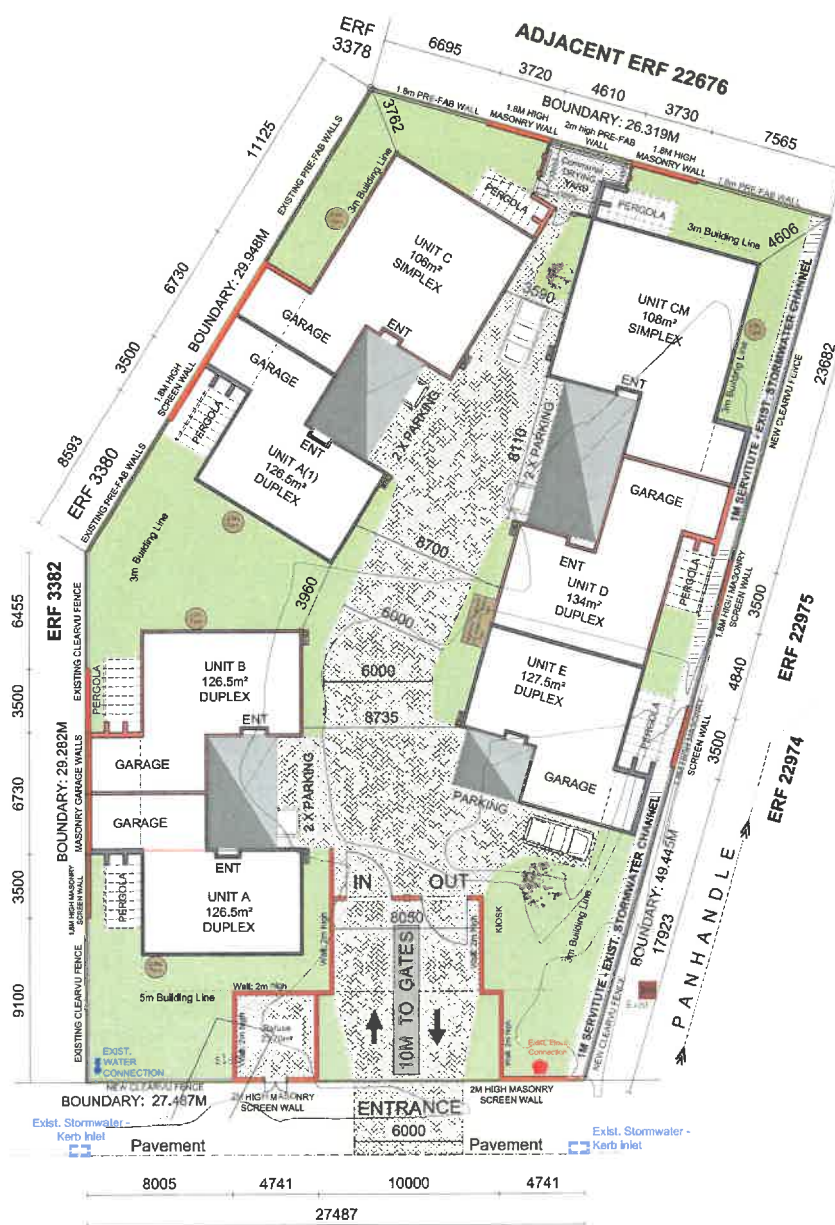
WEST BOUNDARY ELEVATION - SCALE: 1:100



EAST BOUNDARY ELEVATION - SCALE: 1:100



NORTH BOUNDARY ELEVATION - SCALE: 1:100



MUNICIPALITEIT GEORGE MUNICIPALITY
 Approved in terms of Section 40 of the George Municipality Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

07/06/2024
 DATE DATUM

SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURDER: STADSBEPLANNING



DEMOLISHED HOUSE

- BOUNDARY WALLS:**
 - Cape Red Travertine, Top Brick: Plaster & Paint
 - Pre-Fabricated Walls - Painted to match buildings.
 - ClearVu Fencing.
- PRE-FAB WALLING**
 1.8m High ClearVu Fencing
 2m High Entrance & Refuse Walls
 Garage walls on Boundary area: 1.8m High Screen Walls

- PAVING**
 4800 / 26.4%
- Green Area**
 612m / 3%
- Shaded Parking**

- EXIST. Electr. Connection**
MAIN Water Connection
 Underground Water Tanks: Units D & E
 2.5kl Water Tanks
 Netic GAS & Bn Cage with Aluminium Slatted Doors (1 per Unit)
 Communal DRYING YARD - North Boundary 14m²



Project Number: 338123
 Date: 17 JANUARY 2024
 LOCATION:
 ERF 3381, 3 MEYER STREET, GEORGE.
 Description of Drawing:
SYMPHONY
 SITE DEVELOPMENT PLAN
 SDP PURPOSES
 Sheet No: 001
 Scale: As Indicated
 Owner / Client: PP
 Date: 17 JANUARY 2024

AREA SCHEDULE:

UNITS A+B:	293m ²
UNITS A1 + C	232.5m ²
UNITS GM, D + E	363.5m ²
TOTAL:	855m ²
FOOTPRINT:	552.5m ²
ERF AREA:	1645.9m ²
TOTAL COVERAGE:	38%

ERF 3381 - 3 MEYER STREET - GEORGE
SITE DEVELOPMENT PLAN - SCALE: 1:100
 SYMPHONY TOWNHOUSES

NOTES

1. All work to be in accordance with the latest editions of the following standards: SANS 10400-1:2012, SANS 10400-2:2012, SANS 10400-3:2012, SANS 10400-4:2012, SANS 10400-5:2012, SANS 10400-6:2012, SANS 10400-7:2012, SANS 10400-8:2012, SANS 10400-9:2012, SANS 10400-10:2012, SANS 10400-11:2012, SANS 10400-12:2012, SANS 10400-13:2012, SANS 10400-14:2012, SANS 10400-15:2012, SANS 10400-16:2012, SANS 10400-17:2012, SANS 10400-18:2012, SANS 10400-19:2012, SANS 10400-20:2012, SANS 10400-21:2012, SANS 10400-22:2012, SANS 10400-23:2012, SANS 10400-24:2012, SANS 10400-25:2012, SANS 10400-26:2012, SANS 10400-27:2012, SANS 10400-28:2012, SANS 10400-29:2012, SANS 10400-30:2012, SANS 10400-31:2012, SANS 10400-32:2012, SANS 10400-33:2012, SANS 10400-34:2012, SANS 10400-35:2012, SANS 10400-36:2012, SANS 10400-37:2012, SANS 10400-38:2012, SANS 10400-39:2012, SANS 10400-40:2012, SANS 10400-41:2012, SANS 10400-42:2012, SANS 10400-43:2012, SANS 10400-44:2012, SANS 10400-45:2012, SANS 10400-46:2012, SANS 10400-47:2012, SANS 10400-48:2012, SANS 10400-49:2012, SANS 10400-50:2012, SANS 10400-51:2012, SANS 10400-52:2012, SANS 10400-53:2012, SANS 10400-54:2012, SANS 10400-55:2012, SANS 10400-56:2012, SANS 10400-57:2012, SANS 10400-58:2012, SANS 10400-59:2012, SANS 10400-60:2012, SANS 10400-61:2012, SANS 10400-62:2012, SANS 10400-63:2012, SANS 10400-64:2012, SANS 10400-65:2012, SANS 10400-66:2012, SANS 10400-67:2012, SANS 10400-68:2012, SANS 10400-69:2012, SANS 10400-70:2012, SANS 10400-71:2012, SANS 10400-72:2012, SANS 10400-73:2012, SANS 10400-74:2012, SANS 10400-75:2012, SANS 10400-76:2012, SANS 10400-77:2012, SANS 10400-78:2012, SANS 10400-79:2012, SANS 10400-80:2012, SANS 10400-81:2012, SANS 10400-82:2012, SANS 10400-83:2012, SANS 10400-84:2012, SANS 10400-85:2012, SANS 10400-86:2012, SANS 10400-87:2012, SANS 10400-88:2012, SANS 10400-89:2012, SANS 10400-90:2012, SANS 10400-91:2012, SANS 10400-92:2012, SANS 10400-93:2012, SANS 10400-94:2012, SANS 10400-95:2012, SANS 10400-96:2012, SANS 10400-97:2012, SANS 10400-98:2012, SANS 10400-99:2012, SANS 10400-100:2012.

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

07/06/2024

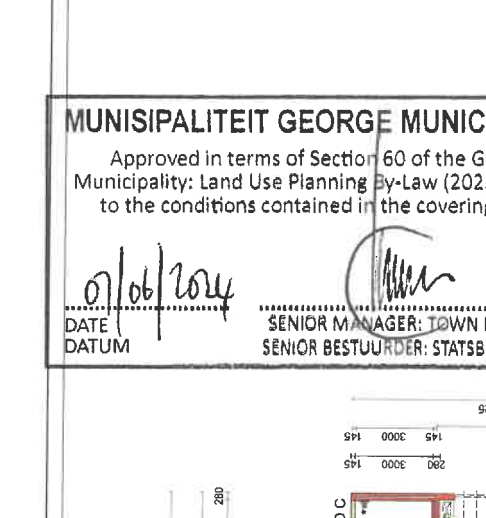
DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPLANNING

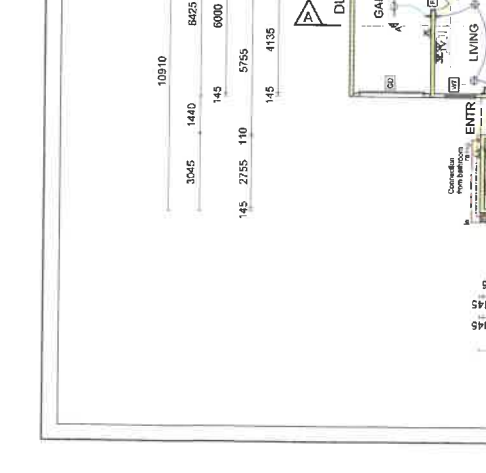
MUNISIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

10310
3045 1440 8425 200
145 6000
145 5765 145
145 4135 145
145 2755 110 5765 145
145 5205 145
145 5600 145
145 4190 145
145 110 145
1300 5890



GROUND FLOOR - 1:100



**UNIT D - NORTH ELEVATION
SCALE: 1:100**

Symbol	Description
F	FRIDGE
H	HOB
S	SINK
SV	SHOWER
WC	WATER CLOSET
WB	WASHBASIN
WM	WASHING MACHINE
GA	GARAGE AUTOMATION
DA	DATA ROUTER AND PLUGPOINT ABOVE PAVING
ST	STOVE POINT
TP	Ty Point & Conduit to Soil, Ditch
DB	DISTRIBUTION BOARD
LS	LIGHT SWITCH
W	WALL MOUNTED LIGHT

LEGEND

SURFACE LIGHT - e.g. white slim mode
150mm dia. 220V led downlight with
120mm dia. 220V led downlight with
FLOURESCENT LIGHT

4x4 1x3 & 3x2 pin (ZA Plug)
4x4 1x3 & 3x2 pin - 1.7m FFL
18 AMP 2x3 & 2x2 pin & 2xUSB
WATERTIGHT PLUG @ 500MM
DATA ROUTER AND PLUGPOINT ABOVE PAVING
VENT PIPE
50mm DIA PVC WASTE PIPE
110mm DIA PVC SEWER PIPE

ONLY LOW VOLTAGE LED LAMPS TO BE USED: ALL TO COMPLY WITH SANS 184-2

PROPOSED NEW RESIDENCE IN ENERGY ZONE 1 ACC. TO FIGURE 1, SANS 10400-XA:2021

AREA SCHEDULE:

GROUND FLOOR: 81.6m²
FIRST FLOOR: 52.5m²
TOTAL: 134m²
OPEN BRAAI PATIO: 8.25m²

UR PROFESSIONAL ARCHITECTURAL DESIGN
Units, Breakdown of materials, etc.
Call: 062 8770 944 - email: ura@urad.co.za

Project Number: 338123
Date: 14 JANUARY 2024

LOCATION: ERF 3381, 3 MEYER STREET, GEORGE.

Description of Drawings:
**UNIT D
PROPOSED NEW DUPLEX TOWNHOUSE
FLOORPLAN, ELEVATIONS & LOCALITY PLAN**

Sheet No: D 02
Scale: As Indicated

Owner/Client: PP 08-5
14 JANUARY 2024

81.6m²
52.5m²
134m²
8.25m²

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Owner/Client: PP 08-5
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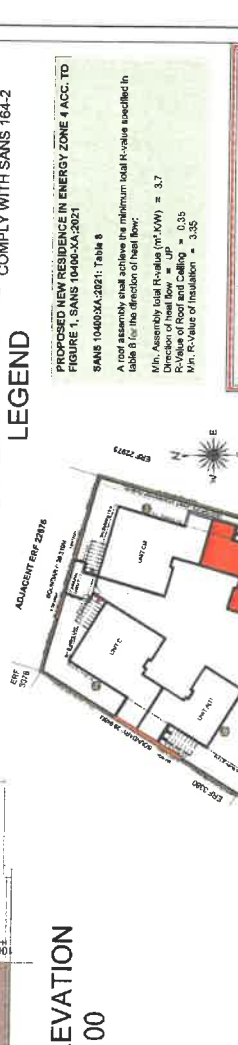
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Description of Drawings:
**UNIT D
PROPOSED NEW DUPLEX TOWNHOUSE
FLOORPLAN, ELEVATIONS & LOCALITY PLAN**



LOCALITY PLAN

81.6m²
52.5m²
134m²
8.25m²

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**UNIT D
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FLOORPLAN, ELEVATIONS & LOCALITY PLAN**

Sheet No: D 02
Scale: As Indicated

Owner/Client: PP 08-5
14 JANUARY 2024

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**UNIT D
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FLOORPLAN, ELEVATIONS & LOCALITY PLAN**

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Owner/Client: PP 08-5
14 JANUARY 2024

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LOCATION: ERF 3381, 3 MEYER STREET, GEORGE.

Description of Drawings:
**UNIT D
PROPOSED NEW DUPLEX TOWNHOUSE
FLOORPLAN, ELEVATIONS & LOCALITY PLAN**

Sheet No: D 02
Scale: As Indicated

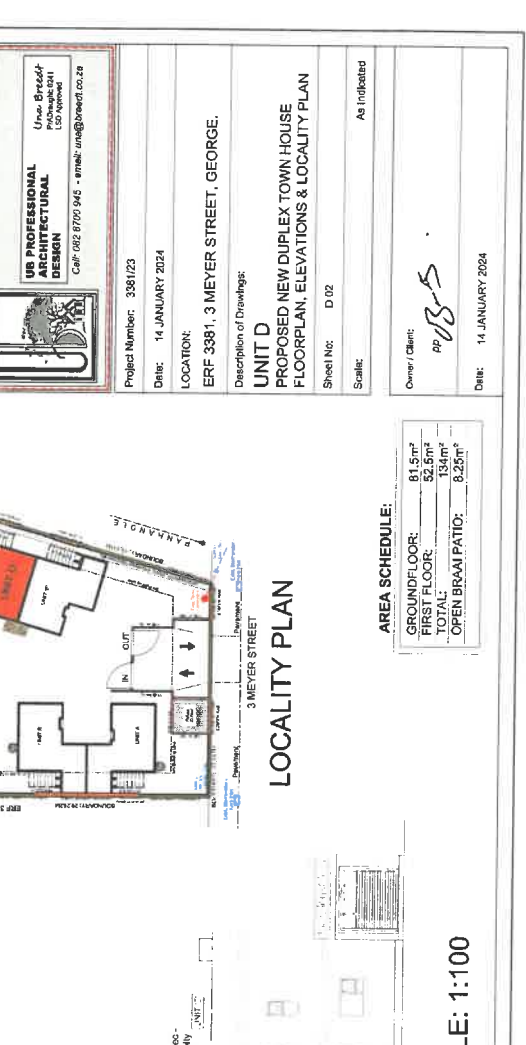
Owner/Client: PP 08-5
14 JANUARY 2024

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52.5m²
134m²
8.25m²

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Project Number: 338123
Date: 14 JANUARY 2024

LOCATION: ERF 3381, 3 MEYER STREET, GEORGE.



UNIT D - WEST ELEVATION - SCALE: 1:100

81.6m²
52.5m²
134m²
8.25m²

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Units, Breakdown of materials, etc.
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Project Number: 338123
Date: 14 JANUARY 2024

LOCATION: ERF 3381, 3 MEYER STREET, GEORGE.

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**UNIT D
PROPOSED NEW DUPLEX TOWNHOUSE
FLOORPLAN, ELEVATIONS & LOCALITY PLAN**

Sheet No: D 02
Scale: As Indicated

Owner/Client: PP 08-5
14 JANUARY 2024

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52.5m²
134m²
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FLOORPLAN, ELEVATIONS & LOCALITY PLAN**

Sheet No: D 02
Scale: As Indicated

Owner/Client: PP 08-5
14 JANUARY 2024

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52.5m²
134m²
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FLOORPLAN, ELEVATIONS & LOCALITY PLAN**

Sheet No: D 02
Scale: As Indicated

Owner/Client: PP 08-5
14 JANUARY 2024

81.6m²
52.5m²
134m²
8.25m²

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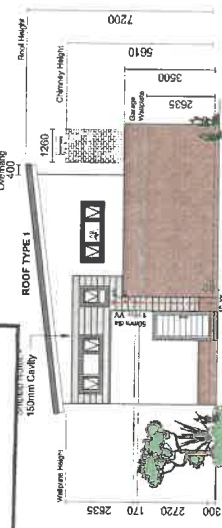
Project Number: 338123
Date: 14 JANUARY 2024

LOCATION: ERF 3381, 3 MEYER STREET, GEORGE.

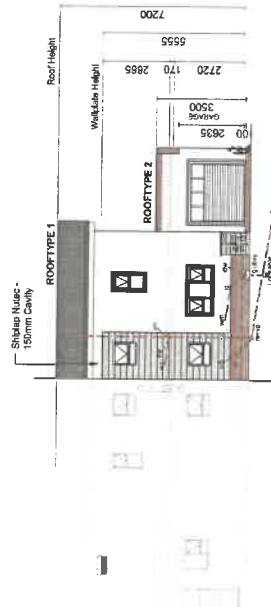
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 DATE: SENIOR MANAGER: TOWN PLANNING
 DATUM: SENIOR BESTUURDER: STADSBEPLANNING



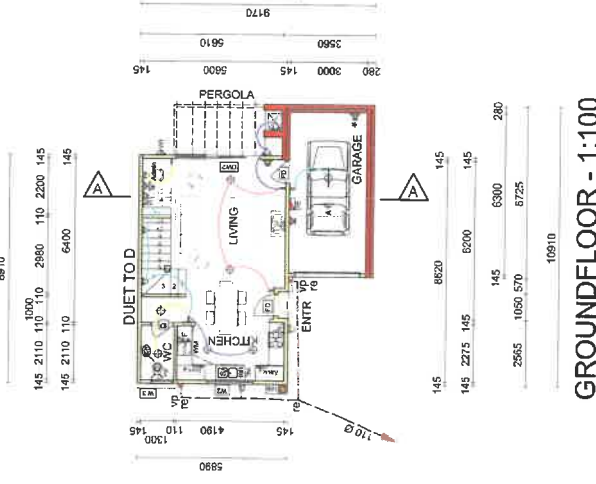
UNIT 'E' - EAST ELEVATION
 SCALE: 1:100



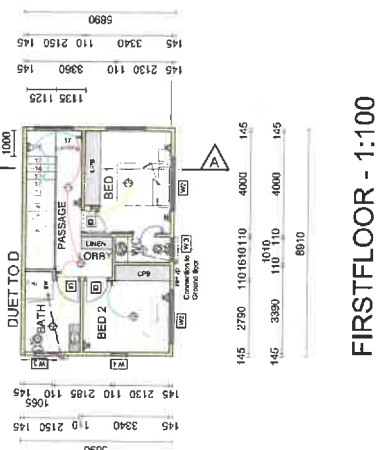
UNIT 'E' - SOUTH ELEVATION
 SCALE: 1:100



UNIT 'E' - WEST ELEVATION
 SCALE: 1:100



GROUND FLOOR - 1:100



FIRST FLOOR - 1:100

NOTES

All measurements to be checked on site before commencement of any work. All work shall be done in accordance with the specifications and standards set out in this drawing. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for ensuring that all work is done in accordance with the specifications and standards set out in this drawing. The contractor shall be responsible for ensuring that all work is done in accordance with the specifications and standards set out in this drawing. The contractor shall be responsible for ensuring that all work is done in accordance with the specifications and standards set out in this drawing. The contractor shall be responsible for ensuring that all work is done in accordance with the specifications and standards set out in this drawing.

SEE BOUNDARY WALLS ON SOP PLAN

F	FRIDGE	Φ	SURFACE LIGHT	Φ ₁ white with black 15° beam in 220V led down light with 150mm cut out
H	HOB	Φ ₂	FLUORESCENT LIGHT	
S	SINK	Φ ₃		
SV	SHOWER	Φ ₄		
WC	WATER CLOSET	Φ ₅		
W	WASHBASIN	Φ ₆		
WM	WASHING MACHINE	Φ ₇		
GA	GARAGE AUTOMATION	Φ ₈		
DR	DATA ROUTER AND PLUGPOINT	Φ ₉		
TP	TV POINT	Φ ₁₀		
CP	Cable Point	Φ ₁₁		
DS	DISTRIBUTION BOARD	Φ ₁₂		
LS	LIGHT SWITCH	Φ ₁₃		
WM	WALL MOUNTED LIGHT	Φ ₁₄		

LEGEND

PROPOSED NEW RESIDENCE IN ENERGY ZONE 4 ACC. TO FIGURE 1, SANS 10400-JAN-2021
 SANS 10400-KA-2021: Table 6
 A roof assembly shall achieve the minimum total R-value specified in table 6 for the direction of heat flow.
 Min. Assembly total R-value (m²K/W) = 3.7
 R-value of Roof and Ceiling = 0.35
 Min. R-value of Insulation = 3.35



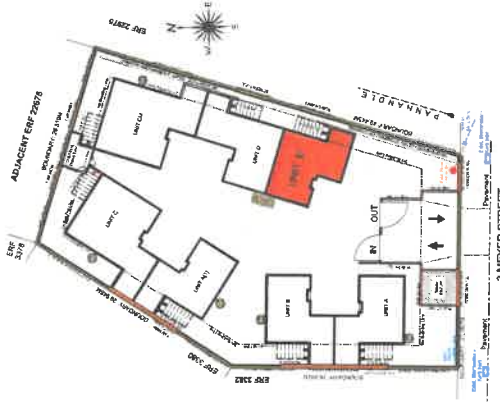
Project Number: 338123
 Date: 17 JANUARY 2024
 LOCATION:
 ERF 3381, 3 MEYER STREET, GEORGE.
 Description of Drawings:
 UNIT 'E'
 PROPOSED NEW DUPLEX TOWN HOUSE FLOORPLAN & ELEVATIONS
 Sheet No: E 02
 Scale: As indicated

AREA SCHEDULE:

GROUND FLOOR:	75m ²
FIRST FLOOR:	52.5m ²
TOTAL:	127.5m ²
OPEN BRAAI PATIO:	8.25m ²

Owner/Client: PP 08-5
 Date: 17 JANUARY 2024

LOCALITY PLAN



GENERAL NOTES

1. STRENGTH
Minimum cube compressive strength of structural concrete: 25MPa
Minimum cube compressive strength of non-structural concrete: 15MPa
2. CASTING OF CONCRETE
Minimum aggregate size in concrete: 10mm
Minimum aggregate size in mortar: 5mm
3. CASTING OF CONCRETE
No concrete to be cast without formwork. The contractor is to build 3mm thick plastic sheeting on the formwork to prevent water absorption from the concrete. The contractor is to deliver the concrete to the site and deliver it to the formwork within 1 hour of the time of casting.
4. REINFORCEMENT
Reinforcement according to SABS 600
Splice length 5 x bar diameter
5. REMOVAL OF FORMWORK
Formwork to be removed after 24 hours
Formwork to be removed after 7 days
Formwork to be removed after 14 days
6. CONCRETE CURING
Cover of concrete reinforcement in columns and walls: 40 mm
Cover of concrete reinforcement in slabs: 20 mm
Cover of concrete reinforcement in beams: 40 mm
Cover of concrete reinforcement in footings: 50 mm
7. CASTING OF CONCRETE
No concrete to be cast without formwork. The contractor is to build 3mm thick plastic sheeting on the formwork to prevent water absorption from the concrete. The contractor is to deliver the concrete to the site and deliver it to the formwork within 1 hour of the time of casting.
8. REINFORCEMENT
Reinforcement according to SABS 600
Splice length 5 x bar diameter
9. REMOVAL OF FORMWORK
Formwork to be removed after 24 hours
Formwork to be removed after 7 days
Formwork to be removed after 14 days

MASONRY CONSTRUCTION

1. MASONRY CONSTRUCTION
Masonry to be constructed in accordance with SABS 600
Masonry to be constructed in accordance with SABS 600
Masonry to be constructed in accordance with SABS 600
2. MASONRY CONSTRUCTION
Masonry to be constructed in accordance with SABS 600
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7. MASONRY CONSTRUCTION
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Masonry to be constructed in accordance with SABS 600
8. MASONRY CONSTRUCTION
Masonry to be constructed in accordance with SABS 600
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9. MASONRY CONSTRUCTION
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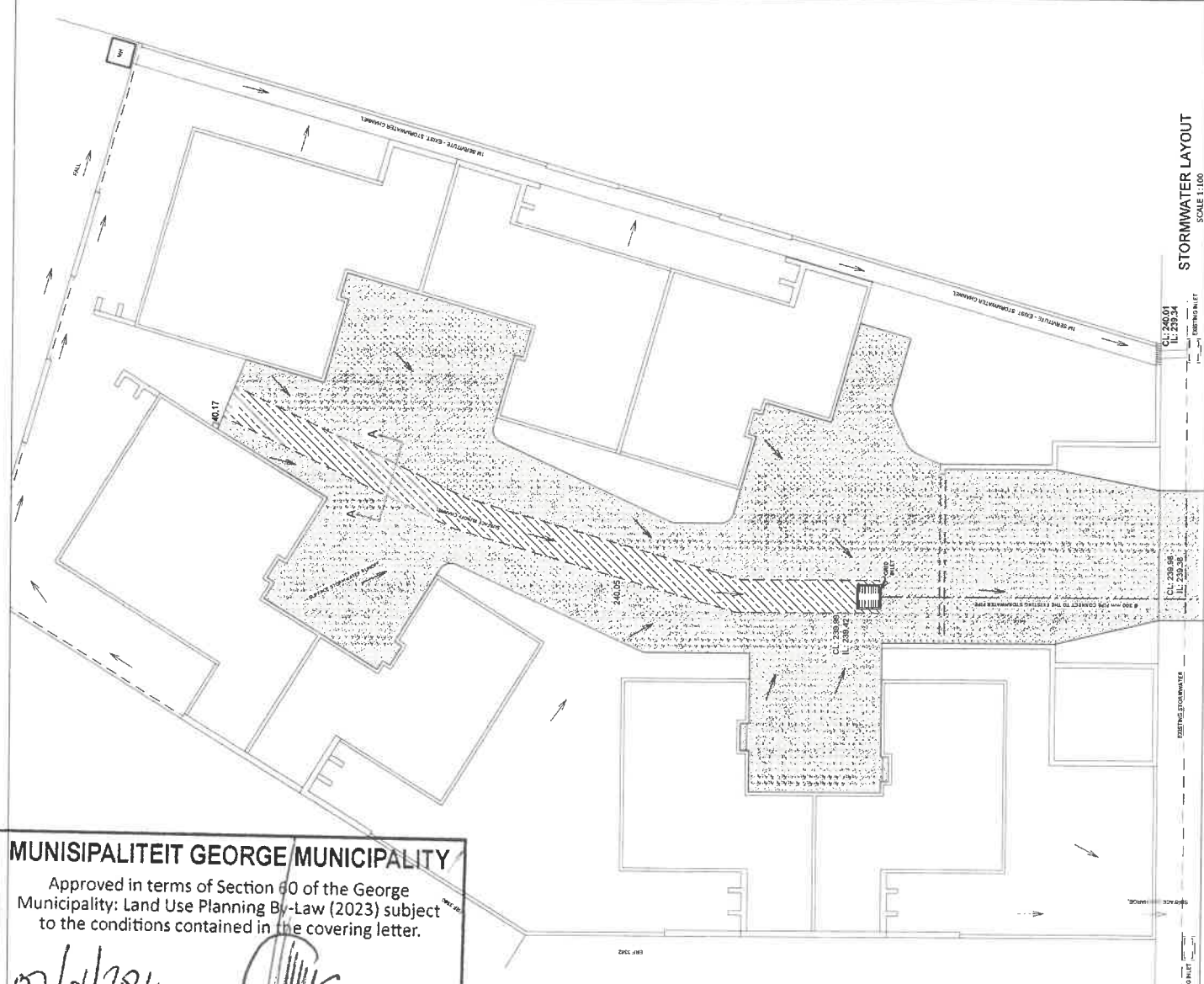
SYMPHONY APARTMENTS

Shama Consultants
STRUCTURAL ENGINEERS
GEORGE, S.A.

Approved by: [Signature]
Project/Job: [Text]
Proposed New Town Houses
ON ERF 3381,
GEORGE

Scale: As Shown
Date: DEC 2023
Project No./Job No.: [Text]

2460-01 - REV 1



STORMWATER LAYOUT
SCALE 1:100

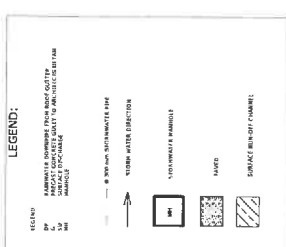
MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 40 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

07/06/2024

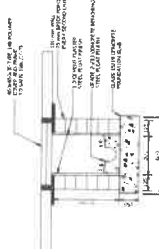
DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STADSBEPLANNING

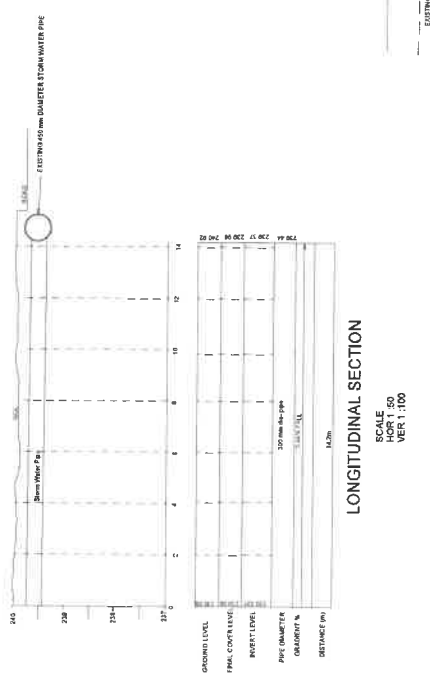


STORMWATER INLET
SCALE 1:20

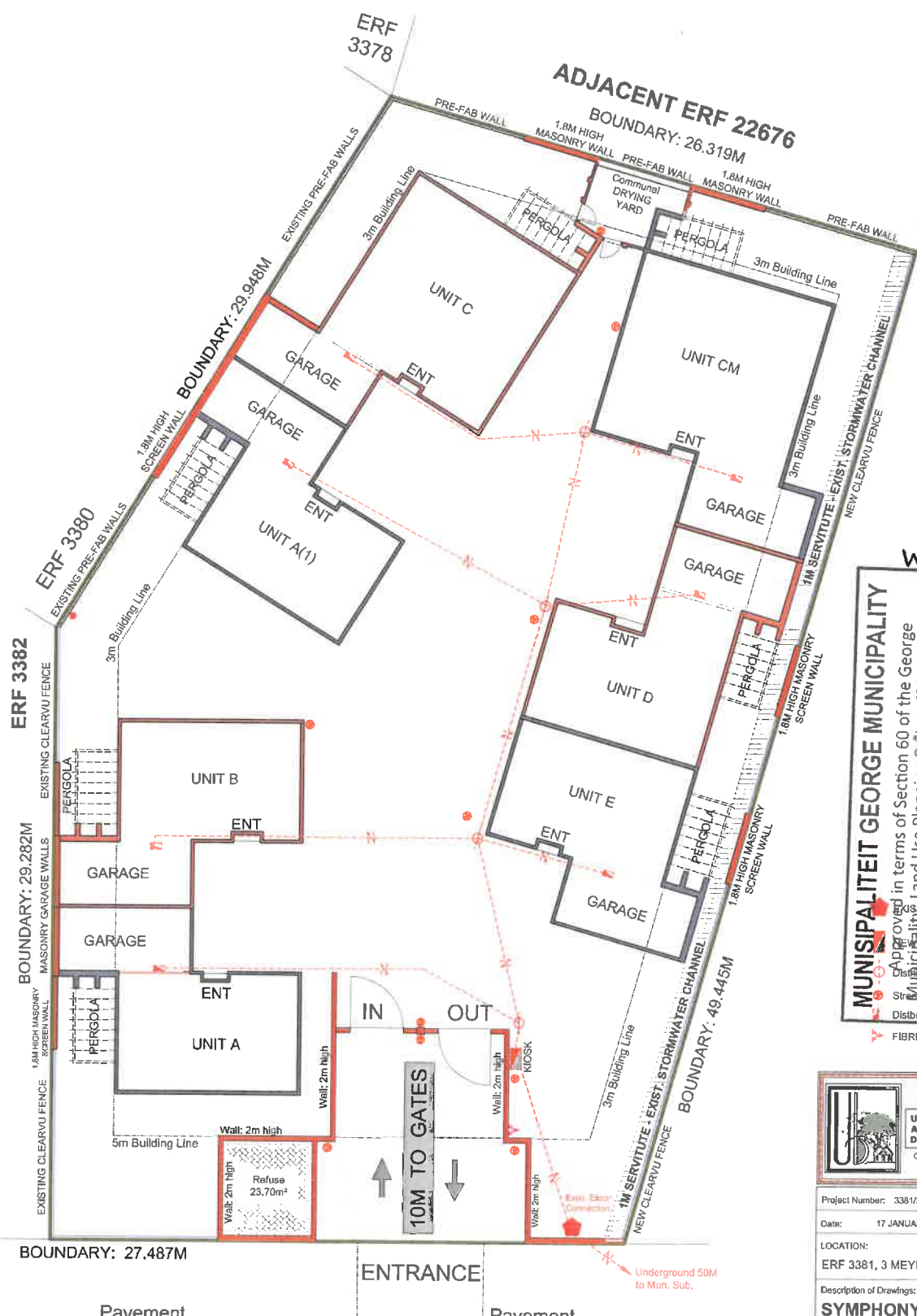
SECTION A-A
SURFACE RUN-OFF CHANNEL DETAIL
SCALE 1:20



STORMWATER MANHOLE
MAX DEPTH: 750 mm
SCALE 1:20



LONGITUDINAL SECTION
SCALE
HORIZ: 50
VERT: 1:100



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07/06/2024
 DATE

SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURDER: STADSBEPLANNING

Distribution Board
 Street Lamppost/bollard (see plan)
 Distribution Manhole
 Distribution Box
 Fibre Connection Point

UB PROFESSIONAL ARCHITECTURAL DESIGN
 Una Bredt
 PAB000002041
 LSD Approved
 Cell: 082 8700 945 - email: una@ub-prod.co.za

Project Number:	3381/23
Date:	17 JANUARY 2024
LOCATION:	ERF 3381, 3 MEYER STREET, GEORGE.
Description of Drawings:	SYMPHONY SITE ELECTRICAL PLAN SDP PURPOSES
Sheet No:	003
Scale:	As indicated
Owner / Client:	pp <i>OB-S</i>
Date:	17 JANUARY 2024

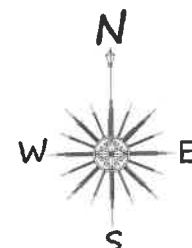
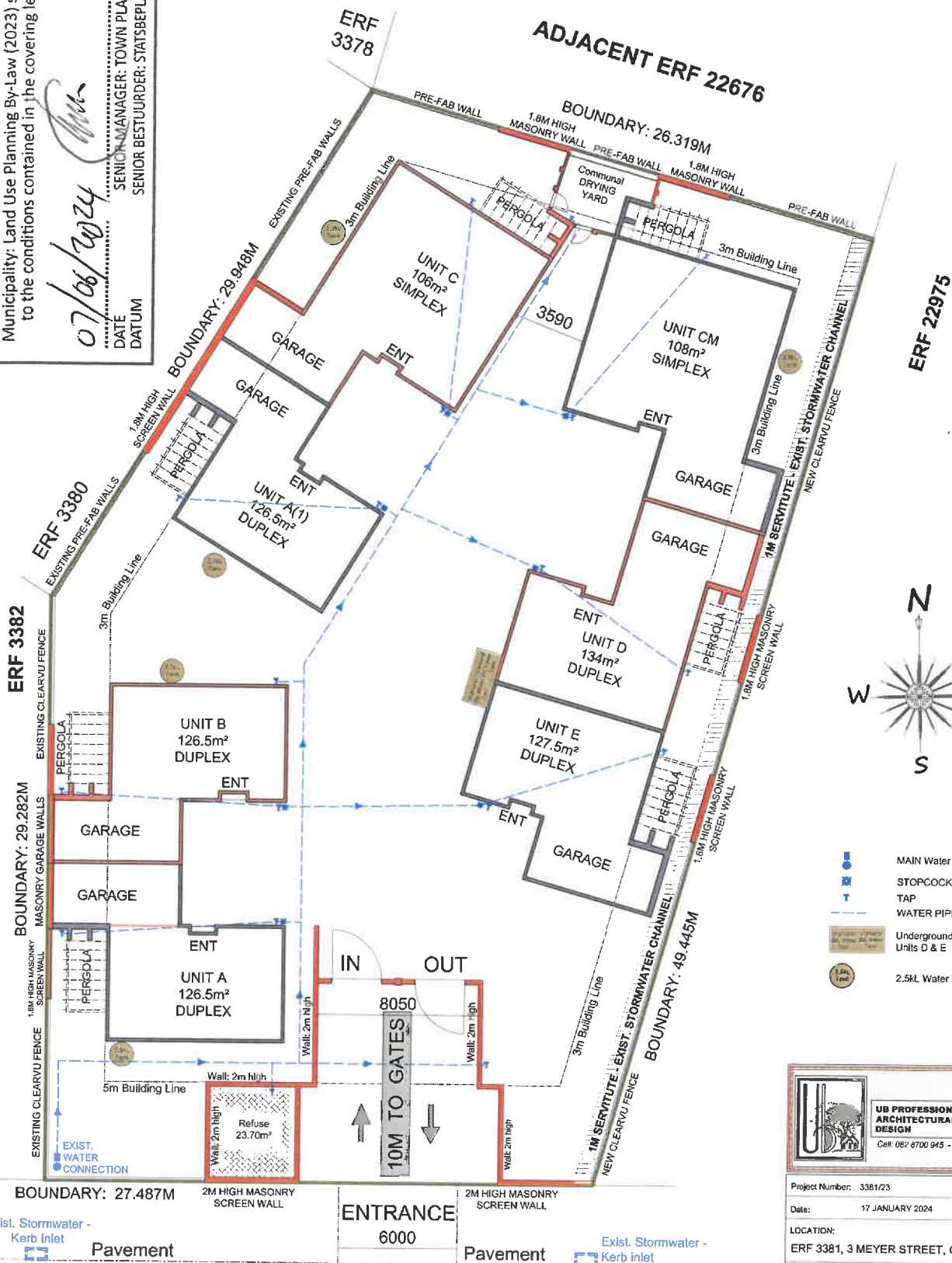
ERF 3381 - 3 MEYER STREET - GEORGE
SITE ELECTRICAL PLAN - SCALE: 1:100
SYMPHONY TOWNHOUSES

MUNISIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

07/06/2024
 SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURDER: STATSBEPANNING

DATE
 DATUM



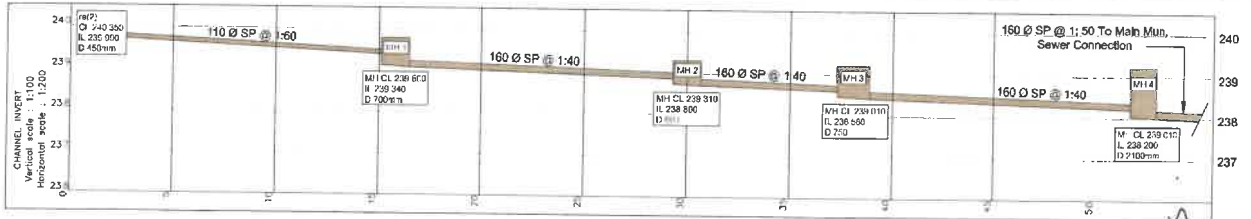
- MAIN Water Connection
- STOPCOCK
- TAP
- WATER PIPE
- Underground Water Tanks Units D & E
- 2.5kL Water Tanks

UB PROFESSIONAL ARCHITECTURAL DESIGN
 Una Breedt
 Practising No: 3241
 L&S Approval
 Cell: 082 6700 945 - email: una@breedt.co.za

Project Number:	3381/23
Date:	17 JANUARY 2024
LOCATION:	ERF 3381, 3 MEYER STREET, GEORGE.
Description of Drawings:	SYMPHONY WATER LAYOUT SDP PURPOSES
Sheet No:	004
Scale:	1:100

Owner / Client: *PP*
 Date: 17 JANUARY 2024

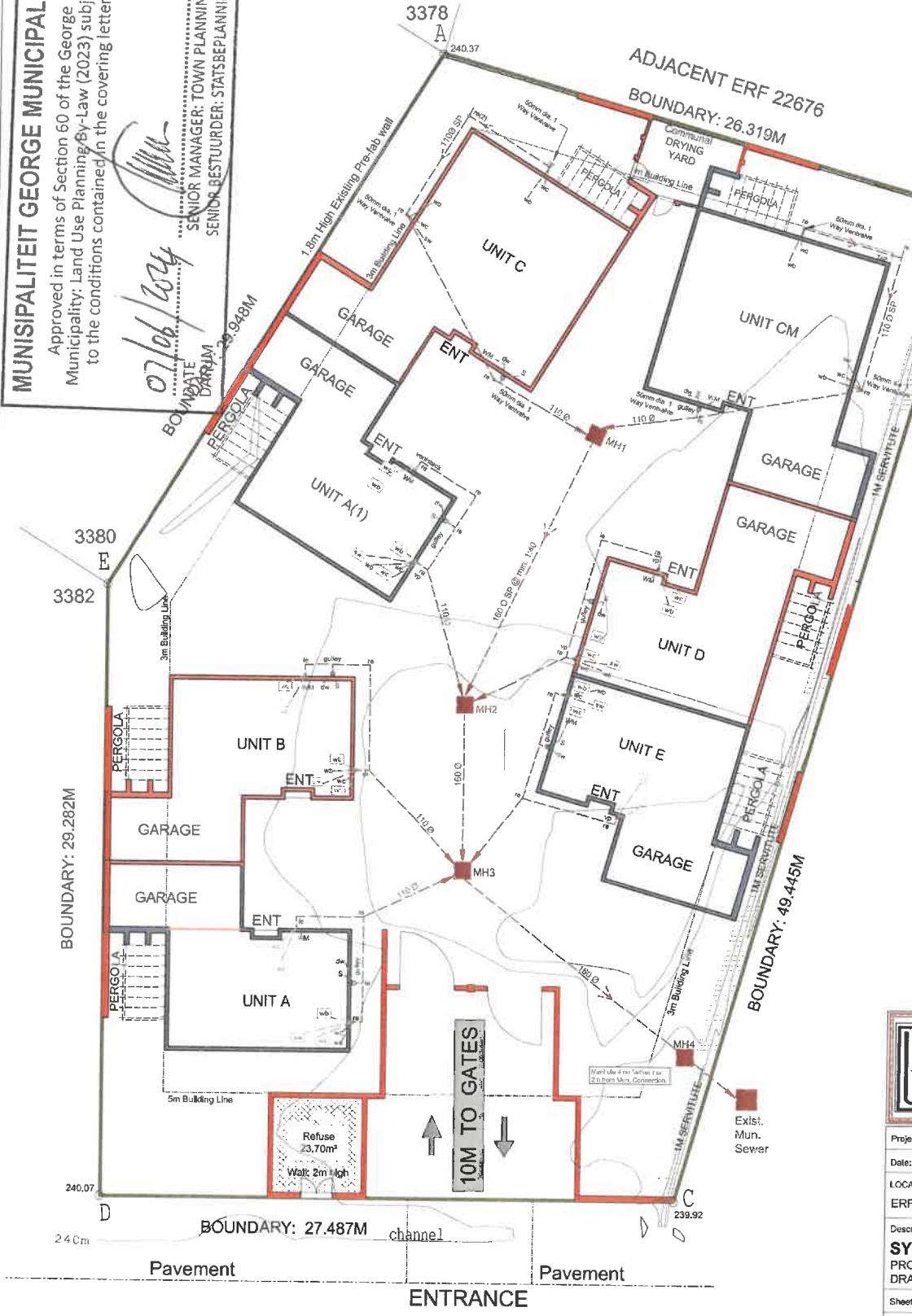
**ERF 3381 - 3 MEYER STREET - GEORGE
 WATER LAYOUT PLAN - SCALE: 1:100
 SYMPHONY TOWNHOUSES**



LONG SECTION MANHOLE DRAINAGE PLAN - SCALE: 1:125

MUNICIPALITEIT GEORGE MUNICIPALITY
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07/06/2024
 SENIOR MANAGER: TOWN PLANNING
 SENIOR BESTUURDER: STATSBEPANNING



PLUMBING NOTE
 Soil Drainage and Fittings
 All Plumbing work to be done by a Professional and Registered Plumber.

- Sewer lines to be 110 Ø / 160 Ø mm uPVC laid to min. fall 1:40 to connect to Main Mun. Connection.
- Waste pipes for w.c., shower, bath and sinks to be 40mm uPVC.
- Soil pipes for WCs to be 110mm uPVC.
- 150mm or deep uPVC soil traps to be provided at each w.c., shower, bath & sink.
- All vent pipes (50mm VPI) to terminate with approved One Way Vent Valve.
- Manhole 4 no further than 2m from Mun. Connection.
- All pipework underneath floor or paving to be encased.

SEWER

MANHOLE	COVER LEVEL	INVERT LEVEL	DEPTH
RE(2)	240 375	238 920	450
MH1	238 600	239 340	730
MH2	239 310	238 600	600
MH3	238 610	238 560	750
MH4	238 610	238 200	2100

DRAINAGE

FIRST FLOOR DRAINAGE (dashed line)

GROUND FLOOR DRAINAGE (dotted line)

SEWER MANHOLE (red square)

UB PROFESSIONAL ARCHITECTURAL DESIGN
 Una Breed
 FIDRANGE 0241
 LSD Approved
 Cell: 082 8700 545 - email: una@breed.co.za

Project Number: 3381/23
 Date: 17 JANUARY 2024
 LOCATION:
 ERF 3381, 3 MEYER STREET, GEORGE.
 Description of Drawings:
SYMPHONY
 PROPOSED 7 NEW TOWN HOUSES
 DRAINAGE - SDP PURPOSES
 Sheet No: 006
 Scale: As Indicated

Owner / Client:
 Date: 17 JANUARY 2024

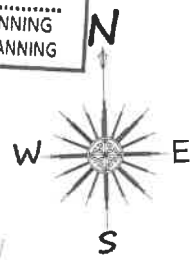
ERF 3381 - 3 MEYER STREET - GEORGE DRAINAGE PLAN - SCALE: 1:100
 SYMPHONY TOWNHOUSES

MUNICIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

07/06/2024
DATE
DATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPLANNING



NOTE:
1. 4 x 100L Indigenous trees to be planted within the boundaries of the development.
2. There are no indigenous trees or vegetation to be retained.

PROPOSED TREES

	100L - KEURBOOM <i>Wrightia speciosa</i> Native to the Western Cape. It forms a rounded, low-branching crown. It is an excellent screen for the new garden, growing to 5-7.5m per year. The narrow, waxy leaves attract many insects and birds. The flowers are a beautiful shade of pink and are often used in office parties and wedding bouquets.
	100L - LAVENTELBOOM (<i>Protea laurifolia</i>) Native to South Africa. It is a woody, semi-deciduous tree, 10-15m high, with a rounded crown. It is a wonderful screen for the new garden, growing to 10-12m per year. The narrow, waxy leaves attract many insects and birds. The flowers are a beautiful shade of pink and are often used in office parties and wedding bouquets.
	100L - WIT KAREE (<i>Acacia saligna</i>) Native to South Africa. It is a woody, semi-deciduous tree, 10-15m high, with a rounded crown. It is a wonderful screen for the new garden, growing to 10-12m per year. The narrow, waxy leaves attract many insects and birds. The flowers are a beautiful shade of pink and are often used in office parties and wedding bouquets.
	LEMOENBOS (<i>Psychotria capensis</i>) Native to South Africa. It is a woody, semi-deciduous tree, 10-15m high, with a rounded crown. It is a wonderful screen for the new garden, growing to 10-12m per year. The narrow, waxy leaves attract many insects and birds. The flowers are a beautiful shade of pink and are often used in office parties and wedding bouquets.
	FREYLIINIA TROPICA "Blue" Very hardy, evergreen, slender shrub that has spreading branches, aromatic grey bark and shiny, ridge green leaves. It flowers profusely in late winter when little else is in flower, but does bear some bright blue flowers throughout the year. It makes a good screen plant and is clipped into a formal hedge or used in a 1.1m height. It also makes a beautiful container plant. It grows in sun or semi-shade. Spread: 1-3m.

UB PROFESSIONAL ARCHITECTURAL DESIGN
Una Breed
Pretoria 021
LSD Approved
Cell: 082 8700 945 - email: una@ubreed.co.za

Project Number:	3381/23
Date:	17 JANUARY 2024
LOCATION:	ERF 3381, 3 MEYER STREET, GEORGE.
Description of Drawings:	SYMPHONY PROPOSED 7 NEW TOWN HOUSES LANDSCAPING PLAN
Sheet No:	002
Scale:	As Indicated
Owner / Client:	pp
Date:	17 JANUARY 2024

**ERF 3381 - 3 MEYER STREET - GEORGE
LANDSCAPING PLAN - SCALE: 1:100
SYMPHONY TOWNHOUSES**



Underground Water Tanks Units D & E
2.5kl. Water Tanks

SYMPHONY TOWNHOUSES

3 Meyer Street, George, Western Cape

Architectural Guidelines

Prepared by Una Breedt - Revised version (1)

19 February 2024

Section 2.0 - Building Layout, Building Lines & Wall plate height.




- 1.0 Introduction
- 2.0 Building Layout and Building Lines
- 3.0 Roofs
- 4.0 External finishes
- 5.0 Internal Finishes
- 6.0 Windows and Doors
- 7.0 Boundary fences and Walls
- 8.0 Driveway and Visitor Parking
- 9.0 Swimming pools and ponds
- 10 Security
- 11 Landscaping
- 12 Pets
- 13 Services and General

MUNISIPALITEIT GEORGE MUNICIPALITY

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

07/06/2024
DATE
DATUM


SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPLANNING

1.0 INTRODUCTION

1.1 This Design Manual has been compiled to exclude certain inappropriate forms, materials and colours to respect the overall theme and uniformity intended. This Manual is supplementary to the National Building Regulations and the specific requirements of the Local Authority.

1.2 The Developer will design and construct all units based on the design guidelines set out below. All proposed alterations and additions planned after completion by the Developer are to be presented to the Esthetical Committee for approval prior to any work commencing. Future alterations and additions to designs presented, shall be an extension of the current theme. These guidelines are subject to periodical review. The Esthetical Committee reserves the right to interpret this manual and approve plans at its discretion if it deems the proposed designs are architecturally and esthetically acceptable. No precedent may be considered as motivation for variances to these guidelines. Plan approval and any deviation agreements must be granted in writing.

2.0 BUILDING LAYOUT

2.1 Single- and Double Story Townhouses to be arranged in a harmonious manner - each Unit with a single Garage and shared double Shadeport parking space.

2.1 The Unit sizes will vary between 106m² and 136m² each with its own Pergola over Patio's and Masonry built BBQ to form part of the main structure.

2.2 Aluminium Louvres or solid Klip-Lok Roof Sheets will be allowed over Patio's but may not become enclosed spaces.

2.3 No balconies will be allowed.

2.4 No ground floor level may be raised higher than 1m above natural ground level as per section 26(1) of the George Integrated Zoning Scheme, 2023. Natural ground levels are considered as those documented on the contour survey.

2.5 Building Lines Townhouse Unit:

5m Setback from the Street boundary,
3m Lateral boundaries,
3m Back boundary.

Single Garage, Braai & Pergola: (exception as per approval)
0m West boundary
1m East boundary
0m North boundary.

2.6 The maximum height above natural ground level will respectively be: Wall Plate height - 6.5m and building height - 8m. Chimneys are exempt from this restriction.

3.0 ROOFS

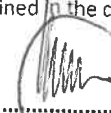
3.1 Mono pitched KlipLok Roof Sheets with 7° Roof Pitch over Liveable areas and 3° pitch KlipLok Roof Sheets over Garages.

3.2 Aluminium Framed Roof windows will be allowed (max. 600 x 900mm) at the same angle as the Roof but must be presented to the Esthetical Committee for approval. All to match the colour of the roof.

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SENIOR BESTUURDER: STADSBEPLANNING

3.3 Roofs to have Aluminium rainwater gutters and downpipes in Epoxy finish.

4.0 EXTERNAL FINISHES

4.1 External walls are to be a minimum of 5% Masonry Cavity walls constructed out of clay or cement bricks with approved spaced weep holes and used in conjunction with Nutec SIP walls, finished with Nutec ship-lap or Nutec flat panels. No other external ornamentation (i.e. mouldings) will be allowed.

4.2 Pergolas to be in Solid or Composite wood.

4.3 The Exterior Colour scheme will be a choice from the following colours: (Plascon or alike)

- 4.3.1 IGLOO - B6-E2-3
- 4.3.2 BROKEN SHELL - B6-E2-2
- 4.3.3 SMOKE GREEN - B6-E2-1
- 4.3.4 OCEAN LINER - B6-E1-4
- 4.3.5 SMOKY WINGS - B6-E1-3
- 4.3.4 DUSK OF DAY - B6-E1-2

5.0 INTERNAL FINISHES

5.1 Dry Walls to be skimmed and painted and wet areas to be tiled.

5.2 Solid Wooden stairs to comply with SANS 10400-M.

5.3 Balustrade to Developer's choice to acc. To SANS 10400-D .

5.4 Stove: 4 plate Gas hob with matching electrical oven.

5.5 Granite worktop in Kitchen.

5.6 Built-in Cupboards with melamine doors and white shelves with finished edges 2.1m high.

5.7 Sanitary Ware to Owner's choice within the approved PC.

5.8 All units must be fitted with and use low-flow showerheads, tap aerators and dual-flush toilets.

5.9 Taps: Hans Gröhe or alike.

5.10 All units must be fitted with and use energy-efficient lighting and heating designs.

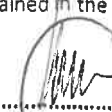
5.11 Floor covering to Owner's choice within the approved PC.

6.0 WINDOWS AND DOORS

6.1 White Powder coated Aluminium framed sliding doors and top hung windows are to be used. No other windows i.e. cottage pane will be allowed.

6.2 Main Entrance doors are to be treated Timber - varnished or painted in white.

6.3. Only functional shutters will be allowed, made to match the window and sliding door construction.

MUNISIPALITEIT GEORGE MUNICIPALITY	
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07/06/2024	
DATE DATUM	SENIOR MANAGER: TOWN PLANNING SENIOR BESTUURDER: STADSBEPLANNING

6.4 Garage doors with Transom windows to be Automated Sectional overhead sliding doors in white aluminium.

6.5 No mirror glass or reflective film will be allowed. A light tint of max. 40% shading may be applied to windows for privacy or sun protection.

7.0 PRIVATE BOUNDARIES

7.1 No private fences may be erected.

7.2 Indigenous Plants, shrubs or trees are to be used for privacy between agreeing neighbours. No plants may obstruct the mountain views of any neighbour.

7.3 Fencing to the outer perimeter of the Complex will be erected by the Developer.

7.4 The wall at the Main Entrance gate will be featured in Masonry and will be erected by the Developer..

8.0 DRIVEWAY AND VISITOR PARKING

8.1 Entrance gates to be a minimum of 10m from the Street.

8.2 Driveways are to be laid with approved pavers in natural subdued colours. No bright colours or patterns will be allowed.

8.3 Extra parking for one vehicle is allowed in addition to garaging.

8.4 Shared Shadeport parking in front of garages.

9.0 SWIMMING POOLS AND PUMPS

9.1 No swimming pools or ponds are allowed.

9.2 Any Water feature bigger than 750mm, must be approved by the Esthetical Committee for approval prior to any work commencing and no pumps or motors may cause any noise to neighbours whatsoever.

10 SECURITY

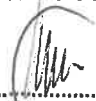
10.1 No external burglar bars will be allowed.

10.2 The design of external Security gates to be either in Trellidoors or Staxdoors or alike (approved by an Insurance Company) in black or in the colour of the door behind - to be approved by the HOA.

11 LANDSCAPING

11.1 Only Indigenous trees will be allowed and may not block neighbour's views, light or sunlight.

11.2 Vegetation is to compliment the overall esthetics of the complex.

MUNISIPALITEIT GEORGE MUNICIPALITY	
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DATE DATUM	SENIOR MANAGER: TOWN PLANNING SENIOR BESTUURDER: STATSBEPLANNING

12 PETS

No cats or dogs will be allowed.

13 SERVICES and GENERAL

13.1 All water filters and Dirtbins must be concealed.

13.2 External gas bottles are to be housed in a Gas cage.

13.3 Air conditioning and heat pump condenser units are to be installed at ground level only and at a maximum height of 1, 2 m above finished ground level. Units and pipes are to be adequately screened from view behind a planted or handy plank screen. Noises generated by the units are not to affect neighbours.

13.4 Solar panels may be installed by an approved Specialist. The design of the solar installation is to be approved by the Esthetical Committee prior to installation. Alternatively, concealed heat pumps will also be allowed.

13.5 Satellite dishes and TV aerials to be fitted below the roof line. Satellite dishes may not be more than 600mm in diameter. The position of the satellite dish or antennae must be determined by a Specialist and approved by the Esthetical Committee prior to installation and must be white.

13.6 All units must have a rainwater tank of minimum 2,500 litres for the collection and storage of rainwater from the roofs. Additional rainwater tanks if needed, must be approved by the HOA before installation commences.

13.7 No wind generators will be allowed.

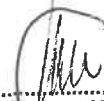
14. NOTES

14.1 All materials, finishes and details used in the design of the houses or in Alterations and Additions must match the design and appearance followed by the Developer.

14.2 Any alteration or addition will require a set of plans containing all relevant information required by the George Municipality and must comply with both the SYMPHONY Architectural Guidelines and the National Building Regulations.

14.3 In case of proposed additions to the existing houses, plans are to be submitted to and approved by the SYMPHONY HomeOwners Association prior to submission at George Town Planning and are subject to approval by the HomeOwners Association Committee.

14.4 Where the SYMPHONY HomeOwners Association permits variations, these are due to specific conditions which may prevail, and can not be considered to be general or permanent amendments to the Design Manual.

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07/06/2024	
DATE	SENIOR MANAGER: TOWN PLANNING
DATUM	SENIOR BESTUURDER: STADSBEPLANNING